Council Meeting

to be held at the Civic Centre, Civic Drive, Greensborough on Tuesday 23 August 2022 commencing at 7:00pm.

Attachments

Vince Lombardi Acting Chief Executive Officer

Thursday 18 August 2022

Distribution: Public

Civic Drive, GreensboroughPO Box 476, Greensborough 3088Telephone9433 3111Facsimile9433 3777Websitewww.nillumbik.vic.gov.auEmailnillumbik@nillumbik.vic.gov.au



Nillumbik Shire Council

Attachments

COM.001/22	Confirmation of Minutes Council Meeting held Tuesday 26 July 2022
Attachment 1 AC.007/22	Minutes of the Council Meeting 26 July 2022
Attachment 1 CM.082/22	Advisory Committee meeting minutes reported 23 August 202249 Amendment C142nill Outcomes of Panel Hearing - Application of the Hertiage Overlay to 50 Oatland Road, Plenty
Attachment 1	Planning Panel Report for Amendment C142nill 50 Oatland Road, Plenty
CM.083/22	Eltham Area Community Hospital, Ryans Road Diamond Creek
Attachment 1	Figures referenced in Council Report123
Attachment 2	Harton Hill Farmhouse and Outbuildings, Monterey Cypress Drive Heritage Report prepared by Trethowan Architecture
Attachment 3	Eltham Area Community Hospital, Ryans Road Diamond Creek - Advocacy Points
CM.084/22	Panton Hill Bushland Reserve System (PHBRS) User Group Advisory Committee renewal
Attachment 1	Panton Hill Bushland Reserves User Group Advisory Committee terms of reference December 2021149
Attachment 2	Revised Panton Hill Bushland Reserve System User Group Advisory Committee terms of reference August 2022
CM.085/22	A first draft of the Nillumbik Neighbourhood Character Strategy
Attachment 1	Neighbourhood Character Strategy - Draft Strategy165
CM.086/22	Regional / Municipal Gallery Business Case and Masterplan
Attachment 1	Regional Gallery Feasibility Study
CM.087/22	Proposed Flagpole Schedule
Attachment 1	Flagpole schedule
Attachment 2	Australian flags booklet
Attachment 3	Flag Request Process
Attachment 4	Mock-up for Nillumbik Flag
CM.089/22	Pre-Election Commitment Communication Protocols
Attachment 1	Pre-Election Commitment Communication Protocols
CM.090/22	Council Plan Quarterly Performance Report - 2021-2022 - Quarter 4
Attachment 1	Council Plan Performance Report - Priority actions 2021-2022
Attachment 2	Council Plan Performance Report - Strategic indicators
CM.093/22	Informal Meetings of Councillors Records - 23 August 2022
Attachment 1	Informal Meeting of Councillors Record - 23 August 2022513

Council Meeting

to be held at the Civic Centre, Civic Drive, Greensborough on Tuesday 26 July 2022 commencing at 7:00pm.

Minutes

Carl Cowie Chief Executive Officer

Friday 29 July 2022

Distribution: Public

Civic Drive, Greensborough PO Box 476, Greensborough 3088 Telephone 9433 3111 Facsimile 9433 3777 Website <u>www.nillumbik.vic.gov.au</u> Email <u>nillumbik@nillumbik.vic.gov.au</u>



26 July 2022

Nillumbik Shire Council

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Council Meeting Minutes

26 July 2022

Nillumbik Shire Council

Minutes of the Meeting of Nillumbik Shire Council held Tuesday 26 July 2022. The meeting commenced at 7.00pm.

Councillors present:

Cr Frances Eyre	Swipers Gully Ward (Mayor)
Cr Richard Stockman	Blue Lake Ward
Cr Karen Egan	Bunjil Ward
Cr Natalie Duffy	Edendale Ward
Cr Peter Perkins	Ellis Ward
Cr Ben Ramcharan	Sugarloaf Ward (Deputy Mayor)
Cr Geoff Paine	Wingrove Ward

Officers in attendance:

Carl Cowie	Chief Executive Officer
Vince Lombardi	Chief Financial Officer
Hjalmar Philipp	Director Operations and Infrastructure
Sally Johnson	Acting Executive Manager Governance, Communications and Engagement
Jeremy Livingston	Executive Manager Business Transformation and Performance
Rosa Zouzoulas	Executive Manager Planning and Community Safety
Nichole Johnson	Manager Community Partnerships
Katia Croce	Governance Lead

1. Welcome by the Mayor

2. Acknowledgement of Country

Acknowledgement of Country was read by the Mayor, Cr Frances Eyre.

3. Good Governance Pledge

The Good Governance Pledge was read by Cr Ben Ramcharan.

4. Prayer

A prayer was read by Lead Pastor Stewart Hunt from The Vine Baptist Church.

5. Apologies

Nil

Council Meeting Minutes

6. Presentations

Condolence – John Chenhall

I would like to acknowledge the recent passing of well-known and respected Diamond Creek local, John Chenhall. John was a retired engineer who served in the armed forces in Darwin.

He is a past President and 10 year Committee member of the Diamond Creek Bowls Club.

John is also a past President of the Diamond Creek RSL and spent many years rattling tins and selling poppies and ANZAC badges to raise funds for the Diamond Creek RSL.

For a number of years John coordinated and led most of the Remembrance Day and Anzac Day Ceremonies at the Diamond Creek War Memorial. He helped grow these commemorations from just a handful attending to hundreds – involving local schools, community groups and families.

John spoke regularly about the meaning of ANZAC Day at many of our local primary and high schools. He also worked with former service personnel suffering from posttraumatic stress disorder and supported Legacy by collecting and by visiting those in need.

John was named Senior Citizen of the Year at Nillumbik's 2018 Australia Day Awards. His dedication to our community and commitment to honouring the legacy that the fallen have left behind, is an inspiration to us all.

He will be greatly missed.

Our thoughts are with John's family and friends at this time.

26 July 2022

7. Confirmation of Minutes

Confirmation of Minutes Council Meeting held Tuesday 28 June 2022

Summary

Confirmation of the minutes of the Council Meeting and Confidential Council Meeting held on Tuesday 28 June 2022.

Council Resolution

MOVED:	Cr Geoff Paine
SECONDED:	Cr Karen Egan

That Council:

- 1. Confirms the minutes of the Council Meeting and Confidential Council Meeting held on Tuesday 28 June 2022 (Attachment 1 and Attachment 2).
- 2. Resolves that the Confidential Council Meeting minutes (Attachment 2) remains confidential in accordance with section 3(1)(h) of the *Local Government Act 2020.*

26 July 2022

8. Disclosure of conflicts of interest

Nil

9. Petitions

Nil

10. Questions from the gallery

Sue Ormerod has submitted the following question:

Question 1

Could Council ensure that one large tree stump be retained during the tree removal works in the Council Managed Land at the front of Eltham Lower Park as a historical marker and so it can carved into seating in the future?

Response

Council officers will review and look into retaining at least one Monterey Cypress at the entrance to the Eltham Lower Park as an historical marker and potential future carving. Participate Nillumbik is open for feedback until 3rd August. <u>Eltham Gateway Project |</u> <u>Participate Nillumbik</u>

The following questions were of a similar topic and were read out together and the answer provided at the end.

Sara Flottl has submitted the following questions:

Question 1

With the news of a hospital to be built on Ryans Road in Diamond Creek, I would like to know how council plan on making an already congested Ryans Road safer as well as more equipped to handle the increase in traffic on an already ill equipped single lane road?

Question

2

How does council intend on making the footpath, or the lack thereof, specifically from 407-435 Ryans Road in Diamond Creek, a safe place for pedestrians, for kids walking to and from school, for people with prams walking to the hospital, for the elderly and for all pedestrians walking in this specific area?

Daniel Harris has submitted the following questions:

Question 1

As residents from these addresses we have no safe area to walk behind the metal safety barriers that line the road so have to actually walk on the side of the bitumen on the road side of the metal barriers?

How does the council plan to deal with the dangerous bend from approximately 419-435 Ryans rd Diamond Creek?

Question 2

Proposed new hospital at 405 Ryans rd Diamond creek.

How does the council plan to show the nearby residents a road and traffic plan to accommodate this new facility to the area on an already busy, windy and dangerous rd that has no footpath/ safe area to walk on the same side of the road the hospital is being built?

Response

The Eltham Area Community Hospital is a State Government project undertaken by the Victorian Health Building Authority (VHBA). It is understood that the VHBA, appointed by the Minister for Health, has been actively working to identify and assess land in the Eltham Area district for the purposes of a community hospital. This work is undertaken entirely separately from Council.

Accordingly Council has not been afforded the opportunity to gain a comprehensive understanding of the proposal and its impacts. Council therefore cannot comment on the decision making process or associated implications, of the State or its representatives.

In addition, Ryans Road is managed by Victorian Department of Transport under the *Road Management Act*. Any questions about the project including the impacts on Ryans Road would be best put to the VHBA as the responsible authority. You can also send your feedback into the VHBA by email <u>communityhospitals@health.vic.gov.au</u>

Council will advocate to the Department of Transport for improved traffic and pedestrian safety outcomes along this road.

26 July 2022

11. Reports of	of Advisory Committees
AC.006/22	Advisory Committee Report - 26 July 2022

Distribution: Public

Manager:	Sally Johnson, Acting Executive Manager Governance,
	Communications and Engagement

Author: Katia Croce, Governance Lead

Summary

Council has a range of Advisory Committees which provide a formal mechanism for Council to consult with key stakeholders, seek specialist advice and enable community participation. Although they do not make any formal decisions, they provide valuable advice to Council.

In accordance with Advisory Committee Terms of Reference, the following minutes of Advisory Committee meetings are attached (**Attachment 1**) and presented to Council for noting:

- 1. Environment & Sustainability Advisory Committee 20 April 2022;
- 2. Inclusion and Access Advisory Committee 22 April 2022;
- 3. Health and Wellbeing Advisory Committee Partnership Forum 8 June 2022;
- 4. Environment & Sustainability Advisory Committee 15 June 2022;
- 5. Panton Hill Bushland Reserve System User Group Advisory Committee 16 June 2022.

Council Resolution

MOVED: Cr Peter Perkins SECONDED: Cr Ben Ramcharan

That Council notes the Minutes of the Advisory Committee meetings reported (Attachment 1).

Council Meeting Minutes 26 July 202		
12. Officers' reports		
CM.069/22 Adoption of Access, Equity and Inclusion Policy		
Distribution:	Public	
Manager:	Manager: Corrienne Nichols, Executive Manager Community Services	
Author: Nichole Johnson, Manager Community Partnerships		

Summary

This report presents the Access, Equity and Inclusion Policy (the Policy) (Attachment 1) for adoption, following public consultation, receipt of submissions and refinements in response to submissions received.

The Policy outlines Councils commitment to accessible, equitable and inclusive practice across all council activities.

The Policy is informed by legislation, evidence, local context, strategic commitments, bestpractice, feedback received throughout the public exhibition period from 23 March - 25 April 2022 and the Planning and Consultation Committee held on 12 July 2022.

MOVED:	Cr Ben Ramcharan
SECONDED:	Cr Natalie Duffy

That Council:

- 1. Adopts the Access, Equity and Inclusion Policy (Attachment 1).
- 2. Authorises the Executive Manager Community Services to make any further minor changes to the Policy that may be necessary and are inconsequential in nature.
- 3. Makes the adopted Policy and accompanying documents publically available on Council's website.
- 4. Thanks submitters and advises them of the outcome of the consultation process.

26 July 2022

12. Officers' reports

CM.070/22 Climate Action Plan - Year 1 Implementation Plan 2022/23

Distribution: Public

Author: Lisa Pittle, Manager Environment

Summary

Council's Climate Action Plan 2022-2032 was endorsed by Council on 26 April 2022.

This report presents the Climate Action Plan - Year 1 Implementation Plan (Attachment 1) for Councillor consideration for endorsement.

It specifies climate action initiatives that will be undertaken in 2022/23 to help achieve the goals and targets of the ten-year Climate Action Plan.

Council Resolution	
MOVED:	Cr Ben Ramcharan
SECONDED:	Cr Geoff Paine

That Council:

- Endorses the Climate Action Plan Year 1 Implementation Plan 2022/23 1. (Attachment 1).
- 2. Notes that a review of climate action progress and outcomes will be presented to Council annually.
- 3. Notes that a draft of the Climate Action Plan - Year 2 Implementation 2023/24 will be prepared in late 2022 for consideration via the annual budget process.

12. Officers' reports

CM.071/22 Nillumbik Draft General Local Law 1 - Public Exhibition

Distribution: Public

Manager: Rosa Zouzoulas, Executive Manager Planning and Community Safety Author:

Heath Gillett, Community Safety Manager

Summary

Over the past two years, Councillors, Community and Officers have collaborated through the two significant consultation processes (Engagement and Feedback on existing Local Laws and Community Consultation on New Draft Local Laws) to develop new Local Laws.

This report presents the final Draft Nillumbik General Local Law 1 (Attachment 1) and supporting documentation for endorsement for a final round of public exhibition from 1 August – 22 August 2022.

In accordance with Section 73 (3) of the Local Government Act 2020 Council is required to place a Notice Proposing a Local Law (Attachment 2) and the inclusion of all incorporated documentation including the proposed Local Law on Council's website for public exhibition. The incorporated documentation that will support the application of the adopted Nillumbik General Local Law includes:

- Draft Procedure and Protocol Manual (Attachment 3) which are the guidelines on how 1. the Nillumbik General Local Law 1 will be implemented once adopted; and
- 2. Live Local Plant policy (Attachment 4)

The Procedure and Protocol Manual (The Guidelines) is currently in existence, and reflects the current General and Amenity Local Law. Community Safety Officers use the Manual to guide decisions made where a permit is required or where discretion is required to administer the General Local Law. This project requires the Policy and Procedure Manual to be updated, to reflect the Draft General Local Law as per Attachment 3.

Public exhibition will be undertaken from 1 August and will close on 22 August 2022. All submissions received will be considered by the Planning and Consultation Committee in October 2022.

Recommendation

That Council:

- Endorses the Draft Nillumbik General Local Law 1 (Attachment 1), Notice Proposing 1. a Local Law (Attachment 2) and the inclusion of all incorporated documentation for the purposes of undertaking public exhibition in accordance with Section 73 (3) of the Local Government Act 2020 which includes:
 - Draft Procedure and Protocol Manual (Attachment 3) a)
 - Live Local Plant policy (Attachment 4). b)
- Invites submissions on the Draft Nillumbik General Local Law 1 to Council between 2. 1 August - 22 August 2022.
- 3. Considers public submissions at the Planning and Consultation Committee meeting to be held in October 2022.

26 July 2022

12. Officers' reports

CM.071/22 Nillumbik Draft General Local Law 1 - Public Exhibition

- 4. Notes that any person who makes a written submission in relation to the Draft Nillumbik General Local Law 1 and requests to be heard in support of their written submission, be invited to talk to their submission at the October 2022 Planning and Consultation Committee meeting.
- 5. Acknowledges and thanks the significant participation of the community to support the development of the Draft Nillumbik General Local Law 1.

MOVED: Cr Geoff Paine SECONDED: Cr Ben Ramcharan

That Council:

- 1. Endorses the Draft Nillumbik General Local Law 1 (Attachment 1), to allow for inconsequential corrections, Notice Proposing a Local Law (Attachment 2) and the inclusion of all incorporated documentation for the purposes of undertaking public exhibition in accordance with Section 73 (3) of the *Local Government Act 2020* which includes:
 - a) Draft Procedure and Protocol Manual (Attachment 3) with changes
 - b) Live Local Plant policy (Attachment 4).
- Invites submissions on the Draft Nillumbik General Local Law 1 to Council between 1 August – 22 August 2022.
- 3. Considers public submissions at the Planning and Consultation Committee meeting to be held in October 2022.
- 4. Notes that any person who makes a written submission in relation to the Draft Nillumbik General Local Law 1 and requests to be heard in support of their written submission, be invited to talk to their submission at the October 2022 Planning and Consultation Committee meeting.
- 5. Acknowledges and thanks the significant participation of the community to support the development of the Draft Nillumbik General Local Law 1.

THE MOTION WAS PUT TO THE VOTE AND CARRIED AND BECAME THE COUNCIL RESOLUTION AS FOLLOWS:

Council Resolution

MOVED: Cr Geoff Paine SECONDED: Cr Ben Ramcharan

That Council:

1. Endorses the Draft Nillumbik General Local Law 1 (Attachment 1), to allow for inconsequential corrections, Notice Proposing a Local Law (Attachment 2) and the inclusion of all incorporated documentation for the purposes of undertaking public exhibition in accordance with Section 73 (3) of the *Local Government Act 2020* which includes:

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26 July 2022

12. Officers' reports

CM.071/22 Nillumbik Draft General Local Law 1 - Public Exhibition

- a) Draft Procedure and Protocol Manual (Attachment 3) with changes
- b) Live Local Plant policy (Attachment 4).
- Invites submissions on the Draft Nillumbik General Local Law 1 to Council between 1 August – 22 August 2022.
- 3. Considers public submissions at the Planning and Consultation Committee meeting to be held in October 2022.
- 4. Notes that any person who makes a written submission in relation to the Draft Nillumbik General Local Law 1 and requests to be heard in support of their written submission, be invited to talk to their submission at the October 2022 Planning and Consultation Committee meeting.
- 5. Acknowledges and thanks the significant participation of the community to support the development of the Draft Nillumbik General Local Law 1.

12. Officers' reports	
CM.072/22	Nillumbik Shire Council Communications Strategy 2022-2025
Distribution:	Public
Manager:	Sally Johnson, Acting Executive Manager Governance, Communications and Engagement
Author:	Licardo Prince, Communications and Advocacy Lead

Summary

This report provides a brief overview and background to the development of the Nillumbik Shire Council Communications Strategy 2022-2025 ('The Strategy') (Attachment 1).

The Strategy was developed with input and feedback from Councillors, Council officers and the community.

It will provide an overarching framework through which Council will communicate relevant information clearly, accurately and in timely fashion, to its community and other key audiences.

A key aim of the Strategy is to enable a two-way flow of communication and that the community is able to communicate with Council when and how it finds most appropriate.

Placing matters of access, equity and inclusion at the heart of all communications between Council and its community will be integral to achieving this. These were all prominent themes to emerge from the community engagement process undertaken in developing the Strategy.

This feedback has been incorporated into the Strategy, which as a high level guiding document, will ensure that such considerations inform all of Council's communications.

Built on four strategic pillars, the aims of the Nillumbik Shire Council Communications Strategy 2022-2025 will be achieved through an effective combination of approaches and channels.

This will enable a continuous process of engagement - with the community, other external stakeholders, Council officers and Councillors – so that Council has a strong grasp of the community's preferred means of communication.

The Strategy will also be made available in preferred formats – a more accessible Word format version has been developed and an Easy English version will also be produced upon formal adoption of the Strategy. Prior to adoption of the strategy, the accessible Word version can be obtained by request to Council.

In line with the Council Plan 2021-2025 the Strategy provides a framework to deliver communication that meets the needs of the community. It also aligns closely with Council's Community Engagement Policy, which was also adopted last year.

Once endorsed, progress on the implementation of the Nillumbik Shire Council Communications Strategy 2022-2025 will be reviewed annually.

26 July 2022

12. Officers' reports

CM.072/22 Nillumbik Shire Council Communications Strategy 2022-2025

Council Resolution

MOVED: Cr Natalie Duffy SECONDED: Cr Geoff Paine

That Council:

- 1. Formally endorses the Nillumbik Shire Council Communications Strategy 2022-2025.
- 2. Instructs officers to commence the development of a detailed plan through which to implement the Strategy.
- 3. Authorises the Acting Executive Manager Governance Communications and Engagement to make any further minor changes to the Strategy that may be necessary.
- 4. Makes the adopted Strategy publicly available on Council's website.

Council Meeting Minutes 26 July 20		ıly 2022
12. Officers'	' reports	
CM.073/22	Nillumbik Shire Heritage Review	
Distribution:	Public	
Manager:	Rosa Zouzoulas, Executive Manager Planning and Community	/ Safety

Author: Leigh Northwood, Strategic Planning Lead

Summary

The purpose of this report is to present Council with the draft Nillumbik Shire Heritage Review Stage B which includes the final draft Statements of Significance and citations for identified heritage places along with an updated Nillumbik Shire Thematic Environmental History.

Local Councils are responsible for protecting places with local heritage significance. Section 4 of the <u>Planning and Environment Act 1987</u> obliges Councils to use their planning schemes to conserve and enhance buildings, areas or other places of local heritage significance. Preparation of the Heritage Review is also consistent with Council Plan Action 15 and Council's adopted Heritage Strategy (2011).

The Heritage Overlay (HO) is the planning tool used in Planning Schemes to protect places of heritage significance. Where the HO applies, an applicant/owner would need to apply to Council for a planning permit for certain types of building and works, so it can be ensured that the proposed development does not detract from the heritage significance.

Before a heritage place can be included in the HO it needs to be assessed by Council as locally significant. The assessment process includes identifying and recommending heritage protection for a particular local place through a heritage review/study. This strategic justification must follow specific assessment requirements and format to be consistent with legislative and State government requirements.

Council adopted Heritage Review Stage A and the Priority List for Stage B in June 2021. Stage A recommended a total of twenty-two (22) properties which met the threshold for heritage significance have the Heritage Overlay applied to them, which included the Eltham War Memorial which was added into Stage A recommendations. 1080 Heidelberg-Kinglake Road, Hurstbridge which was on the Stage A list a planning application proposing structural changes to the property triggered the requirement for an interim and permanent planning scheme amendment, the later now approved and gazetted thereby reducing the total number of places recommended in Stage A to twenty-one (21).

As a result of Heritage Review Stage B, forty-five (45) further properties have met the threshold for heritage significance protection and are recommended for application of the Heritage Overlay.

The most common types of properties which have had the HO applied in Nillumbik (traditionally) are mostly Farmhouses or complexes, with some 'Eltham Style'. Stage A and B reviews have identified typologies for inclusion across a range of styles including 'The Eltham Style', Alistair Knox designs, Post-war Houses and Farmhouses or complexes. It is noted Stage A and B has identified an increase of post-war typologies that meet the criteria for application of the HO (i.e. 1950/60's and beyond).

The Thematic Environmental History (TEH) is essentially a background document that is added to over the years in support of Council's unique heritage environment. Evidence to support inclusion of these typologies exists in Councils current TEH, although it is noted that an update to the TEH was required to support emerging themes (as identified through

26 July 2022

12. Officers' reports

CM.073/22 Nillumbik Shire Heritage Review

Stage A and B reviews). The update to the TEH identified benchmarking which has for justified the further inclusion of these typologies in Nillumbik. The TEH is important in supporting arguments around the significance of Nillumbik's heritage typologies and particularly helpful at Planning Panel. Local Historical Societies in Nillumbik have been engaged with regard to updating of the TEH.

There have been three (3) properties (identified in Stage A and B) which have triggered the need for application of an interim Heritage Overlay. The range of works proposed range from total demolition to substantial changes to the structure of significant buildings. Application of interim HO's has resulted in Council needing to undertake (and fund) independent amendments to prepare, exhibit, take to Panel (where an objection has been received) to seek to apply the HO on a permanent basis.

Officers recommend endorsement of Heritage Review Stage B and updated TEH. Subject to this endorsement officers further recommend Council to seek authorisation from the Minister for Planning to apply <u>both an interim and permanent</u> HO to all sixty six (66) places recommended by Stage A and B Heritage reviews, noting the interim amendment will facilitate protection of places identified in both reviews, whilst allow preparation and exhibition of the permanent amendment.

Council Resolution

MOVED: Cr Peter Perkins SECONDED: Cr Geoff Paine

That Council:

- 1. Adopts the final version of the Statements of Significance and Citations for Stage B (Attachment 3) of the Nillumbik Heritage Review; and
- Adopts the Nillumbik Shire Thematic Environmental History, as updated (Attachment 4) and post WW2 addendum to the Thematic Environmental History (Attachment 5); and
- 3. Requests the Minister for Planning, to exercise powers under Section 20(4) of the *Planning and Environment Act 1987* to prepare and approve an amendment to the Nillumbik Planning Scheme to apply the Heritage Overlay to places (as recommended in Heritage Review Stage A and B) on an interim basis; and
- 4. Request the Minister for Planning, under Section 8A of the *Planning and Environment Act 1987*, to authorise the preparation and exhibition of an amendment to the Nillumbik Shire Planning Scheme to apply the Heritage Overlay to places (as recommended in Heritage Review Stage A and B) on a permanent basis; and
- 5. Publishes the final version of the Statements of Significance and Citations for Stage B (Attachment 3) of the Nillumbik Heritage Review on Council's website; and
- Publishes the Nillumbik Shire Thematic Environmental History (as updated), (Attachment 4) and the Post WW2 addendum (Attachment 5) on Council's Website; and

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26 July 2022

12. Officers' reports

CM.073/22 Nillumbik Shire Heritage Review

7. Notifies the owners of places identified for application of the Heritage Overlay as per the recommendations of Stage A and Stage B Heritage Reviews of Council's resolution and next steps.

Council Meet	ing Minutes	26 July 2022
12. Officers	reports	
CM.074/22	Australia Day/January 26	
Distribution:	Public	

Manager:	Corrienne Nichols, Executive Manager Community Services
Author:	Nichole Johnson, Manager Community Partnerships

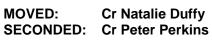
Summary

The purpose of this report is for Council to consider a change to the Australia Day Awards Program for 2023. It is recommended that the Awards Program currently held on January 26 be moved and combined with another event such as Volunteer Appreciation evening held later in the year.

The Citizenship Ceremony would continue to take place on Australia Day/January 26.

If endorsed a future report would be scheduled to confirm the new date, name and categories of the Awards Program.

Council Resolution



That Council:

- 1. Endorses moving the Australia Day Awards Program currently held on January 26 to another date and combine with another Event.
- 2. Continues to run a citizenship ceremony on Australia Day/January 26.
- 3. Requests a future report from Officers to confirm the new date, name and categories for the Awards Program.

26 July 2022

12. Officers' reports

Manager:Rosa Zouzoulas, Executive Manager Planning and Community SafetyAuthor:Leigh Northwood, Strategic Planning Lead

Summary

In June 2021, Council provided an officer level response to a discussion paper released by Whittlesea City Council (WCC) in regard to the preparation of its Green Wedge Management Plan (GWMP). The discussion paper was essentially a background report which informed key matters and the strategic directions that now are included in the draft Whittlesea City Council's GWMP.

Officers have prepared a submission (refer **Attachment 2**) in response to Whittlesea's Draft Green Wedge Management Plan (GWMP) 2022-2032 (refer **Attachment 1**).

Consultation in regard to the draft GWMP closed 3rd July, however officers have negotiated with WCC to allow for an officer level response to be submitted to the 3rd July close date to allow WCC officers to start the process of review of feedback, but will accept an endorsed submission thereafter the council meeting of the 26th July which is the first council meeting that could be scheduled in consideration of the draft submission. WCC have agreed this endorsed submission will be considered Nillumbik Shire Council's final position.

Where Councillor feedback has been provided, it has been included in the submission.

Council Resolution

MOVED:	Cr Ben Ramcharan
SECONDED:	Cr Natalie Duffy

That Council:

- 1. Endorses the finalised submission response to the *Whittlesea City Council DRAFT* Green Wedge Management Plan (at Attachment 2); and
- 2. Submits the endorsed Council submission to Whittlesea City Council for consideration.

26 July 2022

12. Officers' reports

CM.076/22 Proposed Community Market - Yarrambat Park

Distribution: Public

Manager:	Hjalmar Philipp, Director Operations and Infrastructure

 Author:
 Jonathon Miller, Manager Property and Facilities Maintenance

Summary

Diamond Valley Community Support Inc (DVCS) has approached Council for permission to operate a weekly community market at Yarrambat Park (the Park).

The specific area is notated "car park" in **Attachment 1.**

For a market to operate at the site, Council would be required to enter into a licence agreement with an operator. Given the Park is public open space, it is appropriate to undertake a public Expression of Interest (EOI) process, to determine and assess if there are other suitable organisations interested in operating a market from the Park, and on what terms.

The purpose of this report is to provide Council with a background to the request, an overview of the Park and the proposed EOI process. It also seeks a formal resolution of Council to commence an EOI process to allow an appropriate market operator to be appointed.

Council Resolution

MOVED: Cr Richard Stockman SECONDED: Cr Peter Perkins

That Council:

- 1. Requests Officers to complete a public Expression of Interest (EOI) process to appoint an operator of a weekly community market to be located at Yarrambat Park carpark, under a licence agreement which includes the following terms and conditions:
 - a) **The Licensed Area:** That part of the land thereon known as Yarrambat Park carpark at 649 and 657 Yan Yean Road, Plenty;
 - b) Permitted Days and Hours of Operation: 8:30am to 2.00pm on Saturdays,
 - c) **Licence Fee:** Proposed Licence rental fee to Council. (This forms part of the Proponents proposal).
 - d) Licence Term: 3 years.
 - e) Other Special Conditions:
 - i) That a Traffic Management Plan will need to be prepared and implemented by the successful Proponent. Council's Traffic Management Officers will assist with preparation of the Plan; and
 - ii) The proposed community market cannot operate on days that conflict with the Yarrambat Horse and Pony Club and the Yarrambat Adult Riders Club "Competition Days".

26 July 2022

12. Officers' reports

CM.076/22 Proposed Community Market - Yarrambat Park

2. Request Officers present the results of the EOI process, and include a recommendation as to the successful proponent at a future meeting of Council.

12. Officers' reports

CM.077/22 Economic Development Advisory Committee Terms of Reference and Committee Membership endorsement

Distribution:	Public

Manager:	Rosa Zouzoulas, Executive Manager Planning and Community Safety
Author:	Danielle Phyland, Economic Development and Tourism Lead

Summary

The Economic Development Advisory Committee (EDAC) provides a formal mechanism for Council to consult with key industry stakeholders, seek specialist advice and enable participation in the development, implementation and evaluation of the Nillumbik Economic Development Strategy 2020-2030.

Council called for nominations for the 2022-24 EDAC for a 6-week period in January-February 2022. A total of 14 nominations were received, this included existing members wishing to remain on the committee. All nominations received have been assessed against the selection criteria by Officers and the purpose of this report is to seek endorsement of the new members (Attachment 1).

Council's endorsement is also sought for the proposed EDAC Terms of Reference (TOR) 2022-24 **(Attachment 2)** updated in line with Council's adopted Advisory Committee Policy and standardised templates.

Recommendation

That Council:

- 1. Endorses the twelve recommended applicants listed for appointment to the 2022-24 Economic Development Advisory Committee (refer confidential **Attachment 1**):
 - (a) Applicant 1 _____ representing Eltham Chamber of Commerce and Industry
 - (b) Applicant 2 _____ representing Nillumbik Tourism and Business Association
 - (c) Applicant 3 _____ representing Diamond Creek Traders Association
 - (d) Applicant 4 _____ representing Hurstbridge Traders Association
 - (e) Applicant 5 _____ General Committee member
 - (f) Applicant 6 _____ General Committee member
 - (g) Applicant 7 _____ General Committee member
 - (h) Applicant 8 _____ General Committee member
 - (i) Applicant 9 _____ General Committee member
 - (j) Applicant 10 _____ General Committee member
 - (k) Applicant 11 _____ Youth representative
 - (I) Applicant 12 _____ Agricultural representative

12. Officers' reports

CM.077/22 Economic Development Advisory Committee Terms of Reference and Committee Membership endorsement

- 2. Acknowledges and thanks all community members who submitted nominations for the Economic Development Advisory Committee and advise unsuccessful candidates.
- 3. Resolves that the Panel Recommendations and Scoring (Attachment 1) to remain confidential on the grounds specified in the definition of confidential information in section 3(1)(f) of the *Local Government Act 2020*.
- 4. Resolves that the successful nominees be named.
- 5. Endorses the update of the proposed Economic Development Advisory Committee Terms of Reference 2022-24 (Attachment 2)

CARRIED UNANIMOUSLY

Motion	
MOVED:	Cr Geoff Paine
SECONDED:	Cr Natalie Duffy

That Council:

- 1. Endorses the twelve recommended applicants listed for appointment to the 2022-24 Economic Development Advisory Committee (refer confidential **Attachment 1**):
 - (a) Applicant 1 _____ representing Eltham Chamber of Commerce and Industry
 - (b) Applicant 2 _____ representing Nillumbik Tourism and Business Association
 - (c) Applicant 3 _____ representing Diamond Creek Traders Association
 - (d) Applicant 4 _____ representing Hurstbridge Traders Association
 - (e) Applicant 5 _____ General Committee member
 - (f) Applicant 6 _____ General Committee member
 - (g) Applicant 7 _____ General Committee member
 - (h) Applicant 8 _____ General Committee member
 - (i) Applicant 9 _____ General Committee member
 - (j) Applicant 10 _____ General Committee member
 - (k) Applicant 11 _____ Youth representative
 - (I) Applicant 12 _____ Agricultural representative
- 2. Acknowledges and thanks all community members who submitted nominations for the Economic Development Advisory Committee and advise unsuccessful candidates.
- 3. Resolves that the Panel Recommendations and Scoring (Attachment 1) to remain confidential on the grounds specified in the definition of confidential information in section 3(1)(f) of the *Local Government Act 2020*.

12. Officers' reports

CM.077/22 Economic Development Advisory Committee Terms of Reference and Committee Membership endorsement

- 4. Resolves that the successful nominees be named.
- 5. Endorses the update of the proposed Economic Development Advisory Committee Terms of Reference 2022-24 (Attachment 2), amending the Terms of Reference to stipulate two Councillors and one Officer as part of the membership.

THE MOTION WAS PUT TO THE VOTE AND CARRIED AND BECAME THE COUNCIL RESOLUTION AS FOLLOWS:

Council Resolution

MOVED: Cr Geoff Paine SECONDED: Cr Natalie Duffy

- 1. Endorses the twelve recommended applicants listed for appointment to the 2022-24 Economic Development Advisory Committee (refer confidential **Attachment 1**):
 - (a) Applicant 1 Nicole Staveley representing Eltham Chamber of Commerce and Industry
 - (b) Applicant 2 Chanmali Tregambe representing Nillumbik Tourism and Business Association
 - (c) Applicant 3 Claire Nolle representing Diamond Creek Traders Association
 - (d) Applicant 4 Terry Hutton representing Hurstbridge Traders Association
 - (e) Applicant 5 Kirrily Romero General Committee member
 - (f) Applicant 6 Philip Marendaz General Committee member
 - (g) Applicant 7 Simon Le Plastrier General Committee member
 - (h) Applicant 8 Meera Govil General Committee member
 - (i) Applicant 9 Katrina Naish General Committee member
 - (j) Applicant 10 Debby Maziarz General Committee member
 - (k) Applicant 11 Nicholas Costanzo Youth representative
 - (I) Applicant 12 George Apted Agricultural representative
- 2. Acknowledges and thanks all community members who submitted nominations for the Economic Development Advisory Committee and advise unsuccessful candidates.
- 3. Resolves that the Panel Recommendations and Scoring (Attachment 1) to remain confidential on the grounds specified in the definition of confidential information in section 3(1)(f) of the *Local Government Act 2020*.
- 4. Resolves that the successful nominees be named.
- 5. Endorses the update of the proposed Economic Development Advisory Committee Terms of Reference 2022-24 (Attachment 2), amending the Terms of Reference to stipulate two Councillors and one Officer as part of the membership.

26 July 2022

12. Officers' reports

CM.078/22 Intention to lease land to LMS Energy P/L for Solar Farm

Distribution: Public

Manager:	Hjalmar Philipp, Director Operations and Infrastructure
Author:	Natalie Campion, Coordinator Property

Summary

In accordance with Section 115 of the *Local Government Act 2020* (the Act), Nillumbik Shire Council gave notice on 27 May 2022 that it proposes to enter into a lease with LMS Energy Pty Ltd ACN 059 428 474 (LMS) in respect of part of the vacant Council-owned land located at 290-304 Yan Yean Road and 193-213 Heard Avenue, Plenty, known as part of the former Plenty landfill site (Land) on the following terms and conditions:

- Term of Lease: an initial term of 25 years with one further term of 5 years.
- **Rent Amount:** \$2,000 plus GST per annum, to be increased by CPI annually
- **Permitted use:** Operating a solar farm.
- **Premises:** on the commencement date of the lease, the premises shall be that part of the Land shown outlined red on the plan shown in **Attachment 1**.

In response to publicly advertising its intention to enter into a lease agreement with LMS, Council received 5 submissions as shown in **Attachment 2**. The Committee (acting under delegation from Council) considered the contents of these submissions in accordance with Section 115 of the Act and Council's community engagement policy at the Planning and Consultation Committee held on 12 July 2022.

This report seeks Council's resolution to enter into a lease agreement with the LMS as publically advertised.

Council Resolution

MOVED: Cr Richard Stockman SECONDED: Cr Geoff Paine

That Council:

- 1. Having completed public notification and considered public submissions in accordance with section 115 of the *Local Government Act 2020* (the Act) and Council's community engagement policy, resolves to grant a lease to LMS Energy Pty Ltd ACN 059 428 474 (LMS) in respect of part of the vacant Council-owned land located at 290-304 Yan Yean Road and 193-213 Heard Avenue, Plenty, known as part of the former Plenty landfill site (Land), on the following terms and conditions:
 - a) **Term of Lease:** an initial term of 25 years commencing on the date of practical completion of the solar farm facility, with one further term of 5 years.
 - b) Rent Amount: \$2,000 plus GST per annum, to be increased by CPI annually
 - c) **Permitted use:** Operating a solar farm.
 - d) **Premises:** on the commencement date of the lease, the premises shall be that part of the Land shown outlined red on the plan shown in **Attachment 1**.

26 July 2022

12. Officers' reports

CM.078/22 Intention to lease land to LMS Energy P/L for Solar Farm

- 2. Authorises the Director Operations and Infrastructure to finalise and execute the lease agreement between Council and LMS once the Engineering, Procurement, Construction and Management (EPCM) Contract has been executed by Council and LMS.
- 3. Thanks all people that made a submission and advises them of Council's decision on the matter following this meeting.
- 4. Resolves that the confidential un-redacted public submissions on the lease proposal (Attachment 3) remains confidential in accordance with section 3(1)(f) of the Local Government Act 2020.

CARRIED UNANIMOUSLY

12. Officers'	reports
CM.079/22	Tender Report - Contract 2122-085 IT Hardware and Infrastructure - End User Computing
Distribution:	Public

Manager: Vince Lombardi, Chief Financial Officer

 Author:
 Daniel Tarquinio, Manager Information Technology

Summary

This report recommends the awarding of a lease contract for the provision of Hewlett Packard (HP PPS) laptops/tablets and services for the replacement of the existing fleet of laptop/tablet (End User Computing) units.

The current fleet End User Computing equipment is four years old and was acquired via a previous leasing contract term with HP PPS back in September 2018. This current lease arrangement is now ending and the existing equipment has reached its end of life cycle and warranty coverage. As part of the original terms of the lease the equipment will be returned to HP PPS.

The new contract term is for a period of 3 years and the lease agreement will be with Hewlett Packard Financial Services.

The lease arrangement includes the following;

- Provision and deployment of the new units
- Next business day on-site warranty support
- Collection of units, secure data destruction and recycling at the end of the lease period

Pursuant to the Instrument of Delegation to the Chief Executive Officer, the value of this contract exceeds the specified financial limits and a Council resolution is therefore required to award the contract.

Council Resolution

MOVED:	Cr Ben Ramcharan
SECONDED:	Cr Karen Egan

That Council:

1. Resolves to accept the proposal to enter into a lease contract with for the provision HP PPS End User computing equipment and services for the lease term of three years with Hewlett Packard Financial Services up to the value of \$900,000 excluding GST.

Number: 2122-085

Title: IT Hardware and Infrastructure - End User Computing

Term: 3 years from date of acceptance of equipment

- 2. Authorises the Chief Financial Officer to finalise and execute the contract documentation.
- 3. Authorises the Chief Financial Officer to approve changes to operational requirements throughout the term of the contract.

Council Mee	ting Minutes	26 July 2022
12. Officers	s' reports	
CM.079/22	Tender Report - Contract 2122-085 IT Hardw End User Computing	are and Infrastructure -
4. Advis	ses all tenderers accordingly.	

CARRIED UNANIMOUSLY

Council Meet	ing Minutes 26 July 2022
12. Officers	reports
CM.080/22	Tender Report - Contract 2021-058 Facilities Maintenance Services Panel
Distribution:	Public
Manager:	Hjalmar Philipp, Director Operations and Infrastructure
Author:	Jonathon Miller, Manager Property and Facilities Maintenance

Summary

This report recommends the awarding of contract 2021-058 for Facilities Maintenance Services Panel.

Council conducts various reactive and proactive maintenance, scheduled servicing, emergency out of hour's works and other services that are required to maintain and improve its assets.

To complete these works, Council staff engage contractors from a panel of Facilities Maintenance Service providers including general handypeople, carpentry, electrical, plumbing, painting, mechanical, glazing and registered builder services.

The primary user of these services is the Property and Facilities Maintenance team, but the contractors on the panel can be used by other areas of Council as needed.

This contract is to deliver business as usual operational requirements for Facilities Maintenance Service requirements using a panel of qualified contractors. The new contract replaces a previous Panel Contract for Facilities Maintenance Services

The contract term is for an initial period of five years, with two x one year options to extend the contract. The total duration of the contract, including the exercise of any options, shall not exceed seven years.

The Tender Evaluation Panel (TEP) has assessed all submissions and this report provides a summary of their evaluation in recommending the awarding of the contract for 2021-058 for Facilities Maintenance Services Panel.

Pursuant to the Instrument of Delegation to the Chief Executive Officer, the value of this contract exceeds the specified financial limits and a Council resolution is therefore required to award the contract.

Recommendation

That Council:

1. Accepts the tenders submitted by the **preferred tenderers** for the schedule of rates and service categories as disclosed in (**Attachment** 1) and enter into the following contract:

Title: Facilities Maintenance Services Panel

Term: 1 August 2022 to 31 July 2027

Options: Term extensions up to 31 July 2029

2. Authorises the Director Operations and Infrastructure to finalise and execute the contract documentation.

12. Officers' reports

CM.080/22 Tender Report - Contract 2021-058 Facilities Maintenance Services Panel

- 3. Authorises the Director Operations and Infrastructure to approve contract term extensions.
- 4. Authorises the Director Operations and Infrastructure to approve changes to operational requirements throughout the term of the contract.
- 5. Authorises the Director Operations and Infrastructure to appoint new Facilities Maintenance Services contractors to the panel throughout the term of the contract.
- 6. Advises all tenderers accordingly.
- Makes public the decision regarding this contract but the Tender Evaluation Report (Attachment 1) remain confidential on the grounds specified in the definition of confidential information in section 3(1)(g) of the Local Government Act 2020.
- 8. Resolves that the preferred tenderers be named.

Council Resolution

MOVED:	Cr Geoff Paine
SECONDED:	Cr Karen Egan

That Council:

1. Accepts the tenders submitted by the **preferred tenderers** (see table below) for the schedule of rates and service categories as disclosed in (**Attachment 1**) and enter into the following contract:

Number:	2021-058
Title:	Facilities Maintenance Services Panel
Term:	1 August 2022 to 31 July 2027
Options:	Term extensions up to 31 July 2029

- 2. Authorises the Director Operations and Infrastructure to finalise and execute the contract documentation.
- 3. Authorises the Director Operations and Infrastructure to approve contract term extensions.
- 4. Authorises the Director Operations and Infrastructure to approve changes to operational requirements throughout the term of the contract.
- 5. Authorises the Director Operations and Infrastructure to appoint new Facilities Maintenance Services contractors to the panel throughout the term of the contract.
- 6. Advises all tenderers accordingly.
- 7. Makes public the decision regarding this contract but the Tender Evaluation Report (**Attachment 1**) remain confidential on the grounds specified in the definition of confidential information in section 3(1)(g) of the *Local Government Act 2020*.
- 8. Resolves that the preferred tenderers be named.

CARRIED UNANIMOUSLY

26 July 2022

12. Officers' reports

CM.080/22	Tender Report - Contract 2021-058 Facilities Maintenance Services
	Panel

Facilities Maintenance Service Category	Recommended Tenderers
	ASM Chilltech
Air Conditioning Maintenance Services	Renown Services
	Total Air Services (VIC) Pty Ltd
	Alert Electrical Group
Electrical Services	Blended Services Group Pty Ltd
	Hilite Electrics Pty Ltd
	Blended Services Group Pty Ltd
General Facilities Maintenance Services (Multi Skilled Handy Person)	Crisp N Co Pty Ltd
	Maple Constructions Pty Ltd
Glazing Services	Eltham Glass Pty Ltd
	O'Brien Glazing
	Blended Services Group Pty Ltd
Painting Services	Prestige Painting Group Pty Ltd
	Eastern Property Services Pty Ltd
	Blended Services Group Pty Ltd
Plumbing Services	GF&J Sharp Plumbing
	Reed Plumbing and Drainage Solutions
Plumbing-Irrigation (Maintenance and	Century Rain
Repair)	Tees & Greens Pty Ltd
Registered Builders	AWS Services VIC Pty Ltd
	Blended Services Group Pty Ltd
	Eastern Property Services Pty Ltd
	Maple Constructions Pty Ltd

COM.001/22Confirmation of Minutes Council Meeting held Tuesday 26 July 2022Attachment 1.Minutes of the Council Meeting 26 July 2022

12. Officers' reports

CM.081/22	Informal Meetings of Councillors Records - 26 July 202	2
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bution: Public

Manager:	Sally Johnson, Acting Executive Manager Governance,
	Communications and Engagement

Author: Katia Croce, Governance Lead

Summary

In accordance with *Item 19 of Council's Governance Rule – Meeting Procedure*, adopted on 25 August 2020, Council is required to report as soon as practicable to a Council Meeting a record of each Informal Meeting of Councillors held.

This report lists Informal Meetings of Councillors Records submitted since the matter was last reported to Council on 28 June 2022.

An Informal Meeting of Councillors Record was kept for the following meetings (Attachment 1):

- 1. Eltham Gateway Project meeting held 18 May 2022;
- 2. Local Laws Councillor Workshop held 23 May 2022;
- 3. Planning and Consultation Committee Pre-Meet held 14 June 2022;
- 4. Environmental Sustainability Advisory Committee meeting held 15 June 2022;
- 5. Panton Hill Bushland Reserve System User Group Advisory Committee meeting held 16 June 2022;
- 6. Councillor Briefing held 21 June 2022;
- 7. Council Meeting Pre-Meet held 28 June 2022;
- 8. Councillor Briefing held 5 July 2022; and
- 9. Planning and Consultation Committee Pre-Meet held 12 July 2022.

Council Resolution

MOVED: Cr Karen Egan SECONDED: Cr Peter Perkins

That Council, in accordance with *Item 19 of Council's Governance Rule – Meeting Procedure*, receives the Informal Meetings of Councillors Records (**Attachment 1**) for the meetings held.

CARRIED UNANIMOUSLY

26 July 2022

Council Meeting Minutes

13. Notices of Motion

Nil

14. Delegates' Reports

Mayor Frances Eyre and Deputy Mayor Ben Ramcharan

2022 National General Assembly of the Australian Local Government Association

Mayor Frances Eyre and Deputy Mayor Ben Ramcharan attended the 2022 National General Assembly (NGA) of the Australian Local Government Association (ALGA) from Monday 20 to Wednesday 22 June. They were accompanied by Council's Communications and Advocacy Lead, Licardo Prince.

The NGA was held over three days at the National Convention Centre in Canberra. In addition, Cr Eyre and Cr Ramcharan attended ALGA's Regional Forum on Sunday 19 June, where councils from rural and regional areas were invited to discuss issues relevant to them. They also attended the Local Leaders Breakfast, organised by the Cities Power Partnership, where councillors from across the country discussed how to tackle the Climate Emergency at a local level.

Crs Eyre and Ramcharan and Licardo also secured a meeting with the new Federal Minister for Regional Development, Local Government and Territories Kristy McBain. Minister McBain was very receptive to the issues raised, which included funding for a youth hub in Nillumbik as well as joint action on the Climate Emergency between Federal and local governments.

Among the speakers at the event were Federal Ministers Murray Watt (Emergency Management, Agriculture, Fishing and Forestry), Linda Burney (Indigenous Australians) and Catherine King (Infrastructure, Transport and Regional Development).

The event reaffirmed local government's importance at a local and national level and this was further reflected in the encouraging signals received from the new Federal Government that it would seek greater engagement with the sector.

Some of the key issues raised during the NGA included Australia's growing housing crisis as well as the importance of Financial Assistance Grants, which provide crucial untied funding from the Commonwealth government to local councils across the country.

Councils were invited to raise motions at the NGA and Nillumbik Council put forward the following motion:

This National General Assembly calls on the Australian Government to support the zeroemissions targets of local government Climate Emergency acknowledgements and declarations by:

- a) legislating a federal government target of zero emissions by 2035
- b) supporting a renewable energy led Covid economic recovery in preference to the nationally proposed gas-led recovery (by providing funding support on a national scale for increased renewable energy infrastructure)
- c) preparing the national grid to support electric vehicles and increased battery storage integration.

26 July 2022

A number of councils put forward motions relating to the Climate Emergency and related motions were amalgamated into one motion. The decision of the room was to support the motion from Newcastle City Council, NSW only. While this meant that Nillumbik's motion was not adopted at the NGA, the NGA's decision did support:

- Recognition that we are in a state of Climate Emergency
- The appointment of a minister for the Climate Emergency
- A national Climate Change taskforce
- A zero emissions target
- The development of renewable energy industries
- · Incentives to all sectors to transition to more efficient technologies
- An increase in urban vegetation cover and the rehabilitation of degraded rural environments
- An increase in the support for households to access energy efficient demands

In addition to the motions raised, delegates at the NGA signed off on an official joint communique (attached) which provides a succinct overview of the issues discussed and decisions made over the course of the NGA.



Kristy McBain, Local Government Minister with Mayor Frances Eyre



Deputy Mayor Ben Ramcharan and Mayor Frances Eyre at Parliament House

26 July 2022



2022 NATIONAL GENERAL ASSEMBLY OF LOCAL GOVERNMENT COMMUNIQUE

Local government leaders from around Australia gathered in Canberra from 20 – 22 June 2022 for the 28th National General Assembly of Local Government (NGA).

This event was held on the traditional lands of the Ngunnawal people, and the Assembly paid its respects to their elders past, present and emerging, and acknowledged the vital and ongoing contributions First Nations peoples continue to make to our nation.

Around 1,000 delegates welcomed and congratulated the Albanese Government on being elected and thanked the many federal members of parliament who attended and spoke at the NGA or associated events, including Minister King, Minister McBain, Minister Watt, Minister Burney, Minister Rowland, Leader of the National Party David Littleproud, and Zali Steggall OAM.

All reaffirmed the importance of local government, and councils look forward to seeing action through better partnerships.

Local governments asked for a Minister in Cabinet and we welcome the appointment of Cabinet Minister King supported by former Bega Valley Shire Mayor Minister McBain.

The Assembly welcomed the announcement from Minister King that she would work with Minister McBain to re-establish the Australian Council of Local Governments and was encouraged by the Government's willingness to engage and partner with local councils.

In keeping with the theme of the Assembly 'Partners in Progress', councillors committed to partnering with the Australian Government to progress critical reforms, including national productivity, climate change transition, Closing the Gap, housing affordability including increased social housing, appropriate road safety reforms, restoring integrity of federal funding to local government, and improved local delivery of community services.

The Assembly committed to progressing the next step of Closing the Gap and passed a motion supporting the Uluru Statement from the Heart.

The Assembly heard from leading economists that local government is the most productive level of government yet collects just 4% of national taxation revenue. The Assembly agreed that councils need more sustainable and transparent formula-based funding to restore integrity to federal funding of local government.

Further, they noted the essential federal funding support to local communities and called on the Government to review Financial Assistance Grants and restore them to at least 1 percent of Commonwealth taxation revenue.

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Delegates and speakers recognised the protracted challenges of the COVID pandemic, unprecedented droughts, bushfires, and recent floods, and commended the work of local councils, local communities and government agencies on their work on emergency response and recovery.

A number of flood affected leaders also met personally with the Prime Minister, and highlighted ways to better work together to prevent and prepare for natural disasters.

The Assembly warmly received Governor-General David Hurley and his comments on the vital role councils are playing supporting disaster impacted communities and will need to play in the future.

The Assembly noted however that more needs to be done on mitigation and the prevention of climate induced natural disasters.

The Assembly discussed the global challenges to democracy and the critical importance of local government. The Assembly reaffirmed its commitment to strong local leadership, transparency and public accountability, free and fair elections and local democracy.

After a stirring address from the Ukraine Ambassador, the Assembly passed a unanimous motion supporting the Ukraine people and their legitimate and democratically elected governments.

Other critical issues addressed at the Assembly included migration between cities and regions, housing affordability and the role councils can play in social housing in particular, critical workforce challenges and road safety.

Delegates agreed to continue to meet with their local federal members to highlight the importance of sustainable and transparent funding for local governments, and better partnerships that will help support progress in every community.

Convened by the Australian Local Government Association (ALGA) the NGA is the largest national gathering of democratically elected representatives in the nation. ALGA is the national voice of local government and will review more than 106 policy initiatives adopted by resolution of the Assembly in the coming months.

Access photos and videos from the 2022 NGA here: https://drive.google.com/drive/folders/1zQvMtGiMrhT_ySKc0aRGGahj5N4Vx_HX?usp=shari_ng

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COM.001/22Confirmation of Minutes Council Meeting held Tuesday 26 July 2022Attachment 1.Minutes of the Council Meeting 26 July 2022

26 July 2022

Council Meeting Minutes

15. Supplementary and urgent business

Nil

16. Confidential reports

Nil

17. Close of Meeting

The meeting closed at 8:21pm.

Confirmed:

Cr Frances Eyre, Mayor

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Attachments - 48

Positive Ageing Advisory Committee



Minutes: Ageing Well Planning Day

Date:	Friday 1 July 2022
Time:	11 am – 2:30 pm
Venue:	Council Chambers and via Zoom
Minute taker:	Jade Zigenbine, Business and Program Support Officer
Present:	Richard Kottek, Philip Green, Tianjian Shen, Sandra Verdam, Ray Carroll, Jan Taylor, Sabi Buehler, Deanna Finn, Anne Fitzpatrick, Sue
	Riley, Iwona Trickett, Fiona Vuong, Narelle Hart
Apologies:	Cr Duffy, Cr Eyre Janice Crosswhite, Joy Ferguson

Order of business

1. Welcome

2. Acknowledgement of Country

Acknowledgement of Country was read by Fiona Vuong.

3. A word from Fiona and Iwona / Context of the day

Fiona gave an overview of the day. Fiona also spoke about weaving in the perspectives of the 'communities that are not represented'. Fiona provided a presentation outlining key demographic information and outlined the 7 Ageing well in Nillumbik Action Plan priorities. See attached presentation, '*Ageing Well Planning Day Presentation*'.

4. Debby Maziarz Introduction

Debby introduced herself and outlined a little about herself. Group icebreaker activity of a show and tell with something that inspires us and brings us joy.

Debby outlined the goals for the day: to come together to identify the gaps and priorities impacting the ageing community based on themes from the Ageing Well In Nillumbik Action Plan. Today is about exploring new projects and initiatives that can inform current and future planning.

5. Brainstorming Session 1

Participants were organised into 3 groups, with each group discussing one priority area:

- What are we seeing, hearing, experiencing? (identify gaps/ priorities)
- What are our ideas for projects or solutions to address the gaps and priorities
- Focusing on one idea, work through the project planning template

See 'Ageing Well Planning Day Notes (Appendix 1)' for summary of discussion.

Page 1 of 13

6. Lunch

7. Team building exercise

Everyone was split into 2 teams and given a box full of objects, with those they were to build the highest standing tower with a marshmallow on top.

8. Brainstorming Session 2

See 'Ageing Well Planning Day Notes (Appendix 1)' for summary of discussion.

9. Reflection

lwona thanked everyone for coming and their participation for the day. The information and eventual priorities will inform us and assist in planning and resources from work with PAAC and Council.

Council will provide further feedback over the next few months and the preliminary plans to address these gaps, through pilot projects as explored today.

Watching the PAAC work as a group was commended. Narelle Hart (Manager Community Programs) thanked everyone for their contributions and advised Council will provide further feedback over the next few months and identify preliminary plans what we are working on. By identifying the gaps and priorities and exploring these actions, Council will begin scoping feasibility of such projects and some we may be able to commence immediately.

ACTION - PAAC requested that the CEO attend one or more of the PAAC meetings in future.

10. Meeting close 2:30 pm

11. Next meeting date and location PAAC Meeting

When: Friday 5 August Time: 12-2pm

Where: Council Chambers and Zoom

Appendix 1 AGEING WELL PLANNING DAY NOTES Friday 1st July 2022

Notes from butchers paper.

PRIORITY 1: ACCESS TO SERVICES

What are we seeing, hearing & experiencing?

- Social connection with paid carers when they provide care in the home
- Education about becoming an aged care worker at Living and Learning Centres
- Personal services such as Meals on wheels, Carers @ Mecwacare
- Challenges in the service provider space
- Limited downsizing options for older people in the Shire
- Maps, flyers/hardcopy prioritisation in areas with higher older people population
- Lack of digital literacy programs to promote digital literacy

Access to services for culturally diverse older people

- No place to go if they live far away
- Limited community and information about services ignorance about services available may not have the support to access

Rural experience

- Feel lucky that a carer can come to the house
- St Andrews people are struggling
- Paid carers who travel km are not reimbursed
- Example of carer running a farm and caring for husband has to go to Eltham because nothing in the area
- Individual decision to change their lifestyle (not all people can do it)
- Unrealistic to expect the services in the area
- Lack of empathy in immediate society (Nillumbik)
- Blurred communication between servicing bodies (local, state, federal governments)
- Unrealistic expectations from some in society regarding what services can and can't do e.g. demands placed on service bodies

Key Gaps & Priorities (Opportunities)

- Palliative care unit in the Shire /Hospice where people can die in their community
- Local paper community news, include appropriate links to Council webpages, feedback and subscription
- All in one place, looking at pharmacies /GP's where info could be collected
- Is it unrealistic to expect this or is it that the service system is broken?
- A BASIC HUMAN RIGHT?
- Location, dirt roads
- Casualised workforce
- Understanding, empathy
- Expectations of people

Page 3 of 13

AC.007/22 Advisory Committee Report - 23 August 2022 Attachment 1. Advisory Committee meeting minutes reported 23 August 2022

- Politicised system
- Royal Commission into aged care report
- Lack of understanding of access to services in culturally diverse communities

What can Council do?

- Provide information in hard copies
- Promote/employment opportunities of personal care/aged care
- Digital education programs LLN
- Satellite outreach access to services
- Advocacy for drivers?
- Advocacy for diverse Housing options, close to community, public transport and services

Project Idea & Plan

Project: Carers Info Pack Communication

Description: Translation of info pack into LOTE (Chinese)

Who is it for? Chinese Carers in Nillumbik

Existing idea.

Timeline: Info pack finalised ASAP.

Location: Eltham, Hurstbridge, online.

Partners:

- Dementia Alliance
- Interpreters

PRIORITY 2: INFORMATION & ADVOCACY

What are we seeing, hearing & experiencing?

Develop and review terminology

- Council doing rather than 'working with'
- Co-design, change terminology that will lead to better engagement

Positive Ageing being 'stale'

- "Too many cracks in the wall"
- Easy English, want to see more of
- What does 'Positive Ageing' really mean?

Not enough community engagement

- Connections aren't there
- Volunteering not diverse enough

Key Gaps & Priorities

- Information sessions needs to be more fun, more linking of people to activities from session and keep them engaged
- Dementia support services and information
- Connection between community groups and information/resources aren't shared
- CLAN group that help each other
- Friendship connection to help with adhoc things

Project Idea & Plan

Project: Connection between community groups, sharing of information and resources

Description:

Key event to bring groups together to connect. Use World Café model to find out what people need. (Could be similar to the 'Get on with Life' event)

Who is it for?

- Residents in Nillumbik
- Community groups
- Service providers
- 'co-design' as participants
- Key speakers/facilitators, consultants, inspiring speakers

Existing:

Using current resources and information sessions. Building on these.

Timeline: 6-8 months

Location: ECRC

Partners: Community groups, Service providers

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PRIORITY 3: COMMUNITY CONNECTION, RESILIENCE & ENGAGEMENT

What are we seeing, hearing & experiencing?

- There is caution with engagement
- People are less resilient from what they used to be
- Vulnerability is more obvious could be the state of the world, COVID?
- More anxiety, making little decisions bigger, older people are not as confident so they are putting decisions on others, not as decisive
- Increased Ioneliness as less people come to visit
- Fear of the unknown
- People are unsure, missing family and friends
- People don't have energy or strength anymore
- "People are offering to help me"
- There is help
- Lack of confidence
- Overwhelmed, not knowing where to start
- Compassion fatigue
- Brought up to be independent not asking for help
- Travel
- What is holing us back financially
- Pollution
- Masks (environmental impact)
- Rat tests
- Solar panels

Key Gaps & Priorities

Gaps:

- Good leadership
- Integrated approach to how we work together as a community
- How to bring together actions (environmental, social, economic)
- Rebuilding resilience, confidence, independence, respect of ages (tackling ageism)
- Grass roots wisdom, how do we draw on it, use it to educate and increase access?

Priorities:

- Remove silos
- Be transparent about 'spending' for community groups and their needs
- Influence the Council budgeting process and allocation
- Better communication and engagement of older people

Project Idea & Plan

Project: "Connecting Generations" – learning from the young and old

Description: The goal is to build connection and engagement between young and older generations to build resilience, understanding, creating a sense of purpose, passing on skills and wisdom. Bring together cohorts/communities based at Hurstbridge

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Hub such as edible hub and childcare. Activities could include: intergenerational storytelling, planting, arts, craft, cooking, gardening, storytelling, music, walking tours.

Timeline: Develop action plan by December 2022. Deliver 12 month pilot in 2023.

Location: Hurstbridge Hub

Partners:

- Living and Learning Centre is next door
- Wattle Glen nursing home
- Panton Hill Our Play House
- Men's Shed
- Contact Mornington Shire to ask them about their intergenerational projects

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PRIORITY 4: TRANSPORT & MOBILITY

What are we seeing, hearing & experiencing?

- Public transport used effectively by Chinese senior citizens but knowledge of areas in Shire limited isolation
- GP's advising someone to be driving then provide info
- What about eligibility of community transport (lack of info) 65 and over, registered with MAC, home care package clients, CHSP, NDIS
- All the people I know get around, shared transport, get lifts, still driving
- Lack of understanding and empathy hard to understand
- Limited radius of community transport
- Community transport provided is very important but limited routes (not for rural people)
- Expectations of people who are receiving
- Prolonging driving when they shouldn't be
- Dementia carers communicating those that can't drive/the approach is not empathetic
- VicRoads radius of driving e.g. 20km transitioning out balance between community safety and individual vulnerabilities
- Education opportunity to ordering medicine online services/prescriptions delivered to the door
- Telehealth opportunities
- Carer burden and feeling overwhelmed, trying to navigate the system
- Reliance on carers/friends to access services e.g. transport, delivery of food

Key Gaps & Priorities

Gaps:

- Communicating services (communications sub-committee)
- Service gaps and ineligibility for services
- \$\$ for services
- Public transport and infrastructure
- Are there enough services available?
- Service providers and the aged care landscape is complex

Priorities:

- Clarity and distribution of information provided and available to people
- Opportunities to volunteer
- Local newspapers
- Information about complaints and feedback processes about community transport services
- How to reach isolated people to get this information out there
- Advocacy from Council to other transport systems (e.g. private taxis, public transport, aged care)
- Telehealth, online prescriptions, free delivery of medicines, teaching more people how to access

ldea:

- Volunteer funding grants - reimbursed cents per km to increase volunteer fleet

Project Idea & Plan

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Project: Transport Locally

Description:

Tried to take taxi but it didn't come. Increase transport options, 1-1, community bus, taxi, ride share, public transport. Scoping project on needs and experiences of older people in relation to transport.

Frustrated to be asked to find the solution.

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PRIORITY 5: SAFE AND HEALTHY COMMUNITIES PRIORITY 6: HOUSING

What are we seeing, hearing & experiencing?

- More aggression on the road and in shops
- "I don't feel as safe going to train station after hours"
- Housing people were renting to friends and families because of COVID
- Housing very little housing/rental options for older people to downsize
- Housing for single people housing and rental is expensive, not available, priority is given to friends and family
- Families can't afford to live, so they are moving into older people's/grandparents' house
- Seeing more people affected by mental health issues
- In rural areas walking paths are not safe (there was a prior project that was looking at this issue, what happened?)
- Seeing more homeless people

Key Gaps & Priorities

Gaps:

- Mobility
- Accessibility
- Appropriate pathways, not well lit
- Not enough volunteers
- Cohort of people who need support (don't have family or friends)
- Insufficient/inadequate parking
- Elder abuse and safety in reporting
- Elder abuse info on website where is it? What is it? Who would look at this?

Priorities:

- Safe housing
- Housing that is part of a community (e.g. housing co-ops)
- Tailored transportation services

Project Idea & Plan

Project: "Safety and Seniors" – an elder abuse prevention program

Description:

A community-led approach. Training and education on how to identify elder abuse, approach potential victims and reporting. Develop a toolkit to help people identify elder abuse. Review current local policies and resources available on this issue. Understand how many people use current resources and who are they? Who is the Council contact for elder abuse?

Who is it for?

- Neighbours
- Community leaders
- Interested parties and volunteers
- Teaching ESL, teachers, adult education

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Location: Eltham Community Centre. Hurstbridge Hub, put notices in 24 small towns.

When: ASAP.

Partners:

- U3A
- Omni
- Men's Shed
- Probus
- Institutions such as aged care, neighbourhood houses

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PRIORITY 7: CIVIC PARTICIPATION (EMPLOYMENT & VOLUNTEERING)

What are we seeing, hearing & experiencing?

Seeing:

- Decline in volunteering
- Older people not working
- Older people are looking after grandchildren, prevents civic participation

Hearing:

- Decline in volunteering
- Need a variety in volunteering activities
- People want to connect/some do not
- People do not/may not know how to contribute

Experiencing:

- Some people cannot contribute due to health or need to reduce
- Feeling inadequate
- Volunteering has helped with connection
- How to connect people to groups
- Need good leaders and welcoming spaces

Key Gaps & Priorities

- Work to retirement transition can be an issue/difficult what can be available for civic participation?
- Opportunities to contribute with life skills and experience
- Activities that are meaningful
- Intergenerational opportunities
- Register of people with skills that may be able to help others

Project Idea & Plan

Project: Opportunities for people to contribute with life skills and experience

Description:

- Use the skills of older people to help those that need it, e.g. help with tech
- Create list of people and groups with skills they have to offer
- Also basic domestic skills

Who is it for?

- Those that have skills to offer
- Those that need help

New or Existing:

- Some groups have volunteers that offer help @ adhoc basis
- Mostly new project

Timeline:

3-6 months, feasibility and costs

Partners: 2-3 community groups

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Youth Council Advisory Committee

Minutes

Date:	Monday 11 July 2022
Time:	4.00pm – 6.00pm
Venue:	Council Chambers
Chair:	Youth Mayor Brianne Keogh
Minute Taker:	Frances Biggar, Youth Development Officer
Committee Members:	Bailey Cumming, Brianne Keogh, Fieke Van Der Kamp, Jack Linehan, Lachlan Wadsworth, Maali Kerta-Rice, Orianna Edmonds, Kirra Imbriano, Niamh Coffey, Martina Charalambous, Ava Grzechnik, Rhys Warrillow
Councillor Representative	Cr Natalie Duffy
Other:	Molly Jessop, Nichole Johnson, Frances Biggar, Corrienne Nichols
Apologies:	Nicola Clutton, Katie Camilleri, Indi Sandwell, Joseph Bowman,

Order of business

1. Welcome (2 minutes)

Youth Council and staff were welcomed to the meeting.

2. Acknowledgement of Country (1 minute)

We acknowledge the Wurundjeri Woi-wurrung people as the Traditional Owners of the Country on which Nillumbik is located, we pay our respects to Elders past, present and future, and extend that respect to all First Nations People. We respect the enduring strength of the Wurundjeri Woi-wurrung and acknowledge that sovereignty was never ceded.

3. Apologies

Apologies have been received from Nicola Clutton, Katie Camilleri and Indi Sandwell

4. Ice-breaker

The group answered the question "What is should be easy peasy lemon squeezy but is actually difficult difficult lemon difficult?"

5. Conflict of Interest and Informal Meeting of Councillors Record

There was no conflict of interest declared.

6. Minutes of previous meeting (2 minutes)

That the minutes of the meeting held 6 June 2022 are confirmed as a true and accurate record of the meeting.

Minutes moved by: Fieke Minutes seconded by: Lachlan

7. Outstanding Action Items

8. Action	Responsible	Due Date
Save the date for Youth Hub Forum, Monday 20 June, 4-5.30pm and help promote via networks and schools.	Everyone	20/06/2022 Complete
Provide school holiday flyer with meeting minutes	Katie	7/06/2022 Complete

9. Item of business 1: Environment and Sustainability projects (30 minutes)

Laura Nix from Environment was unable to attend meeting so Molly explained the Home Harvest event on her behalf. Youth Council brainstormed the following suggestions for youth activities and engagement:

Events that would interest young people:

- Composting workshop
- Cooking classes: Easy recipes, masterchef- style competition, jam making,
- Cooking and movie night (screen 2040 or similar)
- Youth submit short videos about sustainability in their own homes
- Workshop on herb growing and drying out
- Growing produce for beginner's workshop (including making a garden bed and different soil requirements)

How to engage young people:

- School holiday times
- Align with other programs like Youth Fest and local festivals
- Location suggestions: communities in Hurstbridge and St Andrews, etc might be more engaged. Eltham Library & Edendale are suggested locations

BREAK (10 minutes)

10. Item of business 2: Diamond Creek Community Infrastructure Plan (20 mins)

Andrew unable to attend so Nichole and Molly shared on his behalf. The group looked through the plan and provided the following feedback:

- Pros of Option A: Central location, access to other services, more people around in the afternoon, feels more safe, close to public transport
- Pros of Option B: Separate site, very close to public transport, near large carpark, would potentially gain more foot traffic with aquatic centre.
- Cons of Option A: Have to cross main road, is shared with rest of community hub
- Cons of Option B: Close to primary school, church and brewery, feels less safe, being extremely close to public transport hub can also be unsafe

It was also suggested that Youth Council could have a tour around the sites to see the areas to have a better understanding of the plan.

11. Item of business 3: Youth Summit (15 mins)

Frances and Molly presented video and received the following feedback:

Draft Summary Video

- Great video
- Bit too long might be great to have a 'socials' version
- Suggested that we could cut down on recommendations section
- Could make all the tables presentations into separate Instagram reels
- Music could still be a little more quiet
- Continuity with title cards re: length graphics appear
- Put pronouns in with name titles

12. Item of business 4: Municipal Planning Strategy Update (5mins)

Nichole Johnson read out the Municipal Planning an update provided by Strategic Planner Sean Diffey. The plan is available for viewing and feedback at the following link: <u>https://participate.nillumbik.vic.gov.au/mps</u>

13. Item of business 5: Youth Development Updates (5 minutes)

Frances and Molly provided updates on the following Youth Development projects:

- BMX update: there is an audit happening with Rec & Leisure, there will be a celebration event for the new Eltham skatepark
- Rainbow Group: Hopefully starting in August at Eltham Library, please let Frances know if you have any ideas or want to be involved.
- 14. Item of business 6: Council Briefings and upcoming PCC (5mins)

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Nichole updated Youth Council on upcoming Council Briefings and PCC speaking opportunities.

Molly asked Youth Council to think about whether they would like to present on Tuesday 18 August Council Meeting about Youth Summit.

15. Other Business (5 mins)

Jack mentioned he is looking into different ways to support missing young people in Nillumbik. Molly presented the offer of having Victoria Police youth engagement officers attend a meeting.

Brianne brought up looking into free gym memberships for young people as per youth summit recommendation – it was mentioned that Eltham High organises class passes for their year sevens.

16. Next meeting date and location

Youth Council Formal Meeting

Monday 1 Aug 2022

Location: Council Chambers

Action Log

Action	Responsible	Due Date
Complete the Diamond Creek Community Infrastructure Plan survey if you would like to provide feedback <u>https://participate.nillumbik.vic.gov.au/dccisp</u>	Everyone	7/8/2022
If you would like, provide feedback on the Municipal Planning Strategy here: <u>https://participate.nillumbik.vic.gov.au/mps</u>	Everyone	17/4/2022
If you would like to be involved with the upcoming LGBTIQA+ social group please let Frances know <u>frances.biggar@nillumbik.vic.gov.au</u> or 0428 779 318	Everyone	8/8/2022
Nicola to propose a site visit of the proposed Diamond Creek youth hub locations.	Nicola	7/08/2022
If you would like to present on the Youth Summit at the Council Briefing on 16 th August please let Nicola know.	Everyone	28/7/22

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Planning Panels Victoria

Nillumbik Planning Scheme Amendment C142nill Heritage Overlay for part of 50 Oatland Road, Plenty

Panel Report

Planning and Environment Act 1987

27 July 2022



Attachments - 67

CM.082/22 Amendment C142nill Outcomes of Panel Hearing - Application of the Hertiage Overlay to 50 Oatland Road, Plenty Attachment 1. Planning Panel Report for Amendment C142nill 50 Oatland Road, Plenty

How will this report be used?

This is a brief description of how this report will be used for the benefit of people unfamiliar with the planning system. If you have concerns about a specific issue you should seek independent advice.

The planning authority must consider this report before deciding whether or not to adopt the Amendment. [section 27(1) of the *Planning and Environment Act 1987* (the PE Act)]

For the Amendment to proceed, it must be adopted by the planning authority and then sent to the Minister for Planning for approval. The planning authority is not obliged to follow the recommendations of the Panel, but it must give its reasons if it does not follow the recommendations. [section 31 (1) of the PE Act, and section 9 of the *Planning and Environment Regulations 2015*]

If approved by the Minister for Planning a formal change will be made to the planning scheme. Notice of approval of the Amendment will be published in the Government Gazette. [section 37 of the PE Act]

Planning and Environment Act 1987 Panel Report pursuant to section 25 of the PE Act Nillumbik Planning Scheme Amendment C142nill Heritage Overlay for part of 50 Oatland Road, Plenty

27 July 2022

David Merrett, Chair

Planning Panels Victoria

CM.082/22 Amendment C142nill Outcomes of Panel Hearing - Application of the Hertiage Overlay to 50 Oatland Road, Plenty Attachment 1. Planning Panel Report for Amendment C142nill 50 Oatland Road, Plenty

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- Appendix C Council preferred citation

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Glossary and abbreviations

Council	Nillumbik Shire Council
HERCON	Heritage Convention
HO271	Heritage Overlay 271
PE Act	Planning and Environment Act 1987
the VHR Guidelines	Victorian Heritage Register Criteria and Threshold Guidelines, 2020

Planning Panels Victoria

Nillumbik Planning Scheme Amendment C142nill | Panel Report | 27 July 2022

Overview

Amendment summary	
The Amendment	Nillumbik Planning Scheme Amendment C142nill
Brief description	Heritage Overlay for part of 50 Oatland Road, Plenty
Subject land	Part of 50 Oatland Road, Plenty
Planning Authority	Nillumbik Shire Council
Authorisation	9 December 2021
Exhibition	27 January to 2 March 2022
Submissions	Number of Submissions: 28 Opposed: 28
	Refer to Appendix A

Panel process	
The Panel	David Merrett, Chair
Directions Hearing	By video conference, 31 May 2022
Panel Hearing	By video conference, 12 July 2022
Site inspection	Unaccompanied, 8 July 2022
Parties to the Hearing	Nillumbik Shire Council represented by Julie Paget, who called the expert evidence on:
	- Heritage from Mark Huntersmith of GML Heritage
	Andrew and Kathy Mead represented by John Cicero of Best Hooper, who called expert evidence on:
	 Heritage from Bryce Raworth of Bryce Raworth Conservation and Heritage
	Richard Kelsey
Citation	Nillumbik PSA C142nill [2022] PPV
Date of this report	27 July 2022

Planning Panels Victoria

Executive summary

Nillumbik Planning Scheme Amendment C142nill (the Amendment) seeks to apply the Heritage Overlay (HO271) to the front portion of the land at 50 Oatland Road, Plenty which contains a dwelling, garage and two sheds.

The Amendment was prepared in 2021 in response to a request to demolish the dwelling to allow for the construction of a accessible dwelling to meet the specific needs of the landowner's family member. The landowners live next door at 56 Oatland Road.

Amendment C141nill, approved on 14 April 2022, applied HO272 to the land on an interim basis. Amendment C142nill proposes to replace HO272 with HO271 and include additional land in the overlay. HO271 does not propose internal, tree or external paint controls. It does propose outbuildings and fence controls.

While the Panel acknowledges the personal and financial circumstances of the landowners, they are not relevant to the Amendment, but may be considered as part of any future development proposal.

Key issues raised in submissions included:

- If approved, the Heritage Overlay extent should be reduced to allow for the construction of a dwelling between 50 and 56 Oatland Road.
- The *Victorian Heritage Register Criteria and Threshold Guidelines, 2020* (the VHR Guidelines) can be used as a guide to assess thresholds of significance.
- The dwelling is in such a poor state that the demolition is justified.
- The threshold of significance had not been met for Heritage Convention (HERCON) Criteria A (historical significance) and D (representativeness).
- Council has not followed due process by failing to notify prospective landowners of the potential heritage control.

The Panel finds:

- the curtilage of HO271 reflects the setting of the dwelling and outbuildings and former use of the site as a poultry farm
- the place does not meet the threshold of local heritage significance, therefore the Amendment is not strategically justified
- the integrity or condition of the dwelling is not an issue that can be considered at the Amendment stage, but can be considered in assessing development proposals
- the use of the Step 1 test of the VHR Guidelines is appropriate.

On matters of heritage significance, the Panel concludes the threshold for:

- Criteria A has not been met because there is no family association with the land and the 1.6 hectare lot does not provide tangible evidence of the interwar subdivision pattern of the area where lots of 10 (4 hectares) to 30 acres (12.1 hectares) were created.
- Criterion D has not been met because the comparative analysis in the citation has not demonstrated the dwelling is an important representative example of an interwar bungalow.

Recommendation

Based on the reasons set out in this Report, the Panel recommends:

1. Nillumbik Planning Scheme Amendment C142nill be abandoned.

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1 Introduction

1.1 The Amendment

The purpose of the Amendment is to apply the Heritage Overlay to part of 50 Oatland Road, Plenty.

Specifically, the Amendment proposes to amend:

- the Schedule to Clause 43.01 (Heritage Overlay) to permanently apply Heritage Overlay 271 (HO271) to the front half of 50 Oatland Road, Plenty
- Planning Scheme Map No 008 to apply the Heritage Overlay
- the Schedule to Clause 72.04 (Schedule to the Documents Incorporated in this Planning Scheme) to include the statement of significance for 50 Oatland Road, Plenty
- the Schedule to Clause 72.08 (Background Documents) to include the citation for 50 Oatland Road, Plenty.

HO271 does not propose internal, tree or external paint controls. It does propose outbuildings and fence controls.

1.2 The subject land

Figure 1 shows the location of the dwelling at 50 Oatland Road within the outline of proposed HO271 shown in red. The blue line shows the property boundaries.





Figure 2 shows how the Heritage Overlay is to be applied to the land.

The dwelling is a single storey weatherboard-clad structure (Figures 3 and 4) constructed in 1928 by the Lierse family, originally on a 30 acre lot (12.14 hectares). Further subdivision occurred in more recent years and the dwelling is now contained on a 1.6 hectare lot. A modern steel-clad shed with no heritage value is located next to the original garage to the south of the dwelling (Figure 5). To the rear of the dwelling is a shed that has been converted to an outdoor/indoor recreation and barbeque area with a concrete floor (Figure 6). A recently constructed fence is located along the Oatland Road frontage (Figure 7). The dwelling has been stripped inside, with only the stud walls, floors, fireplaces and roof trusses remaining (Figures 8 and 9). The dwelling

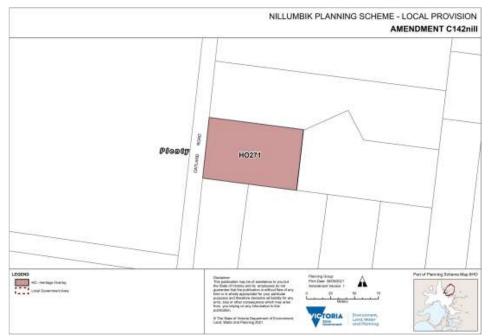
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has a new corrugated iron roof. The front verandah has been shortened and a brick planter box supports the verandah posts (Figure 10). The side verandah has had some timbers cut and replaced (Figure 11).

The land is relatively cleared of vegetation with other nearby land retaining more vegetation. High voltage overhead powerlines are located immediately south of the land.

The land is within the Plenty Gorge area and is zoned Rural Conservation for its conservation values.





Source: Amendment material

Figure 3 East and north facades of the dwelling



Source: Panel

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Source: Panel

Figure 5 Old garage (left) and contemporary shed (right)



Source: Panel

Figure 6 Converted rear shed



Source: Panel

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Figure 8



Source: Panel

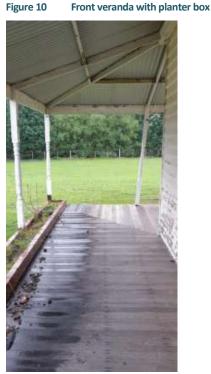
Rear laundry area Figure 9



Source: Panel

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Source: Panel

Source: Panel

1.3 The statement of significance

A citation and statement of significance were first prepared for the property in 2016. These described the property as a farm complex, partly due to the poultry sheds that existed at the time. As the poultry sheds were demolished in 2018, the 2021 statement of significance exhibited with the Amendment does not refer to the property as a farm complex.

The exhibited statement of significance for the property is provided below.

What is Significant?

50 Oatland Road, Plenty, built c1928, is significant.

Elements that contribute to the significance of the place include:

- setback from Oatland Road;
- asymmetric built form with a projecting front room and return verandah;
- weatherboard-clad walls;
- corrugated iron Dutch gable roof that extends down at a lower pitch over the return verandah;
- exposed rafter ends;
- red brick chimney;
- projecting front gable;
- · decorative gable end detail, including timber lattice work and small timber brackets;
- · corrugated iron clad timber window hood with scalloped trim supported by brackets;
- original pattern of fenestrations on the west, south and north elevations;
- timber double-hung sash windows;

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- glazed door under the verandah on the west elevation;
- half-glazed front door set in a moulded timber door frame with sidelights;
- original or early timber flywire screen doors;
- timber garage with pitched roof south of the house;
- extant corrugated iron clad agricultural shed to the rear.

The mature tree in front of the house is not significant in its own right but contributes to the setting of the place.

Other more recent outbuildings are not significant.

How is it Significant?

50 Oatland Road, Plenty, is of local historical and representative significance to the Shire of Nillumbik.

Why is it Significant?

50 Oatland Road, Plenty, is historically significant for its association with the development of Plenty in the interwar years. As an intact timber bungalow built for William Charles and Priscilla Mary Lierse in c1928, originally on a 30 acre lot, it provides tangible evidence of the interwar subdivision pattern in which large rural landholdings in the Plenty area where (sic) divided for sale in allotments of 10 of 30 acres. These allotments were advertised as being equally suited to farming and fruit-growing as they were to residential purposes. In response to an increasing population in the area, this development coincided with and supported a growing Plenty town centre. Established in the 1920s, the town centre included a Primary School (HO213), Methodist Church (HO250), Store and Hall (HO248).

The Lierse family were early residents in the Diamond Creek and Plenty area involved in a variety of agricultural and other pursuits. They were heavily involved in the development of community life in Plenty from the mid-1920s (Criterion A).

Arthurs Creek, Doreen, Hurstbridge, Strathewen, Plenty, Diamond Creek, Yarrambat and Research became important centres for a fruit-growing industry that was based at Diamond Creek. Smaller orchardists, however, often struggled to make a living from their trees and often turned to other activities such as raising chickens, selling firewood or even working for other landowners or in goldmines, as well as tending their fruit trees. This was the case for William Charles Lierse, who was an orchardist and sanitary contractor prior to establishing a poultry farm on the property by 1943. 50 Oatland Road provides important tangible evidence of these early agricultural activities in the area. The significance of the place is enhanced by its rural setting, which maintains it street frontage and setback to Oatland Road (Criterion A).

The house at 50 Oatland Road, Plenty, is a largely intact representative example of a timber interwar bungalow. It has had very few changes made to the original or early built fabric across its principal elevations. Key characteristics include its asymmetric built form with projecting front room below a dominant Dutch gable roof, and an extensive wraparound verandah under the sweep of the main roof line. The extant c1920s garage, poultry shed, and open setting evidence the use of the site as a poultry farm complex (Criterion D).

It was the evidence of Mr Huntersmith and Mr Raworth that the Lierse family association with the land was not so significant to meet the threshold required for Criteria A. Given this position, at the end of the Hearing the Panel requested Council provide a tracked change version representing its final position on the statement of significance and citation. Other updates and edits were made to the citation. This is contained at Appendix C. The amended statement of significance is provided below.

STATEMENT OF SIGNIFICANCE

What is significant?

50 Oatland Road, Plenty, built c1928, is significant.

Elements that contribute to the significance of the place include:

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- setback from Oatland Road;
- asymmetric built form with a projecting front room and return verandah;
- weatherboard-clad walls;
- corrugated iron Dutch gable roof that extends down at a lower pitch over the return verandah;
- exposed rafter ends;
- red brick chimney;
- projecting front gable;
- decorative gable end detail, including timber lattice work and small timber brackets;
- corrugated iron clad timber window hood with scalloped trim supported by brackets;
- original pattern of fenestrations on the west, south and north elevations;
- timber double-hung sash windows;
- glazed door under the verandah on the west elevation;
- half-glazed front door set in a moulded timber door frame with sidelights;
- original or early timber flywire screen doors;
- timber garage with pitched roof south of the house;
- extant corrugated iron clad agricultural shed to the rear.

The mature tree in front of the house is not significant in its own right but contributes to the setting of the place.

Other more recent outbuildings are not significant.

How is it significant?

50 Oatland Road, Plenty, is of local historical and representative significance to the Shire of Nillumbik.

Why is it significant?

50 Oatland Road, Plenty, is historically significant for its association with the development of Plenty in the interwar years. As an intact timber bungalow built for William Charles and Priscilla Mary Lierse in c1928, originally on a 30 acre lot, it provides tangible evidence of the interwar subdivision pattern in which large rural landholdings in the Plenty area where divided for sale in allotments of 10 of 30 acres. These allotments were advertised as being equally suited to farming and fruit-growing as they were to residential purposes. In response to an increasing population in the area, this development coincided with and supported a growing Plenty town centre. Established in the 1920s, the town centre included a Primary School (HO213), Methodist Church (HO250), Store and Hall (HO248). The Lierse family were early residents in the Diamond Creek and Plenty area involved in a variety of agricultural and other pursuits. They were heavily involved in the development of community life in Plenty from the mid-1920s (Criterion A).

Arthurs Creek, Doreen, Hurstbridge, Strathewen, Plenty, Diamond Creek, Yarrambat and Research became important centres for a fruit-growing industry that was based at Diamond Creek. Smaller orchardists, however, often struggled to make a living from their trees and often turned to other activities such as raising chickens, selling firewood or even working for other landowners or in goldmines, as well as tending their fruit trees. This was the case for William Charles Lierse, who was an orchardist and sanitary contractor prior to establishing a poultry farm on the property by 1943. 50 Oatland Road provides important tangible evidence of these early agricultural activities in the area. The significance of the place is enhanced by its rural setting, which maintains it street frontage and setback to Oatland Road (Criterion A).

The house at 50 Oatland Road, Plenty, is a largely intact representative example of a timber interwar bungalow. It has had very few changes made to the original or early built fabric across its principal elevations. Key characteristics include its asymmetric built form with projecting front room below a dominant Dutch gable roof, and an extensive wrap-around verandah under the sweep of the main roof line. The extant c1920s garage, poultry shed, and open setting evidence the use of the site as a poultry farm complex (Criterion D).

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1.4 Background

Council completed an internal heritage review in 2013 that identified 144 places for their potential heritage significance, including 50 Oatland Road, Plenty.

In 2016, a draft citation for the property was prepared by Council's heritage adviser, Samantha Westbrooke, as part of the *North West Nillumbik Heritage Study Assessment of potentially significant places 2016*.

The property was included on Council's priority list for the Stage B of the Nillumbik Heritage Review adopted by Council in June 2021.

The current owners of 50 Oatland Road reside next door. They purchased the land in April 2021 to develop accessible accommodation for their son. The stripping of dwelling and demolition of the poultry sheds to the rear was carried out by previous landowners.

Council received a demolition consent application for the dwelling and outbuildings on 25 August 2021 under section 19A of the *Building Act 1993*. This prompted it to seek approval for an interim Heritage Overlay on the land under section 20(4) of the *Planning and Environment Act 1987* (the Act). This was approved under Amendment C141nill on 14 April 2022 with the interim Heritage Overlay due to expire on 9 February 2023. Figure 12 shows the interim Heritage Overlay, which differs from that proposed under this Amendment.

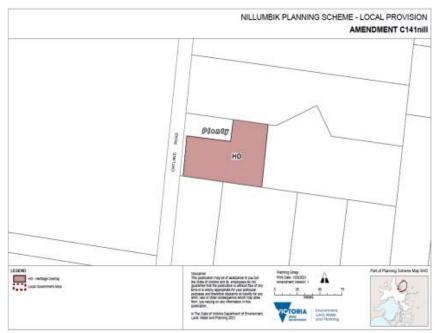


Figure 12 Amendment C141nill Heritage Overlay

Source: Council Part A submission

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1.5 Summary of issues raised in submissions

(i) Nillumbik Shire Council

The key issues for Council were:

- the property meets the significance threshold for HERCON Criteria A and D
- Planning Practice Note 01 *Applying the Heritage Overlay* (PPN01) should be the primary consideration because the VHR Guidelines applies to state level significance and their use for local significance should be limited
- personal and financial issues associated with the cost of retaining the dwelling are not relevant issues at the amendment stage.

(ii) Individual submitters

The key issues by submitters were:

- the property does not meet the significance threshold for HERCON Criteria A and D
- the VHR Guidelines can be carefully used to determine local significance
- the landowner's son requires 24 hour care and a new wheelchair accessible, purposebuilt dwelling is proposed to replace the current dwelling
- retaining the dwelling will reduce the property's value
- the dwelling is in poor condition and the cost of renovating the dwelling is excessive
- if the Panel recommends the Amendment be approved, the curtilage of the Heritage Overlay should be reduced to allow for a new dwelling to be constructed between the dwellings on 50 and 56 Oatland Road.

These submissions remain unresolved.

The Panel has assessed the Amendment against the principles of net community benefit and sustainable development, as set out in Clause 71.02-3 (Integrated decision making) of the Planning Scheme.

The Panel considered all written submissions made in response to the exhibition of the Amendment, observations from the site visit, and submissions, evidence and other material presented to it during the Hearing. All submissions and materials have been considered by the Panel in reaching its conclusions, regardless of whether they are specifically mentioned in the Report.

This Report deals with the issues under the following headings:

- Planning context
- General issues in submissions
- Heritage significance.

1.6 Limitations

Some submitters noted that Council had not followed due process with the preparation and exhibition of the Amendment. It is not the role of Planning Panels Victoria to make rulings about the validity or otherwise of an amendment or procedure. A person who is substantially and materially affected by a technical defect can refer the matter to the Victorian Civil and Administrative Tribunal for resolution.

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2 **Planning context**

2.1 Planning policy framework

Council submitted that the Amendment is supported by various clauses in the Planning Policy Framework, which the Panel has summarised below.

Victorian planning objectives

The Amendment will assist in implementing State policy objectives set out in section 4 of the PE Act by conserving and enhancing those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value (objective 1d).

Clause 12 (Environmental and landscapes values)

The Amendment supports Clause 12.05-2L (Rural landscapes in Nillumbik) which seeks to encourage uses, buildings and works to maintain or enhance the landscape character of the locality, including any significant views to the site.

Clause 15 (Built environment and heritage)

The Amendment supports Clause 15.03-1S (Heritage conservation) which seeks to ensure the conservation of places of heritage significance. Relevant strategies are:

- Identify, assess and document places of natural and cultural heritage significance as a basis for their inclusion in the planning scheme.
- Provide for the protection of natural heritage sites and man-made resources and the maintenance of ecological processes and biological diversity.
- Provide for the conservation and enhancement of those places which are of, aesthetic, archaeological, architectural, cultural, scientific, or social significance.
- Encourage appropriate development that respects places with identified heritage values.
- Retain those elements that contribute to the importance of the heritage place.
- Encourage the conservation and restoration of contributory elements.
- Ensure an appropriate setting and context for heritage places is maintained or enhanced.

2.2 Other relevant planning strategies and policies

(i) **Plan Melbourne**

Plan Melbourne 2017-2050 sets out strategic directions to guide Melbourne's development to 2050, to ensure it becomes more sustainable, productive and liveable as its population approaches 8 million. It is accompanied by a separate implementation plan that is regularly updated and refreshed every five years.

Plan Melbourne is structured around seven Outcomes, which set out the aims of the plan. The Outcomes are supported by Directions and Policies, which outline how the Outcomes will be achieved. Outcomes that are particularly relevant to the Amendment are set out in Table 1

Relevant parts of Plan Melbourne

1.

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Table 1 Relevant parts of Plan Melbourne

Outcome	Directions	Policies
4 Melbourne is a distinctive and liveable city with quality design and amenity	Respect Melbourne's heritage as we build for the future	Recognise the value of heritage when managing growth and change
		Stimulate economic growth through heritage conservation
		Protect Melbourne's heritage through telling its stories

(ii) Municipal Planning Strategy

Council submitted that the Amendment supports the objectives of Clause 02.03-5 (Heritage) which seeks to protect and enhance places of heritage significance, including sites of Aboriginal heritage significance.

2.3 Planning scheme provisions

A common zone and overlay purpose is to implement the Municipal Planning Strategy and the Planning Policy Framework.

(i) Zone

The land is in the Rural Conservation Zone. The purposes of the Zone are to:

- conserve the values specified in a schedule to this zone.
- protect and enhance the natural environment and natural processes for their historic, archaeological and scientific interest, landscape, faunal habitat and cultural values.
- protect and enhance natural resources and the biodiversity of the area.
- encourage development and use of land which is consistent with sustainable land management and land capability practices, and which takes into account the conservation values and environmental sensitivity of the locality.
- provide for agricultural use consistent with the conservation of environmental and landscape values of the area.
- conserve and enhance the cultural significance and character of open rural and scenic non-urban landscapes.

The Amendment does not propose to change the zone.

(ii) Overlays

The Amendment proposes to apply the Heritage Overlay to part of the land. The purposes of the Overlay are to:

- conserve and enhance heritage places of natural or cultural significance.
- conserve and enhance those elements which contribute to the significance of heritage places.
- ensure that development does not adversely affect the significance of heritage places.
- conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.

Other overlays apply to the land but are not proposed to be changed by the Amendment.

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2.4 Ministerial Directions and Practice Notes

Ministerial Directions

The Explanatory Report discusses how the Amendment meets the relevant requirements of Ministerial Direction 11 (Strategic Assessment of Amendments) and *Planning Practice Note 46: Strategic Assessment Guidelines*, August 2018. That discussion is not repeated here.

Planning Practice Notes

PPN01 was introduced in 2012 and updated in August 2018 is relevant to the Amendment. It provides guidance about using the Heritage Overlay. It states that the Heritage Overlay should be applied to, among other places:

Places identified in a local heritage study, provided the significance of the place can be shown to justify the application of the overlay.

PPN01 specifies that documentation for each heritage place needs to include a statement of significance that clearly establishes the importance of the place and addresses the heritage criteria. It recognises the following model criteria (the HERCON criteria) that have been adopted for assessing the value of a heritage place:

Criterion A: Importance to the course or pattern of our cultural or natural history (historical significance).

Criterion B: Possession of uncommon, rare or endangered aspects of our cultural or natural history (rarity).

Criterion C: Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

Criterion E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).

Criterion F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).

Criterion G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

Criterion H: Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

PPN01 provides some commentary on significance thresholds. On page 2 it states:

To apply a threshold, some comparative analysis will be required to substantiate the significance of each place. The comparative analysis should draw on other similar places within the study area, including those previously included in a heritage register or overlay. Places identified to be of potential state significance should undergo analysis on a broader (statewide) comparative basis.

2.5 Discussion and conclusion

Whether the place has met the threshold for local significance is the key issue. The strategic justification for the Amendment is dependent on the local significant of the heritage place being established. This is discussed on the following chapters of this report.

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3 General issues in submissions

3.1 The issues

The issues are:

- whether private financial concerns, personal circumstances and condition of the proposed heritage place are relevant planning considerations at the Amendment stage
- how the curtilage of the Heritage Overlay should be defined.

3.2 Personal and financial matters

(i) Submissions

Submitters raised the following concerns:

- restoration would be prohibitively expensive, and the current owners bought intending to demolish
- the current owners first became aware of Council's interest when the demolition consent order was suspended
- negative impact on property values.

Mr Kelsey reinforced these concerns as a member of the local community and family friend.

Council submitted "that the private financial impacts for property owners (such as those raised by submitters) are not relevant economic matters when considering an amendment to the Planning Scheme. Financial implications are more appropriate considerations when seeking an application for a planning permit."

Some submissions referred to the negative impact on property values that would potentially arise from the Heritage Overlay. Council submitted *"these issues have been considered by multiple planning panels and are not considered relevant to this stage of the process."*

Council referred the Panel to other Panel reports¹ that considered these matters and noted they have been dealt with in a consistent manner. Section 12(2)(c) of the Act requires planning authorities to consider social and economic effects of an Amendment, where the economic effects "are generally considered in relation to the broader community rather than individual circumstances."

Council acknowledged "the special needs of the landowners given their individual circumstances" and noted that a suitable planning outcome could see the existing dwelling 'decommissioned'² and a new dwelling constructed that would meet the needs of the landowners. The structural condition of the place could then be considered at the permit application stage.

Mr Cicero submitted that the main issue is whether the place has local heritage significance and accepted that personal circumstances are not relevant in establishing whether a place has local heritage significance.

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¹ Frankston C53, Glenelg C89, Boroondara C266 Panel Reports

² Refers to the building not being used as a dwelling to enable the consideration of a new dwelling on the land

(ii) Discussion

Personal and economic issues of landowners are often cited as issues in heritage amendments. The Panel acknowledges the personal circumstances of the landowners and their desire to develop an accessible dwelling. However, this is not a matter the Panel can consider at the Amendment stage. There was general agreement from those that presented to the Panel that this was the case.

The Heritage Overlay ensures heritage matters are considered as part of any future planning process. It does not unduly burden the land or prohibit further development. Other issues aside from the place's heritage significance can be considered at this stage of the planning process.

(iii) Conclusion

The Panel concludes personal and financial considerations (including impacts on property values) are not relevant at the Amendment stage.

3.3 Structural issues

(i) Submissions

Submissions made the following comments on the structural integrity of the dwelling:

- the current dwelling is not suitable for the specific needs of the owner
- heritage protection of a disused, unliveable dwelling shell is not warranted and is not an appropriately balanced outcome
- an independent building adviser recommended demolition.

Submission 1 (on behalf of the landowners) appended a structural assessment of the dwelling by Melbourne House Plans. This assessment found that "*rectification works to bring the building up to standard are considered far too costly and impractical. Given the number of structural issues, areas of non-compliance and general aged condition of the building, it is recommended that the building be demolished*" due to:

- few or no noggins in between wall studs
- undersized lintels over several window openings
- roof struts not adequately supported
- insufficient wall bracing
- undersized framing members to front verandah
- undersized framing members to rear roof
- single skin brick wall to rear fireplace not adequately braced
- water-stained framing members indicating water ingress
- water-damaged verandah beams
- floor bearers supported by stacked bricks or timber props.

Council advised the structural integrity or condition of a place was discussed by the Advisory Committee on the *Review of the Heritage Provisions in Planning Schemes* in 2007. Section 2.2 of Advisory Committee's report notes:

... structural integrity or condition should not be a criterion in assessing heritage significance. It would be contrary to the fundamental principle in the Burra Charter that ... the consideration of significance should not be coloured by consideration of the management consequences of listing. There are also good policy reasons why condition should not affect the

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assessment of criteria: if it were to be a factor, it would encourage owners of heritage properties who were opposed to listing to allow them to fall into disrepair.

(ii) Discussion

The Panel acknowledges the dwelling would be unlikely to meet the needs of the landowners, even if renovated. The Panel has observed the dwelling to be in a state of poor repair, albeit with a new roof. Externally the dwelling presents as relatively intact, however it has been stripped internally, restumping is required, and some timbers, windows and electricals would need to be replaced. The Panel has placed little weight in the one-page structural assessment that was provided even though some of the issues noted were verified on site.

The Panel agrees with Council that the structure integrity of the building is not relevant to determine heritage significance. This can be considered at the permit application stage, but not now.

(iii) Conclusion

The Panel concludes that structural integrity of a place is not a relevant consideration in determining heritage significance.

3.4 Extent of curtilage

(i) Evidence and submissions

Submission 1 submitted if the Heritage Overlay is supported, its curtilage should be "*limited to cover a smaller area with a more direct focus on the old house and the actual remaining farm buildings.*" Figure 13 shows how this could be achieved (outlined in blue). This shows the northern boundary of the Heritage Overlay three metres from the dwelling.

It was Mr Huntersmith's evidence that both the Burra Charter and PPN01 require consideration of the setting or context of the heritage place to define curtilage. Council considered the setting of the dwelling was defined by its historic use as a poultry farm and the location of the poultry sheds (now demolished) as shown in Figure 14. Mr Huntersmith considered the following matters were important in defining its curtilage:

- The retention of the setting or context of the significant building, structure or feature.
- Ability to regulate development (including subdivision) in proximity to the significant building.
- Where possible, uncomplicated and easily recognised boundaries (such as a fence line) should be used.
- Use of aerial photos to assist in a reduced curtilage.

He concluded a reduction in the width of the curtilage would:

- limit the ability to regulate development to the north side of the dwelling
- be inconsistent with PPN01 which notes the importance of retaining the setting and context of significant features of a place.

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Figure 13 Landowner preferred extent of curtilage



Source: Submission 1

Figure 14 Poultry sheds (demolished in 2018)



Source: 2021 Citation

(ii) Discussion

Where heritage places are located on smaller urban sites it is usual for the curtilage to be defined by the place's property boundaries. On larger sites, such as this, it becomes a matter of context and balance. The location of the dwelling and its outbuildings is the obvious starting point. This would indicate that the southern boundary is logical in defining the Heritage Overlay curtilage as the old shed and garage are located close by. While the historical significance of the property as a poultry farm has diminished with the demolition of the poultry sheds, it is still a relevant issue to consider. Their former location forms the eastern extent of the proposed Heritage Overlay. The presentation of the dwelling to Oatland Road is considered important by Council and Mr Huntersmith and the Panel agrees that this front property boundary should form the western curtilage.

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The main point of disagreement is the northern curtilage. The landowners have requested it be reduced to three metres from the dwelling and Council wants the property boundary with 56 Oatland Road. The Panel understands the reduced curtilage is requested as it coincides with the area where a new dwelling could be constructed if the current dwelling is retained. The Panel agrees with Council that this could still be pursued even if the Heritage Overlay was applied. The Heritage Overlay is not designed to prohibit development but to ensure heritage matters are considered in development proposals.

If the place is found to have local heritage significance it would be partly due to its historical use as a poultry farm. The Panel therefore supports the inclusion of the former poultry sheds within the curtilage of the Heritage Overlay.

(iii) Conclusion

The Panel concludes the exhibited extent of the Heritage Overlay is appropriate.

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4 Heritage significance

4.1 The issues

The issues are whether the:

- VHR Guidelines can be used to establish local heritage significance
- dwelling meets the threshold of significance for HERCON Criteria A and D for local heritage significance.

Criteria A relates to the place's historical significance (that is, importance to the course or pattern of our cultural or natural history). Criteria D relates to the place's representativeness (that is, importance in demonstrating the principal characteristics of a class of cultural or natural places or environments). Meeting at least one of the criteria is sufficient to establish state or local heritage significance.

4.2 The use of the VHR Guidelines

(i) Evidence and submissions

Council's position was PPN01 should provide the primary guidance in determining local heritage significance, and not the VHR Guidelines that determine state heritage significance. Mr Huntersmith, commenting on the VHR Guidelines, agreed that *"they are of some value in providing guidance for Step 1"* where Step 1 of 3 of the VHR Guidelines is *"a basic test for satisfying the criterion."* Other steps relate directly to state level heritage significance. Mr Huntersmith disagreed with Mr Raworth that the *"better than most"* test of Step 2 was relevant.

It was Mr Raworth's evidence that "*it is accepted that PPN01 provides only general guidance on the application of the heritage criteria*" and the Heritage Council of Victoria³ had "*identified the need to update the practice note and create local threshold guidelines, similar to those used for State heritage*." Mr Raworth therefore considered the VHR Guidelines could be used appropriately to determine local heritage significance. Mr Raworth referred to other Panel reports⁴ where this was supported. The Melbourne C387melb Panel Report⁵ noted they are "useful", but it recommended "*caution in their use in order to ensure that they are applied as a method of analysis rather than as a checklist.*"

Mr Raworth said the Step 1 test for Criteria A could be adapted to read:

The place/object has a CLEAR ASSOCIATION with an event, phase, period, process, function, movement, custom or way of life in [Nillumbik's] cultural history. The association of the place/object to the event, phase, etc IS EVIDENT in the physical fabric of the place/object and/or in documentary resources or oral history. The EVENT, PHASE, etc is of HISTORICAL IMPORTANCE, having made a strong or influential contribution to [Nillumbik].

Mr Cicero referred to the Mornington Peninsula C262morn Panel Report as another example of use of the VHR Guidelines to determine local heritage significance.

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³ Heritage Council of Victoria State of Heritage Review: Local Heritage 2020, page 47

⁴ Nillumbik C100, pages 12-28

⁵ Pages 47-53

(ii) Discussion

This Panel agrees that Step 1 of the VHR Guidelines is helpful in establishing heritage significance. This is consistent with the findings of previous Panels.

The primary consideration is PPN01, which sets out the following approach to thresholds:

To apply a threshold, some comparative analysis will be required to substantiate the significance of each place. The comparative analysis should draw on other similar places within the study area, including those previously included in a heritage register or overlay.

The comparative analysis is therefore the primary tool in determining heritage significance. PPN01 provides limited clarity on how thresholds are met. The Panel considers the VHR Guidelines are a useful tool to determine significance. The *Nillumbik Shire Thematic Environmental History 2016* that defines the themes important to Nillumbik's history is important, particularly for Criteria A.

For Criterion A and D, the descriptor is its *"importance"*. Whether the dwelling is of such importance that it meets the threshold of significance for Criterion A and D is discussed next.

(iii) Conclusions

The Panel concludes the use of the VHR Guidelines to determine local heritage significance is appropriate.

4.3 Criteria A – historical significance

(i) Statement of Significance

The exhibited statement of significance attributes historical significance to the dwelling because:

50 Oatland Road, Plenty, is historically significant for its association with the development of Plenty in the interwar years. As an intact timber bungalow built for William Charles and Priscilla Mary Lierse in c1928, originally on a 30 acre lot, it provides tangible evidence of the interwar subdivision pattern in which large rural landholdings in the Plenty area where divided for sale in allotments of 10 of 30 acres. These allotments were advertised as being equally suited to farming and fruit-growing as they were to residential purposes. In response to an increasing population in the area, this development coincided with and supported a growing Plenty town centre. Established in the 1920s, the town centre included a Primary School (HO213), Methodist Church (HO250), Store and Hall (HO248). The Lierse family were early residents in the Diamond Creek and Plenty area involved in a variety of agricultural and other pursuits. They were heavily involved in the development of community life in Plenty from the mid-1920s (Criterion A).

Arthurs Creek, Doreen, Hurstbridge, Strathewen, Plenty, Diamond Creek, Yarrambat and Research became important centres for a fruit-growing industry that was based at Diamond Creek. Smaller orchardists, however, often struggled to make a living from their trees and often turned to other activities such as raising chickens, selling firewood or even working for other landowners or in goldmines, as well as tending their fruit trees. This was the case for William Charles Lierse, who was an orchardist and sanitary contractor prior to establishing a poultry farm on the property by 1943. 50 Oatland Road provides important tangible evidence of these early agricultural activities in the area. The significance of the place is enhanced by its rural setting, which maintains it street frontage and setback to Oatland Road (Criterion A).

(ii) Evidence and submissions

Council submitted the *Nillumbik Thematic Environmental History, 2016* addressed two themes that were relevant and informed the significance of the place:

4 TRANSFORMING AND MANAGING THE LAND AND NATURAL RESOURCES

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- 4.4 Agriculture, orchards and viticulture
- 6 BUILDINGS, TOWNS AND SHAPING SUBURBS
 - 6.3 Interwar subdivisions and estates

It was the evidence of Mr Huntersmith that the place met the threshold for Criteria A because:

- it provides tangible evidence of the interwar subdivision pattern in which large rural holdings in the Plenty area were subdivided for sale
- the property was used for poultry farming and the house was the residence of William Charles Lierse, who ran his poultry business from the property.

He concluded "the house (1928), its early garage (evident by 1936) and remaining poultry shed (evident by 1946) and their rural setting are historically significant for the tangible evidence they provide of these early agricultural activities in the Plenty area." Even though the Lierse family is mentioned in the exhibited citation and statement of significance Mr Huntersmith confirmed the place is not significant for its family history. The Panel notes the amended statement of significance (Document 13) had removed these family references.

He acknowledged "while the original landholding has been reduced, the current allotment is sufficient for the property to be understood as an early agricultural landholding." He added "historical significance is attributed to the house and its setting for the tangible evidence it provides of the interwar subdivision pattern in which large rural landholdings in the Plenty area were subdivided for sale."

Mr Huntersmith considered "50 Oatland Road also provides tangible evidence of orchardists in the area who struggled to make a living from their fruit trees and turned to other activities, in this instance poultry farming." But at paragraph 113 Mr Huntersmith noted "the citation history does not claim that there were orchards at the (sic) 50 Oatland Road property, as conclusive evidence of this was not found." The Lierse family did have a link to orchardists, but this was in Diamond Creek, not in Plenty.

It was the evidence of Mr Raworth that the place did not meet the threshold for criteria A. In referring to the VHR Guidelines for Step 1 of criteria A, Mr Raworth stated:

The application of Criterion A is in part based on the association of the place with the development of Plenty in the interwar era. While there is clearly a temporal association of this kind, it is generic and not at all 'clear' or 'evident', insofar as the place has undergone change and its historical use in the 1930s and in the 1940s is no longer apparent. Nor is it clear that the event or phase, ie interwar subdivision and farming in Plenty, is of more than passing interest to the municipality, given the lack of attention given to it in background documents as discussed above, ie the 2016 *Thematic Environmental History*.

Mr Raworth noted the only evidence the Lierse family was active in agriculture in Plenty was from 1943 when the electoral role nominated William Lierse as a poultry farmer, which is not from the interwar period of significance. Prior to this he was listed as an orchardist in Diamond Creek, the 'Lierse Bros.' were sanitary contractors to the Shire in 1928 and 1931 and he operated a bus from 1936.

Mr Raworth advised there was no evidence that the remaining shed was ever used for agriculture, but he conceded this was on the advice of the current landowners and not the result of any conclusive research. In response to a question from the Panel he agreed that it could have been used as part of the poultry farm.

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Regarding interwar subdivision, it was the evidence of Mr Raworth that "... in its current form the site does not exhibit this pattern in any clear or evident manner, being on a reduced allotment without any orchards or poultry sheds."

In cross examination, Mr Cicero referred to section 6.3 of the *Nillumbik Thematic Environmental History, 2016* for interwar subdivisions and estates and noted there was no mention of Plenty. Mr Huntersmith agreed but added that this is not a full history of the municipality, it has been supplemented in the citation and there is a pattern of cleared land that distinguishes the place from those adjoining and this would indicate it former use for agriculture. Mr Huntersmith agreed with Mr Cicero that poultry farming in Plenty is not a key historical theme and the remaining shed was "probably not" evidence of past poultry farm activity on site.

Discussion

The Panel accepts the evidence of Mr Huntersmith and Mr Raworth that the Lierse family association with the site and general development of Planty are not important to satisfying the threshold for Criteria A. The post-Hearing revised citation and statement of significance (Document 13) provided by Council deletes the references to the Lierse family.

Use of the land for agriculture (poultry farming) is not a key theme in the *Nillumbik Thematic Environmental History 2016* and does not demonstrate local significance for Criteria A.

The remaining justification is therefore whether the place provides tangible evidence of an interwar subdivision pattern. The Panel considers this has not been established. The 1.6 hectare lot does not provide tangible evidence of the interwar subdivision pattern of the area where lots of 10 (4 hectares) to 30 (12.1 hectares) acres were created. There is no mention in the *Nillumbik Thematic Environmental History 2016* that interwar subdivision in Plenty is an important theme. The northern edges of Eltham and further north into Diamond Creek and Hurstbridge are mentioned, but not Plenty. The Panel does not accept the evidence of Mr Huntersmith that this omission can be resolved with new material in the citation.

If the surrounding land was at or close to interwar subdivision sizes then this may be a further consideration, but this is not the case for this area of Plenty. It seems lots are generally in the range of one to three hectares, and this is supported by a minimum subdivision lot size in the Rural Conservation Zone of one hectare. If subdivision history alone could justify the historical significance of a place, then this would apply generally across many areas in middle and outer metropolitan Melbourne.

(iii) Conclusion

The Panel concludes the threshold has not been met for local heritage significance under Criteria A.

4.4 Criteria D – representativeness

(i) Statement of Significance

The exhibited statement of significance considers the dwelling is representative of an interwar bungalow because:

The house at 50 Oatland Road, Plenty, is a largely intact representative example of a timber interwar bungalow. It has had very few changes made to the original or early built fabric across its principal elevations. Key characteristics include its asymmetric built form with

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projecting front room below a dominant Dutch gable roof, and an extensive wrap-around verandah under the sweep of the main roof line. The extant c1920s garage, poultry shed, and open setting evidence the use of the site as a poultry farm complex (Criterion D).

(ii) Evidence and submissions

Submitters considered the dwelling and outbuildings were not significant for the following reasons:

- Recent works including the demolition of the poultry sheds, internal stripping of the dwelling, replacement of the old wire front fence with a higher picket fence have reduced the heritage values.
- It cannot be referred to as a farm complex as only the dwelling and garage remain.
- The dwelling is shielded from public view by the new front fence.
- The dwelling designer and builder are unknown, and it is not a notable example of an interwar bungalow.

It was the evidence of Mr Huntersmith "the broader place type is the residential building typology, with the class being interwar bungalow built between 1919 and 1939." He added the key characteristics of the interwar bungalow at 50 Oatland Road were:

- walls of timber weatherboard
- low-pitched gabled and hip roof pf corrugated iron with overhanging eaves and expressed rafters
- projecting street-facing windows
- shingles to gable ends
- a deep verandah
- double-hung sash windows
- flat-topped chimney.

He considered the dwelling has "extremely high intactness and integrity."

Regarding the view from Oatland Road Mr Huntersmith stated⁶:

The house is clearly visible from the public realm ... the house's materiality, scale and setting are all visible from the street and the house is easily understood from the public realm as an interwar timber residence in a rural setting. Notwithstanding this, it should be noted that significance of a place is not dependent on it being visible from the public realm. It is relevant for the heritage assessment to consider the layout and features of the entire site, and not only elements that are visible from the vantage point of the public realm.

Mr Huntersmith considered the new front fence "does not detract from the significance of the place, with the house and setting remaining clearly visible from the public realm."

He considered "in order to satisfy Criterion D at the local level, a place does not have to be a notable example; it has to be representative. Modest homes of this type were generally built by local builders and identity of the builder is not critical to the significance of the place."

Mr Raworth adopted the VHR Guidelines for the assessment of Criteria D. His view was different to Mr Huntersmith and considered the place had to be a notable example of an interwar bungalow, not just representative. Reference Tool D explains that a notable example is a 'fine example', a 'highly intact example', an 'influential example' or a 'pivotal example'. In a different

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⁶ Mr Huntersmith evidence statement, page 20 paragraph 87

approach to this, he then referred to the Melbourne C387melb Panel Report that addressed this issue at page 55 and considered a 'better than typical' test would be appropriate:

The question is how well each place demonstrates representativeness with a class to be considered important. While places do not need to meet superlatives such as 'landmarks', 'exceptional', 'remarkable' or be notable (including pivotal or influential) at the local level, they should be better than typical. Again, the level of intactness and integrity and the comparative analysis plays a key role in demonstrating this or setting an appropriate benchmark. A representative place should demonstrate most of the principal characterises (sic) of the class in a manner that is clearly evident.

Mr Raworth considered the dwelling "is also informed by relatively 'old fashioned' Federation period elements such as the predominant hipped roof form and return side verandah and turn of the century detailing in terms of the windows with curved 'horns'".

Mr Raworth, in responding to the key elements of the place, considered "none of these features are themselves notable or better than typical in any way." He again referred to the Melbourne C387melb Panel Report which stated:

The Panel considers that to meet Criterion D requires more than a checklist approach of attributes so that buildings are not able to satisfy the threshold simply by possessing a handful of common characteristics. The threshold needs more than this, particularly if some of those characteristics are also common to other classes. Places need to demonstrate the principal characteristics of the class, which implies most of those characteristics.

The citation contains a comparative analysis against eight other examples of interwar bungalows. There were:

- three examples not included in the Heritage Overlay
- three examples currently included the Heritage Overlay
- two earlier examples of houses built in the 1910's included in the Heritage Overlay.

Mr Raworth considered the dwelling at 50 Oatland Road compared poorly with these examples and Mr Huntersmith considered it compared well.

(iii) Discussion

In Section 4.2 of this Report the Panel has supported the use of the VHR Guidelines to assist in defining heritage significance, particularly for Step 1 assessments. However, the Panel does not support the need for places to be notable examples as this relates to Step 2 that is specific to determining state level significance. At the same time the Panel believes there still needs to be some rigour in this assessment and generally supports the views put in the Melbourne C387melb Panel Report that the places should be *"better than typical"* and more than just a checklist of elements that are common to the style. The proposed new guidelines for local level significance should provide further direction and clarity.

Both heritage experts agreed that the broader place type was a residential building, and the class was an interwar bungalow. The question then is whether the dwelling is an important representative example of an interwar bungalow. The answer lies in the dwelling's intactness and the comparative analysis.

The Panel is not surprised that over time as building design and construction evolves, some key elements of one class are carried over to the next. Mr Raworth's reference to the dwelling having some Federation and Edwardian features is noted but is of little consequence. If these ancillary elements are so significant that it transforms the design of the dwelling to a level where it is not

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clear which class applies, then this would a different matter. This is not the case for 50 Oatland Road. The Panel considers it is an example if an interwar bungalow.

The Panel agrees the dwelling would need to be better than typical and have elements that were more than just a checklist of an interwar bungalow to meet Criteria D.

In the comparative analysis three properties were identified "*as demonstrating this development period*" but were not in the Heritage Overlay. The Panel has reviewed these and notes:

- as they are not in the Heritage Overlay, they have not met the test of significance
- 145 River Avenue, Plenty constructed of brick and retains farm sheds
- 'Nilgiris' 183 Yan Yean Road, Plenty is a War Service Home and retains poultry sheds from the 1930's
- 14-26 Browns Lane, Plenty cited for many of the same reasons as 50 Oatland Road, but is in a habitable condition. As advised by Council Amendment C138nill was approved on 21 July 2022 for a permanent Heritage Overlay for 14-26 Browns Lane, Plenty. Mr Cicero noted this was with the support of the landowner.

For those in the Heritage Overlay, the Panel notes:

- 25 Cottles Bridge-Strathewen Road, Cottles Bridge brick construction unusual for pre-1930's and there is a family association with the name of a local bridge
- 200 Ryans Road, Eltham North early house built in the Glen Park Estate
- 'Brinkkotter House' 32 Lindon Strike Court, Research brick construction, strong family association and unusual design.

For the 1910's era houses, the Panel notes:

- 'Edwin Peters House' 5 Hyde Street, Diamond Creek strong association with local carpenter and butcher, not in the Heritage Overlay
- 'Fermanagh' 1080 Heidelberg-Kinglake Road, Hurstbridge association with orcharding and retains original garden.

The Panel finds that the dwelling at 50 Oatland Road, Plenty is not important as a representative example of an interwar bungalow. The comparative analysis demonstrates this. In comparison the dwelling:

- retains little or no outbuildings associated with poultry farming
- has timber construction typical of the day
- is not part of a farm complex
- does not have a family association
- the builder is unknown.

While not a consideration, all other examples in the comparative analysis seem to be in a habitable condition. Externally the dwelling is relatively intact however the Panel finds that the dwelling is not a 'better than typical' or an important representative example of an interwar bungalow.

(iv) Conclusion

The Panel concludes the threshold has not been met for local heritage significance under Criteria D.

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4.5 Overall conclusion and recommendation

The Panel concludes the dwelling at 50 Oatland Road, Plenty has not met the threshold required for local heritage significance under Criteria A or D.

Recommendation

The Panel recommends Nillumbik Planning Scheme Amendment C142nill be abandoned.

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Appendix A Submitters to the Amendment

No.	Submitter	No.	Submitter
1	Andrew and Kathy Mead	15	Deborah Keogh
2	Kathy Mead	16	Bianca Keogh
3	Richard Kelsey	17	Jason Keogh
4	Val Bristow	18	Brianne Keogh
5	Dianne Vissaritis	19	Greg Bristow
6	Margaret Porritt	20	Mark Privitelli
7	Les Porritt	21	Julian Carafa
8	Valmai Maskell	22	Anna Checchin
9	Ben Rinando	23	Damela De Bortoli
10	Laurie Maskell	24	Sam Buonannatta
11	Valmai Maskell (part of petition)	25	Fabian surname not provided
12	Joshua Maskell	26	Adrian Marrsman
13	Rachel Maskell	27	James Corazzo
14	Lyn Lashford	28	Erica Corazzo

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Appendix B Document list

No.	Date	Description	Provided by
1	6 June 22	Panel Directions and Timetable	Planning Panels Victoria (PPV)
2	22 June 22	Version 2 of Timetable	PPV
3	5 July 22	Evidence statement of Mark Huntersmith	Nillumbik Shire Council (Council)
4	5 July 22	Part A submission with 15 attachments	Council
5	5 July 22	Evidence statement of Bryce Raworth	A and K Mead
6	11 July 22	Part B submission	Council
7	11 July 22	Submission for Andrew and Kathy Mead	A and K Mead
8	11 July 22	Submission	Richard Kelsey
9	12 July 22	PowerPoint evidence summary of Mark Huntersmith	Council
10	15 July 22	Track changed version of the citation and statement of significance	Council

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Appendix C Council preferred citation

50 Oatland Road, Plenty

House, Farm

Prepared by: Context	Survey date: September 2021	
Place type: Residential	Designer: Not known	
Significance level: Significant	Builder: Not known	
Extent of overlay: See map below	Major construction: c1928	



Figure 15. Main (west) elevation of 50 Oatland Road, Plenty. (Source: Nillumbik Shire Council, photograph of owner)



Figure 2. Main (west elevation) with mature tree in front and timber garage. (Source: Nillumbik Shire Council, photograph of owner)

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HISTORICAL CONTEXT

This place is associated with the following historic themes in the *Nillumbik Thematic Environmental History* (2016):

- 4 TRANSFORMING AND MANAGING THE LAND AND NATURAL RESOURCES
 - 4.4 Agriculture, orchards and viticulture
- 6 BUILDING TOWNS AND SHAPING SUBURBS
 - 6.3 Interwar subdivisions and estates

LOCALITY HISTORY

Plenty is a semi-rural district north of Greensborough, about 20 kilometres northeast of Melbourne.

The name Plenty is drawn from the nearby Plenty River, which was named by Joseph Gellibrand in 1835. Gellibrand chose the name to reflect the promising countryside of the area (Victorian Places 2015).

Crown land sales in the area began in the 1840s, with blocks ranging from around 300 to 800 acres. Alexander McKillop was the first to purchase a block: Crown Portion 5, Parish of Morang, comprising 820 acres (Figure 3). The Crown continued to auction the other blocks in 1853: Patrick Mornane obtained Portion 3 Section 4, and LC Luscombe purchased 308 acres in Portion 2 Section 4 (Westbrooke 2016).

The land between Plenty River and the early Yan Yean Road (now part Heard Avenue and part Yan Yean Road), was subdivided gradually until the early twentieth century. From this time the need for smallholdings increased, and land was divided more frequently as a result (Westbrooke 2016).

This initial, ad hoc settlement pattern contrasts with other settlements in the Nillumbik Shire and relates to the selection and take-up of occupation licences. Much of this land was believed to be auriferous and hence was taken up under 20-acre occupation licences under the Land Acts. Fruit-growing became the most viable use of the small hilly lots. A number of small communities developed to service this new settlement pattern and industry. Often these settlements featured only a school and post office. 'Glenaulin', on Portion 2 Section 12 of the Parish of Yan Yean farther north, was subdivided into 108 two-acre lots and 72 one-acre lots, which were advertised in early 1854. The selling of the lots, however, was unsuccessful (Westbrooke 2016).

The alignment of the Greensborough Road (now Yan Yean Road) was altered from the original survey line with a series of curves to the west in 1869 (Argus, 23 June 1869:2). This new road formed a boundary for a number of subsequent subdivisions (Westbrooke 2016).

Some who owned large blocks of land towards the north in Yan Yean Parish attempted ambitious early subdivisions involving division of the land into several smallholder blocks. Portion 2 Section 4 of Yan Yean, to the north of Plenty, was subdivided by Henry and John Cooke, who advertised the blocks as 'Egglestone Estate' c1885 (Westbrooke 2016).

The 1870s marked a more traditional pattern of subdivision in the area in which larger blocks were divided into two or three lots. This pattern lasted until 1900, by which time only a few significant homesteads had been erected.

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The early twentieth century marked the height of a subdivision trend in the area. This was likely influenced by the success of smallholders, particularly orchardists, in surrounding areas such as Arthurs Creek. Leslie Woodbourne Clarke, a grazier from the Doreen property 'Linton Grange', inspired this trend in 1905, having bought the northern lot of the northern half of Crown Portion 5, subdividing it into nine lots of 10 to 28 acres. The first of Clarke's allotments was purchased in 1906. By 1914 eight had been sold, and the last was sold in 1927 (CT: V3098 FF446). The southern edge of the subdivision included a private road, Clarkes Road, now Worns Lane. This success led to an increase in subdivision in the Plenty area, where most smallholdings ranged from 10 to 30 acres.

Portion 5 west of Yan Yean Road, owned by Bank of Australia Ltd (presumably the rebadged Real Estate Bank Ltd, which had purchased the land in 1888), was subdivided into 17 lots of approximately 20 acres each in 1911. Browns Lane provided a central dividing line for the subdivision. Fourteen lots had sold by 1916 (CT: V2020 F836).

Arthur Grenbry Outhwaite of 'Tallarook', in Walsh Street, South Yarra, purchased a section of Portion 3 Section 4 west of the Yan Yean Road, comprising 496 acres, from John Butler's executors in April 1912 (CT: V2326 F062), and immediately subdivided the property into 40 lots (CT: 3589 F730). In 1925 the Lierse brothers bought the 38 acres at the western end of the subdivision, which included a number of weekender lots (CT: V3589 F 730). When Outhwaite died in 1938, only two lots remained unsold (CT: V3589 F730).

In 1924 the secretary of the Plenty Progress Association proclaimed, 'within eight years our district has been converted by city workers from absolute bush into orchards and poultry farms...' (*Age*, 26 October 1924:9).

The area was described as being 'thrown open for selection' in 1913, with Plenty's new landscape celebrated in a 1925 article in the *Advertiser (Hurstbridge)*, as being 'the Toorak of the northern suburbs, where you get a panoramic view of the surrounding landscape for miles; a grand health resort, and only fifteen miles from the GPO' (*Advertiser (Hurstbridge)*, 31 July 1925:4). This intensification of subdivision coincided with the establishment of the Plenty Social Club and the Plenty Progress Association, and the development of a Plenty town centre in the 1920s that included a Primary School (HO213), Methodist Church (HO250), Store and Hall (HO248).

In 1928–29 the Heidelberg Shire compulsorily acquired 10 acres of land in Portion 2 Section 4 to create a 'pleasure ground and place of public resort'. In May 1930 the Plenty Progress Association began to raise funds to build a hall on this new recreation reserve (*Advertiser (Hurstbridge)*, 9 May 1930:4). Tenders were called in May 1931 and the hall was opened in July 1931 (*Advertiser (Hurstbridge)*, 9 May 1930:4; 23 May 1930:1).

In the early 1930s, the poultry industry was growing in the Diamond Creek area and it was suggested the area may grow a greater reputation for poultry than fruit-growing. The poultry men of Diamond Creek noted as being 'among the first to export eggs to England' (*Advertiser (Hurstbridge)*, 22 April 1932, p. 2.).

After World War II additional community facilities were built. The Plenty reserve became a War Memorial Park featuring memorial gates, a playground, toilets, and trees planted by schoolchildren on Arbour Day. The Plenty War Memorial Gates (HO249) were erected by the Plenty War Memorial Trust in 1951. A fire station shed was erected on the corner of Howell and Yan Yean Roads in the 1960s (Westbrooke 2016).

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PLACE HISTORY

50 Oatland Road, Plenty, is located on Crown Portion 2, Section 4, Parish of Morang in the County of Evelyn. LC Luscombe purchased this allotment, comprising 308 acres, from the Crown in 1853 (Figure).



Figure 3. Detail cropped from the Morang Parish Plan with the approximate boundary of the subject site outlined in red. (Source: PROV with OpenStreetMap underlay and Context overlay)

Subdivision of the larger allotments in the localities of Plenty and Tanck's Corner (now Yarrambat) began in the 1880s (Mills 2016a). In June 1885, Robert Byrne, auctioneer of Collins Street, Melbourne, purchased 30 acres of Portion 2 Section 4 in the Parish of Morang (CT V1696 F031). Later in June 1885, Thomas Boyd, a steamship captain of St Kilda, purchased the land (CT: V1708 F492). Boyd's 30 acres was purchased by a St Kilda baker, William Robertson, in 1887 (CT: V1969 F697), and then James Butler, farmer of Clear Hills, in 1917 (CT V1969 F697). After Butler's death in 1922, probate went to William Henry Long of Black Rock in 1924 (CT V1969 F697). Probate papers listing the inventory of Butler's real estate show parts of Portion 2 Section 4, along with 72 acres of land at Clear Hills, were sold to William Charles Lierse, orchardist of Diamond Creek, in 1919. The remaining balance of £256 of the £710 purchase price was still owed at Butler's death (Mills 2016a).

In 1924, brothers William Charles Lierse and Ernst Otto Lierse obtained title of the 30 acres (CT V4863 F425). The Lierse family was well established in the Diamond Creek area at the time of purchase. Brothers William Charles, <u>Ernst Otto</u> Otto Ernst and Bernhard August Lierse appear to have worked together in contracting and farming. They are referred to as orchardists, farmers and market gardeners at various times in the electoral roll and Certificates of Title (ER 1928, 1930, 1931). In 1925 the brothers also purchased Lots 25-39, 38 acres abutting the Plenty River on the west side of the Plenty River Estate, the 1912 subdivision of Portion 3 Section 4 Parish of Morang just to the north (Mills 2016a).

In 1927 William Lierse married Priscilla Mary Wadeson of Diamond Creek. The house at 50 Oatland Road, Plenty appears to have been constructed around 1928. From 1928 the electoral roll lists Priscilla Mary Lierse as residing at 'The Nest' in Plenty, suggesting the house was constructed by this time following her marriage to William in 1927. William remained on the electoral roll as an orchardist of Diamond Creek (ER 1928). It appears he may have worked on his father's Diamond Creek orchard. A

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dwelling is evident in a similar position to the house on a topographic map of the area dated 1930 (Figure). The garage to the south of the house appears to have been built contemporaneously to the house. By 1932 William Lierse owned a car, so it is probable the garage was constructed by then (*Advertiser (Hurstbridge)* 8 January 1932, p. 2).



Figure 4. Detail from 'Victoria, Yan Yean' topographic map dated 1930 showing the possible dwelling (black square) circled in red with treed surroundings. (Source: State Library Victoria)

William Charles and Priscilla had one son, William John (John) Lierse, who was born in 1930. A photograph of the family taken from what appears to be the rear of the property shows the rear brick chimney, weatherboard cladding, clerestory window and moulded timber back door that appear extant today (Figure 5).

In 1936 the 30-acre property was divided into three. The northern lot was taken by Ernst Lierse and the southern by Bernhard Lierse, and William took the central lot of 11 acres 19 perches that includes the subject site (Figure6). William was described in the certificate of title as a market gardener of Plenty, although it appears he undertook a variety of farming pursuits and services (CT: V4863 F425).

By 1943 William was identified as a poultry farmer of Plenty rather than an orchardist of Diamond Creek (ER 1943). William and Priscilla continued to live in Oatland Road and engage in community life.

Aerial imagery from 1946 shows the subject house surrounded by a number of sheds, likely to be poultry sheds, and areas of cleared land. A garage building to the south of the house, one rear shed and a dam visible in 1946 remain extant today (Figure8).

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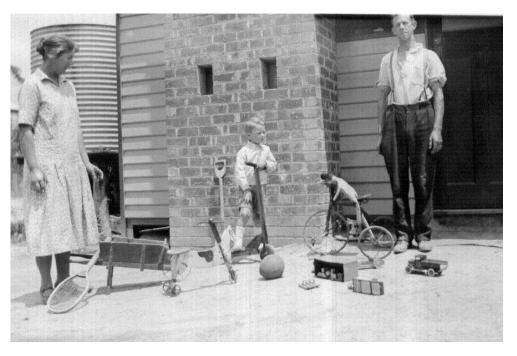


Figure 5. Photograph of Priscilla, John and William Lierse dated 1934, part of the collection of photographs owned by Dorris McLaughlin. The photograph appears to be taken at the rear of the subject house. (Source: Identifier 1315, Victorian Collections, photographer unknown)

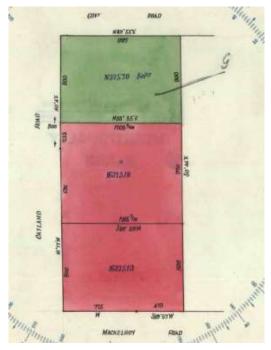


Figure 6. Detail from the certificate of title, showing the subdivision in 1936 whereby the blocks in red were transferred to William and Ernst Lierse as proprietors as tenants in common. The central portion, 1632518, which includes the subject site, was transferred to William Lierse. (Source: CT: V4863 F425)

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Figure 7. Detail of the subject site from aerial imagery taken in 1946–47 by Adastra Airways, showing the house, garage, and numerous large sheds to the rear. (Source: DELWP)



Figure 8. Detail from aerial imagery dated 1951. (Source: Central Plan Office, photographer unknown)

In 1965 John Lierse was working in poultry sheds on the family property in Oatland Road when a bushfire approached. The house was saved by sprinklers in the garden, but over 500 hens perished in the heat and smoke as the fire passed (Plenty George Bushfire Committee undated, p. 3).

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Figure 9. Detail from aerial imagery of the subject site dated 1968. (Source: Central Plan Office, photographer unknown)

Following the death of William in 1976, the property was transferred to Priscilla. When she died in 1983 the property was transferred to son John Lierse, who appears to have been living at the property. He subdivided the lot comprising 50–68 Oatland Road into three portions in 1996 (CT V6090 F888). The subject site containing the house, portion 3, became 50 Oatland Road (Figure3). John Lierse continued to live at the Oatland Road property until 2018 (CT V10371 F839). He died in 2020 (*Herald Sun* 11 March 2020).

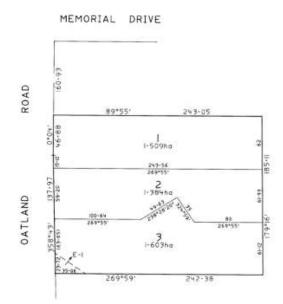


Figure 10. Plan of the subdivision of 50–68 Oatland Road, Plenty, in 1996. The subject site is portion 3. (Source: CT V6090 F888)

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Figure 11. Aerial photograph of the site in 2015 showing the original sheds prior to demolition. (Source: Nillumbik Shire Council, photographer unknown)

The subject site was sold in 2018 (CT V10371 F839). The corrugated iron roof was replaced in 2011 (Nearmap). All but one of the corrugated iron agricultural sheds to the rear, and other smaller structures, were demolished in 2018 (Nearmap). The 1920s hairpin wire fence that had been at the front of the property was replaced with a slatted timber fence in 2019–20 (Nearmap). The subject site was sold to the current owners in May 2021 (CT V10371 F839).



Figure 12. The subject site in 2021 showing the main house (c1928), timber garage (by 1946) and remaining corrugated iron shed to the rear (by 1946). The property boundary is outlined in blue. (Source: Nearmap)

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The Lierse family

William (Karl Wilhelm) Lierse, carpenter and father of William Charles (eldest son), Ernst Otto (second son) and Bernhard (third son), was born in Germany in 1853 and came to Diamond Creek in the early 1890s. His carpentry skills featured in many of the early buildings around Diamond Creek (*Advertiser (Hurstbridge)* 22 April 1932, p. 2). In 1895 William married Marie Louise Strauch (also referred to as Louise Mary Stansh), who was likely a German migrant as well and advertised as a dressmaker in Diamond Creek in the late 1890s (*Mercury and Weekly Courier*, 26 May 1809, p. 4). The Lierse family lived in Chute Street, Diamond Creek, with their three sons and daughter. William (Karl Wilhelm) appears to have had an orchard at Diamond Creek 'near Mr Alston's'. This was offered for sale or to rent in 1931 (*Advertiser (Hurstbridge)* 18 December 1931, p. 6). The elder William Lierse died in 1932 (*Advertiser (Hurstbridge)* 22 April 1932, p. 2).

The 'Lierse Bros' were sanitary contractors to the Shire in 1928 and 1931 (*Advertiser (Hurstbridge)*, 14 December 1928 p.4; 23 May 1931 p. 6.). The younger William Lierse was involved in sanitary services for a longer period, contracting from c1920 to c1935 (*Eltham and Whittlesea Shires Advertiser and Diamond Creek Valley Advocate*, 22 October 1920 p. 3. *Advertiser (Hurstbridge)*, 10 May 1935 p. 6.).

The Lierse brothers and their spouses were heavily involved in the developing community life and community facilities of Plenty from the late 1920s. William and Priscilla and Bernhard and his wife Olive were involved in the Plenty Tennis Club and in the construction and maintenance of the courts at Plenty Park (*Advertiser (Hurstbridge*) 8 January 1932, p, 2). William held the position of joint vicepresident of the tennis club committee and was appointed foreman for the construction. Priscilla was secretary (*Advertiser (Hurstbridge*) 8 January 1932, p, 2). Ernst appears to have been most prolific as secretary of the Plenty Progress Association and Plenty Social Club, secretary of the Plenty Hall Committee, and MC at numerous local social occasions (*Advertiser (Hurstbridge*) 23 December 1932, p. 3; *Advertiser (Hurstbridge*) 14 March 1930, p. 5). Ernst and his wife Linda were involved in fundraising for and building the Plenty Hall. Priscilla was elected secretary of the Plenty branch of the Red Cross in 1942 (*Eltham and Whittlesea Shires Advertiser*, 27 February 1942, p. 4).

DESCRIPTION

The house at 50 Oatland Street, Plenty, is a single-storey timber structure built c1928 for the owner, William Charles Lierse. Located on the eastern side of Oatland Road, between Memorial Drive and Mackelroy Road, the house has a generous setback from the street and sits on a 3.95-acre rural allotment. The allotment is broadly rectangular, with a protrusion at the middle of the northern side to accommodate a dam. Outbuildings include a timber garage with pitched roof to the south of the house and two corrugated iron sheds.

Asymmetric in form with a projecting front room, the weatherboard-clad house sits beneath a Dutch gable roof clad in corrugated iron. The base of the weatherboard house is slightly elevated on timber stumps clad with wide boards spaced for ventilation.

A return verandah runs from the projecting front room along the west elevation, wrapping around the northwest corner of the house and along the north side terminating at an enclosed room about two thirds of the way along.

The main roof of the house extends down over the verandah at a lower pitch. Access to the verandah is via a flight of brick steps along the street facing (west) side of the house, aligned to the front door.

Key features of the building and landscape include:

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- asymmetric built form with a projecting front room and return verandah;
- weatherboard-clad walls;
- corrugated iron Dutch gable roof that extends down at a lower pitch over the return verandah;
- exposed rafter ends;
- red brick chimney;
- projecting front gable;
- decorative gable end detail, including timber lattice work and small timber brackets;
- timber window hood clad in corrugated iron with scalloped trim, supported by brackets;
- original pattern of fenestrations on the west, south and north elevations;
- timber double-hung sash windows;
- glazed door under the verandah on the west elevation;
- half-glazed front door set in a moulded timber door frame with sidelights;
- original or early timber flywire screen doors;
- corrugated iron clad timber garage with pitched roof and decorative gable end detail including timber lattice work south of the house (by 1946);
- extant corrugated iron clad agricultural shed to the rear (by 1946);
- mature tree in front of the house; and
- open rural landscape setting.

Alterations and additions include:

- the cutting back of the western edge of the verandah and construction of a low brick planter box on which the verandah posts now sit,
- recent corrugated iron shed south of the garage,
- timber front fence (c2019).

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Figure 13. Projecting front room with decorative gable end above a pair of timber double hung sash windows with a timber window hood supported by brackets with scalloped trim. (Source: Nillumbik Shire Council, photograph of owner)



Figure 15. North elevation showing the return verandah with turned timber posts and Dutch gable end. (Source: Nillumbik Shire Council, photograph of owner)



Figure 14. Decorative timber fly screen door with half glazed front door behind. Note the unpainted panel on the wall where an original name plate would have been located. (Source: Nillumbik Shire Council, photograph of owner)



Figure 16. South elevation showing Dutch gable end, red brick chimney, pair of double-hung sash windows. (Source: Nillumbik Shire Council, photograph of owner)

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Figure 17. Rear (east) elevation. (Source: Nillumbik Shire Council, photograph of owner)



Figure 18. Northeast corner of the house showing the enclosed verandah. Note the extant early window hood that runs the length of the east elevation. (Source: Nillumbik Shire Council, photograph of owner)



Figure 19. Timber garage with pitched roof and corrugated iron walls. (Source: Nillumbik Shire Council, photograph of owner)



Figure 20. Timber garage with lattice gable end detail that matches the house. The timber doors retain their original hinges. (Source: Nillumbik Shire Council, photograph of owner)

INTEGRITY

The house at 50 Oatland Road, Plenty is highly intact, with very few changes visible to its original or early built form and fabric. The integrity of the house is greatly enhanced by the intactness of the main elements and details as listed above. Overall, the place has very high integrity.

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COMPARATIVE ANALYSIS

Much of the land in Nillumbik was taken up as large agricultural properties from the 1860s onwards. Although subdivisions occurred in the area in the late 1880s, and again in the first decade of the twentieth century, these subdivisions were predominantly speculative and little development occurred. The land continued to be largely rural until World War I, with small, scattered townships.

The early subdivisions did not drastically change the rural nature of the area. In 1909, when a large farm northeast of Eltham was divided, the lots were still sold in parcels of 6 to 29 acres. These allotments were advertised as being equally suited to farming and fruit-growing as they were to residential purposes (Mills & Westbrooke 2017).

The success of such subdivisions led to an increase in subdivision in the nearby Plenty area, where most smallholdings ranged from 10 to 30 acres. Coinciding with this intensification of subdivision in the area, the Plenty Social Club and Plenty Progress Association were established along with the development of a Plenty town centre in the 1920s, that included a Primary School (HO213), Methodist Church (HO250), Store and Hall (HO248).

Arthurs Creek, Doreen, Hurstbridge, Strathewen, Plenty, Diamond Creek, Yarrambat and Research became important centres for a fruit-growing industry that was based at Diamond Creek. In 1931 *The Leader's* correspondent wrote that 'scores of small orchards few more than 20 acres in extent, are to be found within the neighbourhood of Diamond Creek and Eltham, and it is on fruit growing that most of the inhabitants of this district depend for their livelihood'. Smaller orchardists however often struggled to make a living from their trees and often turned to other activities such as raising chickens, selling firewood or even working for other landowners or in goldmines as well as tending their fruit trees (Mills & Westbrooke 2017). This appears to be the case for the subject property, as William Charles appears to have run a poultry farm on the property, established by 1943, after previous work as an orchardist and sanitary contractor. The Lierse brothers undertook a variety of occupational pursuits on various landholdings in the area.

Reflecting the popular architecture of the time, most houses built as a result of the subdivisions in the Plenty area were 'bungalows'. The early bungalows from the 1920s were commonly associated with the Californian Bungalow style, which usually featured a high level of detailing. Many houses built in the same period or later, however, conformed to a broader interwar bungalow type, especially those in outer suburban and semi-rural areas. These houses were generally simpler and more stripped back than their Californian Bungalow counterparts and were commonly asymmetric in form, with large verandahs incorporated under the main roof line of the house.

This interwar period of development in the Shire was identified in the Shire of Nillumbik Heritage Gap Study Framework (June 2009) as under-represented in the Heritage Overlay. Four properties (including the subject property) not included in the Heritage Overlay were identified as demonstrating this development period. The other identified properties are:

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Figure 21. 145 River Avenue, Plenty (assessed as Individually Significant by Mills (2016). (Source: Mills 2016c)

145 River Avenue, Plenty, is historically significant as a representative example of an early development within a smallholding subdivision, the Plenty River Estate. The property contains a rare surviving example of a brick interwar farmhouse built during the closer settlement of Plenty.

145 River Avenue is aesthetically significant for its substantially intact brick interwar farmhouse, which retains its original form and main features including an all-encompassing main hip roof, timber-framed windows, front gable-roofed wing and front verandah with brick balustrade and pillars. The farming sheds to the rear demonstrate the operation of a farm smallholding and contribute to the setting of the place (Mills 2016c).



Figure 22. 'Nilgiris', 183 Yan Yean Road, Plenty, assessed as Individually Significant by Mills (2016).

'Nilgiris' is historically significant as a representative example of the farm properties established during the development of Plenty in the 1920s following the major early twentieth century subdivisions. It is of historical importance as an example of a War Service Home erected in the 1920s and as a successful poultry farm during the 1930s.

'Nilgiris' is aesthetically significant as a 1920s weatherboard bungalow. The farming sheds to the rear demonstrate the operation of a poultry farm and contribute to the setting of the place (Mills 2016b).



Figure 23. 14–26 Browns Lane, Plenty assessed as Individually Significant by Context 2021. (Source: Context July 2021)

14–26 Browns Lane, Plenty, is historically significant for its association with the development of Plenty in the interwar years. It provides tangible evidence of the interwar subdivision pattern in which large rural landholdings in the Plenty area were divided for sale in allotments of 10 of 30 acres. These allotments were advertised as being equally suited to farming and fruitgrowing as they were to residential purposes. It is a largely intact representative example of a timber interwar bungalow.

Key characteristics include its asymmetric built form with projecting front room below a dominant hip and gable roof, extensive wrap-around verandah under the sweep of the main roof line, and a box bay window that sits under its own skillion roof with a window hood (Context 2021).

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The following examples of 1920s bungalows included in the schedule to the Heritage Overlay in the Shire of Nillumbik are comparable to 50 Oatland Road.



Figure 24. Orchard House, 25 Cottles Bridge – Strathewen Road, Cottles Bridge (HO190). (Source: VHD)

The property at 25 Cottles Bridge –Strathewen Road, Cottles Bridge, is significant as one of few brick houses built prior to 1930 in Nillumbik. It is unique in the municipality as an example of the transitional bungalow style, exhibiting elements of both the interwar and Federation eras. It is also significant for its association with Thomas Cottle, the namesake of the Cottles Bridge area, the Cooke orcharding family, and the probable builder of the house, 'Caffin' (VHD).



200 Ryans Road, Eltham North, is historically significant as a house built in the Glen Park Estate area of Eltham North during the 1930s. The subject site is important as one of the earliest surviving houses from this initial development period of the estate. Built in 1933. it is of representative significance as a 1930s timber house built during the time when a general lack of material affluence was evident. The house demonstrates key elements typical of 1930s bungalow, which were designed with more restrained decorative detailing than bungalow types of earlier decades.

Figure 25. 200 Ryans Road, Eltham North, assessed as Individually Significant by Context (2021). (Source: Context 2021)



Figure 26. Old Brinkkotter House, 32 Lindon Strike Court, Research (HO114). (Source: VHD)

The substantial brick house built c1935 at 32 Lindon Strike Court, Research, is significant for its associations with the Brinkkotter family, well-known Research farmers and orchardists. The existence of two adjacent farmhouses on the one property is rare in the former Shire of Eltham, and the c1935 house is aesthetically significant for its unusual design (VHD).

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Conservative in its design, 50 Oatland Road, Plenty is also stylistically comparable to earlier houses built in the shire in the 1910s.

The following examples of earlier houses included in the schedule to the Heritage Overlay in the Shire of Nillumbik are comparable to 50 Oatland Road:



Figure 27. Edwin Peters House, later Henry Ryan House, 5 Hyde Street, Diamond Creek (HO217). (Source: Victorian Heritage Database)



Figure 28. Fermanagh, 1080 Heidelberg – Kinglake Road, Hurstbridge, assessed as Individually Significant by Context (2021). (Source: Context 2021)

The Peters house at 5 Hyde Street, Diamond Creek, is historically and architecturally significant to Diamond Creek. It is significant as one of the earliest houses in the area and for its association with local carpenter Edwin Peters, and subsequently Henry Ryan of Ryan's butchery.

It is architecturally significant as an early surviving example of a weatherboard Federation Bungalow in the shire (Victorian Heritage Directory).

'Fermanagh', 1080 Heidelberg-Kinglake Road, Hurstbridge, is of historical significance to the Shire of Nillumbik for its association with orcharding in Hurstbridge, which was the main agricultural industry in the Diamond Valley region from the 1880s to the 1930s. 'Fermanagh' is aesthetically significant as a particularly well-executed and architect-designed Federation villa that retains an early garden. It is distinguished by its intact Queen Anne details combined with the massing and verandah form of an Australian homestead.

Discussion

The house at 50 Oakland Road, Plenty, is a one of few surviving residences that demonstrates the pattern of interwar subdivision, in which large rural landholdings in the Plenty area were divided up for sale in allotments of 10 to 30 acres. These allotments were advertised as being equally suited to farming and fruit-growing as they were to residential purposes. In response to an increasing population in the area, this development coincides with and supported a growing Plenty town centre established in the 1920s which included a Primary School (HO213), Methodist Church (HO250), Store and Hall (HO248).

As was typical for many houses built in the area in the interwar era, 50 Oatland Road is of single-storey timber construction with an asymmetric form and a dominant verandah. Stylistically, the house demonstrates characteristics of a standard asymmetrical late Victorian or Federation villa. This is combined with an Australian homestead massing with a wraparound verandah roofed by a lower-pitched extension of the main roof. It is comparable to 5 Hyde Street, Diamond Creek (HO217), 1080 Heidelberg-Kinglake Road (approved recommended as Individually Significant), which both incorporate

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an asymmetric built form with projecting front room below a dominant hip and gable roof. The house at 50 Oatland Road differs from these examples in its incorporation of an extensive wrap around verandah under the sweep of the main roof line and decorative window hood over windows of the projecting room. In this way it is more comparable to 14-16 Browns Lane, Plenty (<u>approved recommended</u> as Individually Significant), 25 Cottles Bridge – Strathewen Road, Cottles Bridge (HO190), 200 Ryans Road, Eltham North (recommended as Individually Significant) and Old Brinkkotter House, 32 Lindon Strike Court, Research (HO114).

50 Oatland Road compares well to 'Nilgiris', 183 Yan Yean Road, Plenty (assessed as Individually Significant) and 145 River Avenue, Plenty (assessed as Individually Significant) as an example of a farm smallholding. The c1920s timber garage and one remaining poultry shed at the rear of the house evidence the operation of a farm smallholding.

Overall, 50 Oatland Road, Plenty, is a good representative example of an interwar timber bungalow with a traditional asymmetrical form combined with an Australian homestead massing and verandah form. It is one of few surviving houses built in the interwar period as a result of increased land subdivision in the Plenty area. As such it is a highly intact example of a bungalow typology and corresponding period of development that is under-represented in the Schedule to the Heritage Overlay. Together with the remaining <u>agricultural poultry</u> shed, timber-framed garage and setback, 50 Oatland Road provides tangible evidence of a farm smallholding dating from the interwar period.

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STATEMENT OF SIGNIFICANCE

WHAT IS SIGNIFICANT?

50 Oatland Road, Plenty, built c1928, is significant.

Elements that contribute to the significance of the place include:

- setback from Oatland Road;
- asymmetric built form with a projecting front room and return verandah;
- weatherboard-clad walls;
- corrugated iron Dutch gable roof that extends down at a lower pitch over the return verandah;
- exposed rafter ends;
- red brick chimney;
- projecting front gable;
- decorative gable end detail, including timber lattice work and small timber brackets;
- corrugated iron clad timber window hood with scalloped trim supported by brackets;
- original pattern of fenestrations on the west, south and north elevations;
- timber double-hung sash windows;
- glazed door under the verandah on the west elevation;
- half-glazed front door set in a moulded timber door frame with sidelights;
- original or early timber flywire screen doors;
- timber garage with pitched roof south of the house;
- extant corrugated iron clad agricultural shed to the rear.

The mature tree in front of the house is not significant in its own right but contributes to the setting of the place.

Other more recent outbuildings are not significant.

HOW IS IT SIGNIFICANT?

50 Oatland Road, Plenty, is of local historical and representative significance to the Shire of Nillumbik.

WHY IS IT SIGNIFICANT?

50 Oatland Road, Plenty, is historically significant for its association with the development of Plenty in the interwar years. As an intact timber bungalow built for William Charles and Priscilla Mary Lierse in c1928, originally on a 30 acre lot, it provides tangible evidence of the interwar subdivision pattern in which large rural landholdings in the Plenty area where divided for sale in allotments of 10 of 30 acres. These allotments were advertised as being equally suited to farming and fruit-growing as they were to residential purposes. In response to an increasing population in the area, this development coincided with and supported a growing Plenty town centre. Established in the 1920s, the town centre included a Primary School (HO213), Methodist Church (HO250), Store and Hall (HO248). The Lierse family were early residents in the Diamond Creek and Plenty area involved in a variety of agricultural and other

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pursuits. They were heavily involved in the development of community life in Plenty from the mid-1920s (Criterion A).

Arthurs Creek, Doreen, Hurstbridge, Strathewen, Plenty, Diamond Creek, Yarrambat and Research became important centres for a fruit-growing industry that was based at Diamond Creek. Smaller orchardists, however, often struggled to make a living from their trees and often turned to other activities such as raising chickens, selling firewood or even working for other landowners or in goldmines, as well as tending their fruit trees. This was the case for William Charles Lierse, who was an orchardist and sanitary contractor prior to establishing a poultry farm on the property by 1943. 50 Oatland Road provides important tangible evidence of these early agricultural activities in the area. The significance of the place is enhanced by its rural setting, which maintains it street frontage and setback to Oatland Road (Criterion A).

The house at 50 Oatland Road, Plenty, is a largely intact representative example of a timber interwar bungalow. It has had very few changes made to the original or early built fabric across its principal elevations. Key characteristics include its asymmetric built form with projecting front room below a dominant Dutch gable roof, and an extensive wrap-around verandah under the sweep of the main roof line. The extant c1920s garage, poultry shed, and open setting evidence the use of the site as a poultry farm complex (Criterion D).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as an Individually Significant place.

Extent of overlay: As per map below:

Figure 29. Proposed curtilage for 50 Oatland Road, Plenty, outlined in red. (Source: Nearmap with Context overlay)

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CM.082/22 Amendment C142nill Outcomes of Panel Hearing - Application of the Hertiage Overlay to 50 Oatland Road, Plenty Attachment 1.

Planning Panel Report for Amendment C142nill 50 Oatland Road, Plenty

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Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Municipality Planning Scheme:

Nillumbik Planning Scheme

External paint controls	No
Internal alteration controls	No
Tree controls	No
Outbuildings or fences	Yes
To be included on the Victorian Heritage Register	No
Prohibited uses may be permitted	No
Aboriginal heritage place	Unknown

Other

N/A

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CM.082/22	Amendment C142nill Outcomes of Panel Hearing - Application of the Hertiage Overlay to 50 Oatland Road, Plenty		
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Attachment 1. Planning Panel Report for Amendment C142nill 50 Oatland Road, Plenty

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Attachment 1: Diamond Creek Community Hospital – Figures referenced in Council Report

Figure 1: Aerial Map, with property ownership shown

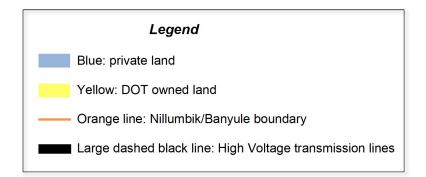




Figure 2: Ryans Road/Windmill Rise intersection, Diamond Creek (Google Street View looking north, west on left hand side, east on right hand side)

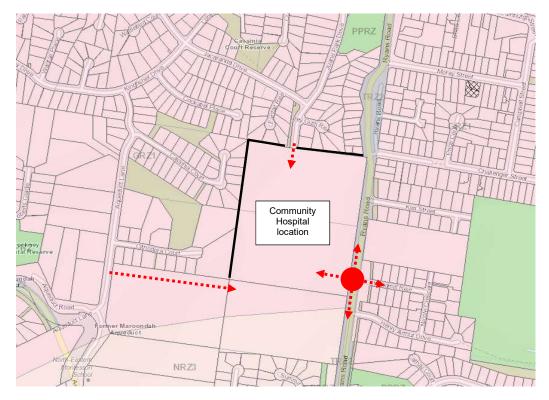


Figure 3: Extract of Zoning Map, Nillumbik Planning Scheme, with possible access locations shown

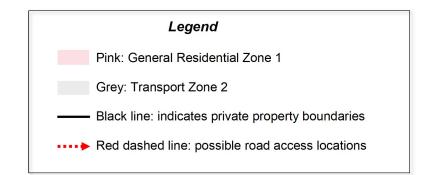




Figure 4: Aerial map, showing possible road access via Aqueduct Lane, with significant patches of vegetation shown



Figure 5: Ryans Road/Kim Street intersection, Diamond Creek (Google Street View looking north, west on left hand side, east on right hand side)



Figure 6: Ryans Road, Diamond Creek (Google Street View looking north, west on left hand side, east on right hand side) showing constraints to providing a footpath on the western side of Ryans Road



Figure 7: 405 Ryans Road Diamond Creek (red dotted line), showing DOT owned property projecting into road reservation, requiring a footpath on the western side of Ryans Road within the DOT owned property

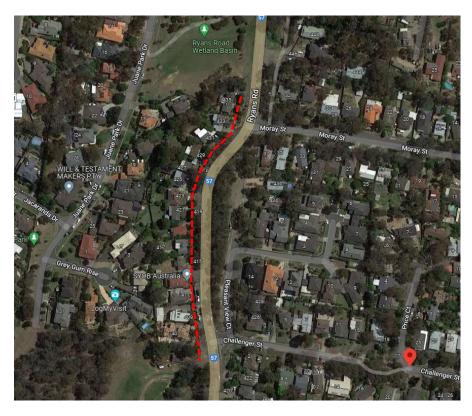


Figure 8: 407-435 Ryans Road Diamond Creek (Google), showing the section with existing constraints in providing a footpath on the western side of Ryans Road



Figure 9: Example of existing roadside conditions at 413 Ryans Road Diamond Creek (Google Street View looking south, east on left hand side, west on right hand side), showing a constrained ability to provide a footpath on the western side of Ryans Road due to roadside parking



Figure 10: Example of existing roadside conditions at 417 Ryans Road Diamond Creek (Google Street View looking north, west on left hand side, east on right hand side), showing a constrained ability to provide a footpath on the western side of Ryans Road due to vegetation and topography



Figure 11: 18 Kim Street, Diamond Creek (Google Street View looking east), showing the end of existing footpaths at the end of Kim Street



Figure 12: Ryans Road/Henry Arthur Drive intersection, Diamond Creek (Google Street View), showing the closest bus stop for routes heading northbound



Figure 13: Ryans Road/Henry Arthur Drive intersection, Diamond Creek (NearMap), showing the closest bus stop for routes heading northbound



Figure 14: Ryans Road from Kim Street to Henry Arthur Drive, Diamond Creek (NearMap), showing the distance to the closest bus stop for routes heading northbound at Henry Arthur Drive and the location of a required new bus stop at Kim Street for northbound services



Figure 15: Ryans Road/Kim Street intersection, Diamond Creek (NearMap), showing the closest bus stop for routes heading southbound



Figure 16: Juane Park Drive, Diamond Creek (Google Street View looking south), showing the lack existing parking restrictions



Figure 17: Kim Street, Diamond Creek (Google Street View looking west), showing the lack existing parking restrictions



Figure 18: Windmill Rise, Diamond Creek (Google Street View looking east), showing the lack existing parking restrictions



Figure 19: Recommended Melbourne Transport System (1969 Melbourne Transportation Plan) Ring Road extension between Diamond Creek Road and Ryans Road circled

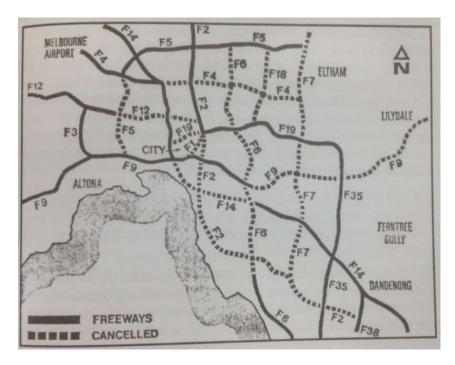


Figure 20: Cancelled Melbourne Freeways 1973 (Source: Davidson and Yelland 2004)

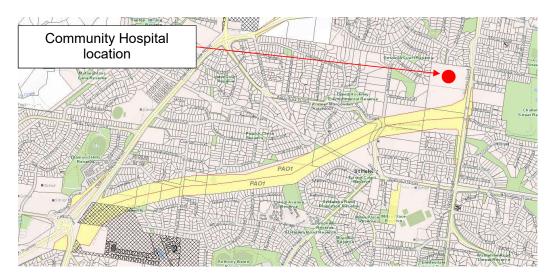


Figure 21: Extract of Public Acquisition Overlay 1 Map, Nillumbik Planning Scheme, showing the Metropolitan Ring Road extension between Diamond Creek Road and Ryans Road



Figure 22: Remnant native vegetation, Aqueduct Road / Aqueduct Lane intersection Diamond Creek (Google Street View looking south)



Figure 23: Remnant native vegetation patches within Public Acquisition Overlay, Aqueduct Lane Diamond Creek (Google)

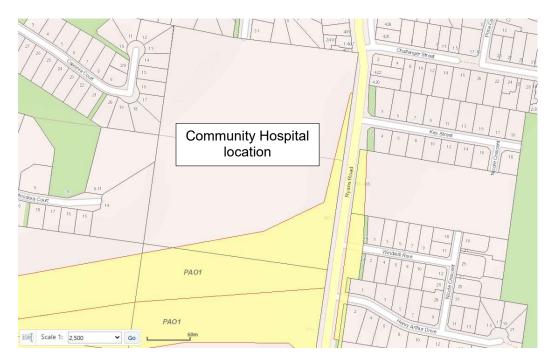


Figure 24: Extract of Public Acquisition Overlay 1 Map, Nillumbik Planning Scheme



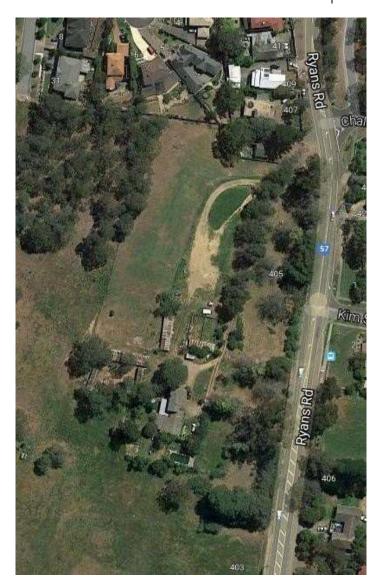


Harton Hill Farmhouse and Outbuildings, Monterey Cypress Drive

Prepared by: Trethowan Architecture

Address: 405 Ryans Road, Diamond Creek

Name: Harton Hill Farmhouse and Outbuildings	Survey Date:
Monterey Cypress Drive	-
Place Type: Residential, Farming	Architect: Not known
Grading: Significant	Builder: Not known
Extent of Overlay: To title boundaries	Construction Date: c1930s



1

CM.083/22 Eltham Area Community Hospital, Ryans Road Diamond Creek Attachment 2. Harton Hill Farmhouse and Outbuildings, Monterey Cypress Drive Heritage Report prepared by Trethowan Archit



Historical Context

Although Crown Land in Nillumbik Parish was offered for sale in 1852 there were few buyers. A government township was reserved on the west of the Diamond Creek at this time but it was neither subdivided nor sold until 1866. In 1863 the Diamond Reef was discovered on land purchased by Dr John Blakemore Phipps in 1854 east of the creek. The rush to Diamond Creek began and soon Phipps was renting sections of his land, which he later subdivided to miners. In effect the development of Phipps land for gold mining was the beginnings of Diamond Creek, which was soon bustling with gold seekers. In 1866 the government proclaimed Diamond Creek as a township. Many of the important community buildings were established by the early 1870s. By the second half of the 1880s the locality was being carved up rapidly into a dominant pattern of numerous small lots of around 20 acres. These were taken up under occupation licenses, first under Section 49 of the Land Act 1869 and later under Section 65 of the Land Act 1884. Diamond Creek's population peaked around the turn of the century then seemed to fall away again in the early twentieth century (Graeme Butler & Associates 1996, p.36).

In 1912, the Eltham Railway Line was extended to Hurstbridge through Diamond Creek, bringing tourists to this area. Despite this, Diamond Creek remained a rural township throughout the first half of the twentieth century/ From the 1960s onwards, affordable land on subdivided orchards and accessibility to railway networks attracted young families to build their homes in the area, prompting the population growth in Diamond Creek (Jill Barnard, 2008).

History

Lot 1 and 2 Section 15 Parish of Nillumbik, 320 acres, were sold by the Crown to W.R. Belcher in 1857 (Nillumbik Parish Plan sheet 3). It appears that George D'Arley Boursiquot (later Bourcicault) had acquired Lots 1 and 2 Section 15 Parish of Nillumbik at some stage. In 1904 320 acres of "first class orchard land", being Lots 1 and 2 of Section 15, were offered for sale by the estate of G.D. Bourcicault, in lots from 6 to 16 acres. The land was subdivided into 27 lots, all of which were sold by 1907 (CT V2992 F205; *Age* 4 June 1904:2).

Lots 4 and 5 of this 1904 subdivision, totalling 20 acres, were purchased by Henry Coventry of Diamond Creek, carter, in 1906 (CT V2992 F205; V3141 F016). The 1907-8 rate book notes that Henry Coventry owned the land with a house that had a NAV of £15 (RB 1907-08). This indicates a house was built on the property between 1906 and 1907.

By 1916 the property was known as 'Gracedale' (*Argus* 27 January 1917:1). In the rate book of 1919-20 the house and land had a NAV of £19, indicating little had changed (RB 1919-20). By 1922/23 the NAV had risen to £30, indicating investment in either a new house or extension, and/or in the orchards (RB 1922-1923). The 1925-26 rate book shows another rise, to £37, indicating further improvements (RB 1925-26). A house is shown in the position of the current house on a 1920 topographic map, while extensive orchards are shown at the site on a 1935 topographic map (Commonwealth of Australia 1920; 1935).

In 1935 Henry Coventry's property was offered for sale. The property included a fiveroomed dwelling, seven acres of orchard, six acres of cultivation and seven acres of grass and timber. Farming implements were also sold, indicating the Coventry family were leaving the district (*Advertiser* (Hurstbridge) 18 January 1935:8).

Alison Stewart Davis of Kew purchased the property in 1935 (CT V3141 F016). Alison had married Harold Carmichael Davis in 1930, who had previously been a soldier settler on a sheep property in the Glenorchy area (BDM 425/1930; Battle to Farm 2022). The Davises





made the subject site their residence and renamed it 'Harton Hills', possibly after a Western District estate of the same name.

The Davis family bred both Jersey stud cattle (a herd of about 20) and poultry (over 1000 head) on the property, and Alison Davis was a recognised dog breeder by 1939 (*Argus* 17 January 1938:10; 7 October 1939:23). The current two-storey brick home was most likely built during their occupation. In 1949, due to sale of 'Harton Hills' they held a "complete dispersal sale" of their stud Friesian and Guernsey cattle (*Argus* 9 March 1949:11). It appears they had also been leasing another 72 acres of grazing land in the Diamond Creek area owned by the railways department, indicating the extent of their agricultural pursuits (*Age* 25 June 1952:10).

Arthur Coutts, grazier of Diamond Creek, purchased the property by 1951 and renamed it 'Sunny Hills' (CT V3141 F016). In 1952 'Sunny Hills', was offered again for sale. The property was noted as including a "modern" two-storey solid-brick home of 11 rooms. There was also a three-roomed cottage, which may have been an earlier residence. Outbuildings catered for a wide variety of livestock, with fowl pens for 2000 birds, brick pigsties, a milking shed and dairy, and breeding kennels. The advertisement described the property as suiting "the discriminating buyer seeking an outer suburban home with sufficient land to create that country atmosphere", further stating that "it is rarely such a place with such delightful views, garden and ornamental trees so handily situated is offered for sale" (*Age* 29 March 1952:24).

Peter Salmon (editor) and Vivian Betty Colclough purchased the site in 1957. The State Electricity Commission compulsorily acquired easements over parts of Lot 4 in 1964, 1967 and 1969. The Country Roads Board acquired the property in 1973 (CT V3141 F016). The property appears to have returned to private use since.

Description & Integrity

The property contains a combined single and double storey brick residence constructed in the 1930s. The house has two main gable roofed wings, clad with terracotta tiles, on north-south axes. The wings are placed end to end, but slightly offset from each other; the north wing is two-storey, while the south is single-storey. A terracotta roofed veranda is evident on the western side of the house, indicating the location of the primary entryway. Further single-storey wings appear to have been added to the house on the eastern side.

There is an extensive collection of tin roofed farm buildings to the east and north of the house. A swimming pool is located to the south. There is a Monterey cypress drive that skirts Ryans Road as it approaches the house.

It is possible that the earlier house on the site built around 1907 could be located on the northeast corner of the site, however this has not been confirmed by a site inspection at the time of writing.

Comparative Analysis

Interwar development in the Shire of Nillumbik appeared to be slow, possibly due to its distance from the city and continuing agricultural setting. A majority of houses within the shire built in the interwar era are illustrative of the demand for low-cost housing, likely due to a combination of material shortages and rural economy. Many houses built in the Shire during this period are modest, weatherboard structures with little architectural pretence.





Substantial examples of interwar housing are uncommon within the Shire and are underrepresented on the Heritage Overlay. Although substantial interwar homes were more common in neighbouring municipalities (such as Manningham and Banyule), the Shire of Nillumbik has fewer examples. Two-storey houses of this era are even less common in the Shire, where most homes of the era were single storey, likely in order to capitalise on the abundance of land.

There are no other identified substantial two-storey farmhouses or farm properties from the mid to late 1930s currently included in the Heritage Overlay, however there are examples of other homes dating to the Interwar period, as follows:

- Brinkkotter House, 32 Lindon Strike Court, Research (HO114)
- Worlingworth, 10-26 Banoon Road, Eltham (HO7)
- Orchard House, 25 Cottles Bridge-Strathewen Road, Cottles Bridge (HO190).



Figure 1. Brinkkotter House, 32 Lindon Strike Court, Research (HO114).



Figure 2. Worlingworth, 10-26 Banoon Road, Eltham (HO7).



Figure 3. Orchard House, 25 Cottles Bridge-Strathewen Road, Cottles Bridge (HO190).

The Brinkotter House at 32 Lindon Strike Court was built c1935, and is significant for its associations with the Brinkkotter family, who were well-known farmers and orchardists in the region. It is also aesthetically significant for its unusual design. An earlier significant house exists on the same site, and the presence of two adjacent farmhouses on one property is uncommon.

Worlingworth at 10-26 Banoon Road, built c1922, is historically significant for its associations with the notable anthropologist Donald Thomson, who lived there from the mid-1930s and because it is one of a few substantial homes erected in the Shire during the interwar period.

The Orchard House at 25 Cottles Bridge-Strathewen Road, is significant as one of few brick houses built prior to 1930 in the Shire. The house is considered significant due to its transitional style, which demonstrates elements of both federation and interwar bungalow styles.



The subject site is similar to the above examples due to its age, siting, and substantial brick construction. Despite this, the subject site is set apart from the houses at 25 Cottles Bridge-Strathewen Road and 10-26 Banoon Road, which both exhibit the more recognisable characteristics of interwar bungalows with their prominent gable roofs and projecting bay windows. Although similar in age and materiality, the subject site is set apart from the Brinkotter House at 32 Lindon Strike Court, which is more alike a traditional homestead with its simple rectangular form and surrounding veranda contained underneath a single hipped roof. Should the original c1907 farmhouse be present at the subject site, it would be a similar to the Brinkotter House as an example of two farmhouses coexisting on the same site.

The subject site demonstrates an unusual use of a two-storey form within the Shire, which further elevates its significance as a substantial interwar farmhouse in the municipality. Overall, the subject site compares favourably against these examples.

CM.083/22 Eltham Area Community Hospital, Ryans Road Diamond Creek Attachment 2. Harton Hill Farmhouse and Outbuildings, Monterey Cypress Drive Heritage Report prepared by Trethowan Archit



Assessment Against Criteria

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay,* Department of Planning and Community Development, revised July 2015, modified for the local context.

CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).

The Harton Hills farm complex at 405 Ryans Road, Diamond Creek is historically significant for its illustration of farming in the Diamond Creek district since the early 1900s. The most significant occupation of the property was by Alison and Harold Davis from 1935 until 1949 when the current c1930s residence was constructed, and dog breeding was undertaken at the property as well as it being a Jersey stud. The site also has associations with orchard farming in the area, which was undertaken by the Coventry family.

CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).

CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).

CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).

The 1930s farmhouse is aesthetically significant as a distinctive example of a substantial inter-war brick farmhouse. The two-storey nature of the building is unusual and makes this example stand out in the Shire. The outbuildings on the site demonstrate the operation of the farm during the 1930s and 1940s. The Monterey cypress drive contributes to the setting of the place and emphasises its grandeur.

CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).

CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance).

CM.083/22 Eltham Area Community Hospital, Ryans Road Diamond Creek Attachment 2. Harton Hill Farmhouse and Outbuildings, Monterey Cypress Drive Heritage Report prepared by Trethowan Archit



Statement of Significance

What is Significant?

The Harton Hills farm complex at 405 Ryans Road, Diamond Creek. The original form, materials and detailing of the c1907 farmhouse, 1930s farmhouse and outbuildings and the Monterey cypress drive and their setting contribute to the significance of the place.

How is it significant?

The Harton Hills farm complex at 405 Ryans Road, Diamond Creek is of local historic and aesthetic significance to the Shire of Nillumbik.

Why is it significant?

The Harton Hills farm complex at 405 Ryans Road, Diamond Creek is historically significant for its illustration of farming in the Diamond Creek district, which remained an integral part of the economic life of the district through the Interwar period. The most significant occupation of the property was by Alison Stewart Davis and Harold Carmichael Davis from 1935 until 1949, when the current c1930s two-storey brick residence was constructed and dog breeding was undertaken at the site. It is also during this period that the Davises operated a Jersey stud at the site. The site also has historic associations with orchard farming in the area which was undertaken during the Coventry family's occupation of the site. (Criterion A)

The farm complex at 405 Ryans Road, Diamond Creek is aesthetically significant as an uncommon example of a substantial Interwar brick farmhouse. The two-storey nature of the building is also distinctive in the Shire, where most substantial houses were single-storey. The outbuildings on the site demonstrate the operation of the farm during the 1930s and 1940s. The Monterey cypress drive contributes to the setting of the place and emphasises its grandeur. (Criterion E)





Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

External Paint Colours Is a permit required to paint an already painted surface?	No
Internal Alteration Controls Is a permit required for internal alterations?	No
Tree Controls Is a permit required to remove a tree?	Yes – Monterey Cypresses
Victorian Heritage Register Is the place included on the Victorian Heritage Register?	No
Incorporated Plan Does an Incorporated Plan apply to the site?	No
Outbuildings and fences exemptions Are there outbuildings and fences which are not exempt from notice and review?	Yes
Prohibited uses may be permitted Can a permit be granted to use the place for a use which would otherwise be prohibited?	Yes
Aboriginal Heritage Place Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?	No

Identified By

Samantha Westbrook and Peter Mills

CM.083/22 Eltham Area Community Hospital, Ryans Road Diamond Creek Attachment 2. Harton Hill Farmhouse and Outbuildings, Monterey Cypress Drive Heritage Report prepared by Trethowan Archit



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CM.083/22 Eltham Area Community Hospital, Ryans Road Diamond Creek Attachment 2. Harton Hill Farmhouse and Outbuildings, Monterey Cypress Drive Heritage Report prepared by Trethowan Architecture

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Attachment 3: Eltham Area Community Hospital, Ryans Road Diamond Creek - Advocacy Points

- a) Council to be engaged early in discussions and prior to the completion of the Victorian Health Building Authority masterplanning to ensure Council's concerns are properly considered
- b) Completion of a masterplan for the former F5 alignment from Greensborough Bypass/Diamond Creek Road/Civic Drive roundabout through to and including 396-406 Ryans Road that provides for a minor local access road, shared paths, protection of existing vegetation, new public open space/parklands to retain its current use as a habitat/wildlife corridor and some abutting residential development
- c) Community Hospital at Ryans Road Diamond Creek design and scale needs to be reflective and contribute to the established neighbourhood character of the surrounding area and existing patches of vegetation, topography and heritage elements, together with the protection and enhancement of the inter urban break
- d) An environmental impact assessment (flora and fauna) of the hospital to consider relocation of wildlife that will be displaced
- e) Offset vegetation to be located in Nillumbik Shire Council and include revegetation of the former F5 alignment to reinforce the character of Ryans Road urban break
- f) Hospital development to consider feasibility of community activation for example: free use community meeting space, playground, café and community gardens
- g) Access via a signalised intersection and localised widening at Ryans Road and Windmill Rise and not via Juane Park Drive and/or Aqueduct Lane
- h) Provision of a safe pedestrian crossing of Ryans Road to the Diamond Creek Trail
- i) Construction of a footpath along the western side of Ryans Road from Aqueduct Road
- j) Construction of a footpath from the end of Kim Street to the Diamond Creek Trail
- k) Improved pedestrian safety and walkability on the western side of Ryans Road (in the vicinity of existing properties from 407-435 Ryans Road)
- I) Construction of an additional northbound bus stop, with waiting shelter, at the Ryans Road and Kim Street intersection
- m) Provision of an adequate level of on-site free parking
- n) Development of a local parking plan to introduce parking restrictions in local streets
- o) Bus route review of services to the Community Hospital to consider feasibility of a bus terminal in Hospital development
- p) Provision of new bus shelters along the main approaches to the hospital including Wattletree Rd, Ryans Rd and Aqueduct Rd

CM.083/22 Eltham Area Community Hospital, Ryans Road Diamond Creek Attachment 3. Eltham Area Community Hospital, Ryans Road Diamond Creek - Advocacy Points

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Nillumbik Shire Council Panton Hill Bushland Reserves System (PHBRS) User Group Advisory Committee Terms of Reference

Name

Panton Hill Bushland Reserve System (PHBRS) User Group Advisory Committee (Advisory Committee)

Introduction:

The Panton Hill Bushland Reserve System (PHBRS) constitutes seven individual reserves spanning 140 hectares of bushland in the Watsons Creek catchment near the townships of Panton Hill and Smiths Gully.

Council adopted the Panton Hill Bushland Reserve System Management Plan and created the User Group in 2011.

Policy Statement:

The Panton Hill Bushland Reserve System (PHBRS) User Group Advisory Committee is a broad-interest advisory group facilitating community engagement including volunteer activities to protect the values of the PHBRS and to help manage user impacts.

Aims:

The aim of the PHBRS User Group is to encourage an understanding, appreciation, enjoyment and care within the community and the user groups of the significant natural features, biodiversity, social, educational, recreational, and historical values of the Panton Hill Bushland Reserves.

Objectives

- Represent the views and needs of the various PHBRS user groups.
- Facilitate the wider Nillumbik community's enjoyment and experience of the PHBRS.
- Assist in planning community initiatives and activities that promote and protect the natural features, biodiversity, social, educational, recreational, and historical values of the PHBRS.
- Assist in the implementation of initiatives and activities which protect and enhance these values.



- Engage the community in the implementation of these activities.
- Provide relevant advice and feedback to Council in relation to works and other matters as they may arise within the reserves.
- Assist in the development of appropriate policy that supports and facilitates these endeavours.
- Strengthen partnerships with residents, community groups and services about issues and actions surrounding the reserves.

Membership

The Advisory Committee membership will consist of up to 10 members and will include representation from:

- One representative of the Nillumbik Shire Council (Councillor/s)
- Up to nine community representatives will be selected to represent a broad spectrum of reserves users including:
 - o bushwalking
 - o environmental interests
 - o horse riding
 - o mountain biking
 - the indigenous community
 - o the artistic community
 - the general community.

All Advisory Committee positions are unpaid positions unless otherwise specified in the Terms of Reference.

Council Directorate

The Advisory Committee falls within Council's Operations and Infrastructure Directorate and will be managed by Council's Environmental Works team.

Meeting Frequency

The Advisory Committee will be held three times per year in February, June and October.

Subcommittees around specific projects may be convened as required and meet on a more frequent basis.

Broader community involvement will be advertised as required for on-ground activities.

Endorsed by Council

These Terms of Reference were endorsed by Council on 14 December 2021

Next Review Due

June 2022

PHBRS User Group Advisory Committee Terms of Reference

Page 2 of 8

Informal Meetings of Councillors and Conflicts of Interest

The Advisory Committee is considered an Informal Meeting of Councillors as defined in Clause19 of Council's Governance Rule - Meeting Procedure.

An Informal Meeting of Councillors Record must be completed and sent to Council's Governance team as soon as possible at the completion of the meeting for inclusion in the Agenda for the next Council Meeting.

The Informal Meeting of Councillors Record must outline:

- the names of all Councillors and members of Council staff attending;
- the matters considered;
- any conflict of interest disclosures made by a Councillor, Committee member or Council staff member; and
- whether an individual who has disclosed a conflict of interest leaves the meeting.

The Minutes of the meeting, including the matters discussed at the meeting must be tabled at the next convenient Council Meeting and recorded in the minutes of that Council Meeting.

Conflicts of Interest as defined by sections 126-131 of the *Local Government Act* 2020

Councillors, Committee members and Council staff are expected to understand the concept of conflicts of interest in the *Local Government Act 2020* and follow Council's procedure for disclosure in the Governance Rule – Decision-making.

Working groups

Working groups will be established as required to provide an opportunity for members to work collaboratively on specific issues and projects. Membership of the working groups will be open to Advisory Committee members and non-members. A working group member will be nominated to provide feedback at the Advisory Committee meetings.

Recruitment Process

Nominations for appointment of individual members shall be invited through local media and Council publications. Invitations will also be circulated through relevant Council Committees and networks. Representatives of key organisations will be recruited directly by Council staff members, and from other organisations will be sought through advertising.

Gender Equality, Diversity and Inclusiveness

The *Gender Equality Act 2020* commenced on 31 March 2021 and seeks to improve workplace gender equality in the Victorian public sector, universities and local councils.

Local councils are required to promote gender equality in policies, programs and services that impact the public. The committee will actively consider how community members of various ages, abilities, cultural and gender identities, sexual orientation, religions, locations and social economic backgrounds might access policies, programs

or services differently and if are there any barriers which may hinder these groups from accessing these policies, programs or services.

Selection Criteria for Membership of Advisory Committees

Nominees for membership must be able to demonstrate:

- Qualification skills and expertise in a specific area where necessary depending on the issue/project/topic.
- A strong understanding of the local community and its social, environmental and economic influences.
- Good knowledge and understanding of the local issues that are relevant to the subject matter.
- Endorsement by their own organisation. Individuals should provide two character referees as part of their application, unless they are a returning member.
- An ability to represent a broad range of views that reflect the diversity of the community.
- Current involvement in the community in the interest area that relates to the purpose of the Advisory Committee.
- Strong community networks and linkages.
- An ability to constructively participate in an advisory capacity.
- A willingness to contribute positively to meetings in a fair and unbiased manner.
- An ability to look beyond personal interests for the benefit of the community and residents in the Shire.
- An ability and willingness to encourage participation from and provide feedback to the community regarding an issue.
- A capacity to commit to the Advisory Committee for the required duration.
- A willingness to celebrate the success and achievements of the issue/s.

All Advisory Committee applications will be considered based on the Key Selection Criteria and Application.

Selection Panel to make recommendation of members on Advisory Committees

- Senior member of Council (CEO or Director/Executive Manager or delegated Manager)
- Nominated Council staff member from the specific service area related to the issue
- Senior Manager of a local provider (if appropriate)
- Senior Manager of a local industry (if appropriate).

A recommendation about the membership is made for the endorsement of Council.

It is noted that once the committee has been appointed, this selection panel is disbanded.

PHBRS User Group Advisory Committee Terms of Reference

Page 4 of 8

A Councillor must not participate as a selection panel member because in doing so it will trigger the conflict of interest provision of the *Local Government Act 2020* whereby they will have to remove themselves from the decision making process at Council.

The following are examples of selection criteria relevant to the Committee's purpose that might be used in an expression of interest document.

An individual applicant may be selected on the basis of the following criteria:

- Qualifications, skills and experience the person can bring to the Committee.
- Current knowledge of issues relevant to the aims and objectives listed in the Terms of Reference.
- Living, working or engaging in activities in Nillumbik Shire.
- Willingness to commit to a two-year term.
- Ability to represent a diversity of views and interests of the community.

Representatives of organisations may be selected on the basis of that organisation:

- Having involvement and providing services to Nillumbik residents who work within the service industry covered by the Advisory Committee.
- The nature of the service the organisation provides to Nillumbik residents.
- Having capacity to provide a consistent representative for a two-year term.
- The resources and expertise that the organisation can offer the Committee.

Terms of Appointment

- Appointments will be for a two year term.
- Council will appoint a Councillor to chair the meetings.
- Members completing a two year term may re-apply for a further two year term.
- The operations of the Committee will be reviewed annually by Council.
- Members are free to resign in writing from an Advisory Committee at any time. At which time, Council may initially approach one of the unsuccessful applicants or undertake a new expression of interest.

Meeting Frequency

- The Advisory Committee will meet for the frequency listed above.
- It is expected that each member attend a minimum of 60 per cent of all meetings unless reasons are provided to the Chairperson. No reasonable explanation will be denied.
- A member's term of appointment may cease if the member fails to attend three consecutive meetings without prior apology.
- A quorum at a meeting of the Advisory Committee will consist of at least half of the appointed members (excluding Council staff).

Role of Councillor

The role of the Councillor is:

- To act as Chairperson of the Advisory Committee.
- To be the link between Council and the Advisory Committee.
- To table issues and concerns to Council on behalf of the Advisory Committee.

Should the Chairperson be absent from the meeting, the Advisory Committee is to appoint a temporary Chairperson by a majority vote of those members present.

Observers

When observers are invited to attend Advisory Committee meetings, their role is to observe only unless called upon by the Chairperson to participate.

Executive Support

Council's nominated Department or team managing the Advisory Committee will provide executive support to the Advisory Committee.

Role of Committee members

- Commit to serving for two (2) years.
- Prepare for, attend and actively participate in meetings.
- Take an active role in communicating the views of residents and organisations to Council.
- Provide feedback to Council via the Council staff member assigned to convene the Committee.
- Keep the Committee informed of current and emerging developments, and issues and activities relevant to the Committee.
- Respond to requests for input into and/or feedback on Council activities, policies and reports.
- Seek approval from Council prior to making public statements, submissions or announcements or issuing correspondence (including emails) to external stakeholders on behalf of the Committee or Council.

Accountability and Extent of Authority

- All Advisory Committee members have an active role to provide feedback and advice to Council on issues relating to the aims and objectives of the Advisory Committee within the municipality.
- All Advisory Committee members participate in discussions at Advisory Committee meetings.
- All Advisory Committee members have an advisory role and do not hold any authority to make decisions or commitments on behalf of Council.

Monitoring and reporting

- The minutes of Advisory Committee meetings will be circulated to members via email for confirmation, and then placed on Council's Advisory Committee website for viewing.
- All Committee minutes will be presented to Council at the next available Council Meeting for noting.
- Recommendations and requests arising from Advisory Committee meetings will be presented to Councillors for consideration. Where this occurs, the request will require the majority support of the Advisory Committee members present. Responses to recommendations will be determined based on Council's legislative role, stated commitments in Council's policies and plans and budgetary processes.
- Unless the Council staff member managing the Advisory Committee holds the appropriate delegation from Council to act on formal advice provided by the Committee, that advice must be referred to Council for formal resolution to act. Where formal advice provided by the Advisory Committee cannot be acted on with the delegated power of Council staff, it must be referred to Council for formal resolution before being acted on.

Evaluation and Review

The Advisory Committee Terms of Reference and membership will be reviewed and evaluated on an annual basis or as required for any significant changes.

Support to participate in meetings

Council will provide reasonable support for members to participate in the meetings. This will be negotiated with the members as needed.

Induction and Orientation

An induction and orientation process will occur for all members at the beginning of the term of the Advisory Committee. This process will include:

- Briefing members on the expectations and requirements of membership of the Advisory Committee.
- Providing members with an overview of the advisory structures (including working groups and sub-committees) and decision making processes of Council.
- Introduction to the Council Plan and other relevant Council policies, strategies and plans.
- An overview of key issues relating to the aims and objectives of the Advisory Committee.
- Establishing clear objectives and priorities for the two-year term of the Committee.
- Reviewing Advisory Committee Policy and expectations of members at Advisory Committee meetings and each member signing a declaration to abide by the conduct obligations.

PHBRS User Group Advisory Committee Terms of Reference

Page 7 of 8

- Providing information to members to ensure their understanding of obligations relating to:
 - Conflicts of interest
 - Confidentiality
 - Privacy
 - Health and safety, equal opportunity, bullying and harassment
 - Child Safe Standards
 - Social Media Protocol

Confidentiality

Councillors and other members of Advisory Committees established by Council must not disclose information defined in section 3(1) of the *Local Government Act 2020* as "confidential information".

Privacy

Councillors and committee members on advisory committees established by Council are subject to the requirements of the *Privacy and Data Protection Act 2014* and Council's Information Privacy Policy.

Breaches

Breaches of the Advisory Committee Policy or Terms of Reference will be dealt with under the Policy.

Nillumbik Shire Council Panton Hill Bushland Reserves System (PHBRS) User Group Advisory Committee Terms of Reference

Name

Panton Hill Bushland Reserve System (PHBRS) User Group Advisory Committee (**Advisory Committee**)

Introduction:

The Panton Hill Bushland Reserve System (PHBRS) constitutes seven individual reserves spanning 140 hectares of bushland in the Watsons Creek catchment near the townships of Panton Hill and Smiths Gully.

Council adopted the Panton Hill Bushland Reserve System Management Plan and created the User Group in 2011.

Policy Statement:

The Panton Hill Bushland Reserve System (PHBRS) User Group Advisory Committee is a broad-interest advisory group facilitating community engagement including volunteer activities to protect the values of the PHBRS and to help manage user impacts.

Aims:

The aim of the PHBRS User Group is to encourage an understanding, appreciation, enjoyment and care within the community and the user groups of the significant natural features, biodiversity, social, educational, recreational, and historical values of the Panton Hill Bushland Reserves.

Objectives

- Represent the views and needs of the various PHBRS user groups.
- Facilitate the wider Nillumbik community's enjoyment and experience of the PHBRS.
- Assist in planning community initiatives and activities that promote and protect the natural features, biodiversity, social, educational, recreational, and historical values of the PHBRS.
- Assist in the implementation of initiatives and activities which protect and enhance these values.
- Engage the community in the implementation of these activities.



- Provide relevant advice and feedback to Council in relation to works and other matters as they may arise within the reserves.
- Assist in the development of appropriate policy that supports and facilitates these endeavours.
- Strengthen partnerships with residents, community groups and services about issues and actions surrounding the reserves.

Membership

The Advisory Committee membership will consist of up to 10 members and will include representation from:

- One representative of the Nillumbik Shire Council (Councillor/s)
- Up to nine community representatives will be selected to represent a broad spectrum of reserves users including:
 - o bushwalking
 - environmental interests
 - horse riding
 - o mountain biking
 - the indigenous community
 - o the artistic community
 - the general community.

When a community representative is absent from a meeting, they may nominate another person from the same interest group to attend the meeting in their place. From time to time, the User Group may invite other people from the community or government agencies to provide input into a particular topic or project.

All Advisory Committee positions are unpaid positions unless otherwise specified in the Terms of Reference.

Council Directorate

The Advisory Committee falls within Council's Operations and Infrastructure Directorate and will be managed by Council's Environmental Works team.

Meeting Frequency

The Advisory Committee will be held three times per year in February, June and October.

Subcommittees around specific projects may be convened as required and meet on a more frequent basis.

Broader community involvement will be advertised as required for on-ground activities.

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Endorsed by Council

These Terms of Reference were endorsed by Council on xx August 2022

Next Review Due

August 2024

Informal Meetings of Councillors and Conflicts of Interest

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- the names of all Councillors and members of Council staff attending;
- the matters considered;
- any conflict of interest disclosures made by a Councillor, Committee member or Council staff member; and
- whether an individual who has disclosed a conflict of interest leaves the meeting.

The Minutes of the meeting, including the matters discussed at the meeting must be tabled at the next convenient Council Meeting and recorded in the minutes of that Council Meeting.

Conflicts of Interest as defined by sections 126-131 of the Local Government Act 2020

Councillors, Committee members and Council staff are expected to understand the concept of conflicts of interest in the *Local Government Act 2020* and follow Council's procedure for disclosure in the Governance Rule – Decision-making.

Working groups

Working groups will be established as required to provide an opportunity for members to work collaboratively on specific issues and projects. Membership of the working groups will be open to Advisory Committee members and non-members. A working group member will be nominated to provide feedback at the Advisory Committee meetings.

Recruitment Process

Nominations for appointment of individual members shall be invited through local media and Council publications. Invitations will also be circulated through relevant Council Committees and networks. Representatives of key organisations will be recruited directly by Council staff members, and from other organisations will be sought through advertising.

Gender Equality, Diversity and Inclusiveness

The *Gender Equality Act 2020* commenced on 31 March 2021 and seeks to improve workplace gender equality in the Victorian public sector, universities and local councils.

Local councils are required to promote gender equality in policies, programs and services that impact the public. The committee will actively consider how community members of various ages, abilities, cultural and gender identities, sexual orientation, religions, locations and social economic backgrounds might access policies, programs or services differently and if are there any barriers which may hinder these groups from accessing these policies, programs or services.

Selection Criteria for Membership of Advisory Committees

Nominees for membership must be able to demonstrate:

- Qualification skills and expertise in a specific area where necessary depending on the issue/project/topic.
- A strong understanding of the local community and its social, environmental and economic influences.
- Good knowledge and understanding of the local issues that are relevant to the subject matter.
- Endorsement by their own organisation. Individuals should provide two character referees as part of their application, unless they are a returning member.
- An ability to represent a broad range of views that reflect the diversity of the community.
- Current involvement in the community in the interest area that relates to the purpose of the Advisory Committee.
- Strong community networks and linkages.
- An ability to constructively participate in an advisory capacity.
- A willingness to contribute positively to meetings in a fair and unbiased manner.
- An ability to look beyond personal interests for the benefit of the community and residents in the Shire.
- An ability and willingness to encourage participation from and provide feedback to the community regarding an issue.
- A capacity to commit to the Advisory Committee for the required duration.
- A willingness to celebrate the success and achievements of the issue/s.

All Advisory Committee applications will be considered based on the Key Selection Criteria and Application.

Selection Panel to make recommendation of members on Advisory Committees

- Senior member of Council (CEO or Director/Executive Manager or delegated Manager)
- Nominated Council staff member from the specific service area related to the issue
- Senior Manager of a local provider (if appropriate)
- Senior Manager of a local industry (if appropriate).

PHBRS User Group Advisory Committee Terms of Reference

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A recommendation about the membership is made for the endorsement of Council.

It is noted that once the committee has been appointed, this selection panel is disbanded.

A Councillor must not participate as a selection panel member because in doing so it will trigger the conflict of interest provision of the *Local Government Act 2020* whereby they will have to remove themselves from the decision making process at Council.

The following are examples of selection criteria relevant to the Committee's purpose that might be used in an expression of interest document.

An individual applicant may be selected on the basis of the following criteria:

- Qualifications, skills and experience the person can bring to the Committee.
- Current knowledge of issues relevant to the aims and objectives listed in the Terms of Reference.
- Living, working or engaging in activities in Nillumbik Shire.
- Willingness to commit to a two-year term.
- Ability to represent a diversity of views and interests of the community.

Representatives of organisations may be selected on the basis of that organisation:

- Having involvement and providing services to Nillumbik residents who work within the service industry covered by the Advisory Committee.
- The nature of the service the organisation provides to Nillumbik residents.
- Having capacity to provide a consistent representative for a two-year term.
- The resources and expertise that the organisation can offer the Committee.

Terms of Appointment

- Appointments will be for a two year term.
- Council will appoint a Councillor to chair the meetings.
- Members completing a two year term may re-apply for a further two year term.
- The operations of the Committee will be reviewed annually by Council.
- Members are free to resign in writing from an Advisory Committee at any time. At which time, Council may initially approach one of the unsuccessful applicants or undertake a new expression of interest.

Meeting Frequency

- The Advisory Committee will meet for the frequency listed above.
- It is expected that each member attend a minimum of 60 per cent of all meetings unless reasons are provided to the Chairperson. No reasonable explanation will be denied.

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- A member's term of appointment may cease if the member fails to attend three consecutive meetings without prior apology.
- A quorum at a meeting of the Advisory Committee will consist of at least half of the appointed members (excluding Council staff).

Role of Councillor

The role of the Councillor is:

- To act as Chairperson of the Advisory Committee.
- To be the link between Council and the Advisory Committee.
- To table issues and concerns to Council on behalf of the Advisory Committee.

Should the Chairperson be absent from the meeting, the Advisory Committee is to appoint a temporary Chairperson by a majority vote of those members present.

Observers

When observers are invited to attend Advisory Committee meetings, their role is to observe only unless called upon by the Chairperson to participate.

Executive Support

Council's nominated Department or team managing the Advisory Committee will provide executive support to the Advisory Committee.

Role of Committee members

- Commit to serving for two (2) years.
- Prepare for, attend and actively participate in meetings.
- Take an active role in communicating the views of residents and organisations to Council.
- Provide feedback to Council via the Council staff member assigned to convene the Committee.
- Keep the Committee informed of current and emerging developments, and issues and activities relevant to the Committee.
- Respond to requests for input into and/or feedback on Council activities, policies and reports.
- Seek approval from Council prior to making public statements, submissions or announcements or issuing correspondence (including emails) to external stakeholders on behalf of the Committee or Council.

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Accountability and Extent of Authority

- All Advisory Committee members have an active role to provide feedback and advice to Council on issues relating to the aims and objectives of the Advisory Committee within the municipality.
- All Advisory Committee members participate in discussions at Advisory Committee meetings.
- All Advisory Committee members have an advisory role and do not hold any authority to make decisions or commitments on behalf of Council.

Monitoring and reporting

- The minutes of Advisory Committee meetings will be circulated to members via email for confirmation, and then placed on Council's Advisory Committee website for viewing.
- All Committee minutes will be presented to Council at the next available Council Meeting for noting.
- Recommendations and requests arising from Advisory Committee meetings will be presented to Councillors for consideration. Where this occurs, the request will require the majority support of the Advisory Committee members present. Responses to recommendations will be determined based on Council's legislative role, stated commitments in Council's policies and plans and budgetary processes.
- Unless the Council staff member managing the Advisory Committee holds the appropriate delegation from Council to act on formal advice provided by the Committee, that advice must be referred to Council for formal resolution to act. Where formal advice provided by the Advisory Committee cannot be acted on with the delegated power of Council staff, it must be referred to Council for formal resolution before being acted on.

Evaluation and Review

The Advisory Committee Terms of Reference and membership will be reviewed and evaluated on an annual basis or as required for any significant changes.

Support to participate in meetings

Council will provide reasonable support for members to participate in the meetings. This will be negotiated with the members as needed.

Induction and Orientation

An induction and orientation process will occur for all members at the beginning of the term of the Advisory Committee. This process will include:

• Briefing members on the expectations and requirements of membership of the Advisory Committee.

- Providing members with an overview of the advisory structures (including working groups and sub-committees) and decision making processes of Council.
- Introduction to the Council Plan and other relevant Council policies, strategies and plans.
- An overview of key issues relating to the aims and objectives of the Advisory Committee.
- Establishing clear objectives and priorities for the two-year term of the Committee.
- Reviewing Advisory Committee Policy and expectations of members at Advisory Committee meetings and each member signing a declaration to abide by the conduct obligations.
- Providing information to members to ensure their understanding of obligations relating to:
 - Conflicts of interest
 - Confidentiality
 - Privacy
 - Health and safety, equal opportunity, bullying and harassment
 - Child Safe Standards
 - Social Media Protocol

Confidentiality

Councillors and other members of Advisory Committees established by Council must not disclose information defined in section 3(1) of the *Local Government Act 2020* as "confidential information".

Privacy

Councillors and committee members on advisory committees established by Council are subject to the requirements of the *Privacy and Data Protection Act 2014* and Council's Information Privacy Policy.

Breaches

Breaches of the Advisory Committee Policy or Terms of Reference will be dealt with under the Policy.

CM.085/22 A first draft of the Nillumbik Neighbourhood Character Strategy

-

Nillumbik Shire Council Neighbourhood Character Strategy

ALT.

DRAFT

Ethos Urban

Prepared for Nillumbik Shire Council August 2022

Acknowledgement of Country

Nillumbik Shire Council respectfully acknowledges the Wurundjeri Woi-wurrung people as the Traditional Owners of the Country on which Nillumbik Shire is located, and we value the significance of the Wurundjeri people's history as essential to the unique character of the Shire. We pay tribute to all First Nations People living in Nillumbik Shire, give respect to Elders past, present and future, and extend that respect to all First Nations People.

We respect the enduring strength of the Wurundjeri Woi-wurrung and acknowledge the ongoing impacts of past trauma and injustices from European invasion, massacres and genocide committed against First Nations People. We acknowledge that sovereignty was never ceded.

Wurundjeri Woi-wurrung people hold a deep and ongoing connection to this place. We value the distinctive place of our First Nations People in both Nillumbik Shire and Australia's identity; from their cultural heritage and care of the land and waterways, to their ongoing contributions in many fields including academia, agriculture, art, economics, law, sport and politics.

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Tim Peggie

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 This document has been prepared by:
 This document has been reviewed by:

Nikki Hill & Evangeline Davidson 10/08/22

The information contained in this document is for submission to Nillumbik Shire Council. The client shall make its own equiries, analysis and calculations and form its own views in relation to the use or development of the property including the application of local government and statutory controls. It is assumed that the client will rely on its own expertise in

considering the information. Ethos Urban operates under a Quality Management System that has been certified as complying with ISO 9001:2008. This report has been prepared and reviewed in accordance with that system. If the report is not signed above, it is a preliminary

draft.

VERSION NO.	DATE OF ISSUE	REVISION BY	APPROVED BY
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4.0 (DRAFT)	5/08/22	ED & NH	TP
5.0 (DRAFT)	10/08/22	ED & NH	TP



Definition of Terms

Table 1 - Definition of Terms

Activity Centres	Retail, service and employment hubs that are usually well serviced by public transport. They range in size from local neighbourhood strip shops to major regional shopping malls and centres.
Building	Definition from Section 3AA of the Planning and Environment Act 1987
	A building includes -
	• a structure and part of a building or a structure; and
	• fences, walls, out-buildings, service installations and other appurtenances of a building.
Character Area	Areas with a common preferred character.
Character Type	Broad areas, where the desired character is the same. In these areas, the existing neighbourhood character and era of residential development are usually similar.
Contemporary Architecture	Contemporary architecture essentially refers to the current style of architecture. For example, a house built this year according to current trends would be considered contemporary architecture.
Contemporary Infill Development	A new development within a streetscape of older buildings.
Detached Dwelling	A detached building comprising one dwelling on a site that is held exclusively with that dwelling and has a frontage to a public road (also includes townhouses).
Dwelling	A building or part of a building used as a self-contained residence, which must include:
	• a kitchen sink;
	food preparation facilities;
	a bath or shower; and
	• a closet pan and wash basin.
	It includes out-buildings and works normal to a dwelling.
Gable Roof	A roof that connects to the wall of the building with a vertical end.
Hipped Roof	A roof that connects to the wall of the building with an angled end.
Kerb and channel	The gutter that is created to direct stormwater into the drain, constructed of concrete or bluestone. This type of kerb is known as an 'upstanding kerb'.
Modern Architecture	Modern architecture is a style of building that emphasizes function and a streamlined form over ornamentation. This design aesthetic is a departure from more elaborate and decorated homes like Queen Anne, Victorian, or Gothic Revival styles. Modern architecture usually involves sharp, clean lines.

Table 1 - Definition of Term	IS
Neighbourhood Character	The interplay between development, vegetation and topography in the public and private domains that distinguishes one residential area from another.
Overlays	Planning scheme controls that apply to specific areas to address a particular issue such as environmental, landscape, heritage and flooding. These requirements operate in addition to those provided by the land's zoning.
Pitched Roof	A roof that is not flat. Generally, roofs will have an angle of pitch from 20-40°.
Planning Policy Framework (PPF)	Comprises general principles for land use and development in Victoria contained in the planning scheme. It sets visions, objectives, strategies and decision guidelines that must be taken into consideration by local Councils when making a planning decision.
Precinct Profile	Provide a summary of unique character areas with associated character objectives and design guidelines to provide guidance to future development.
Preferred character statement	Policy statement that articulates an area's desired future character.
Render finish	Textured concrete that is applied over brickwork to walls or fences.
Semi-detached Dwelling	A dwelling that shares a common wall with another dwelling.

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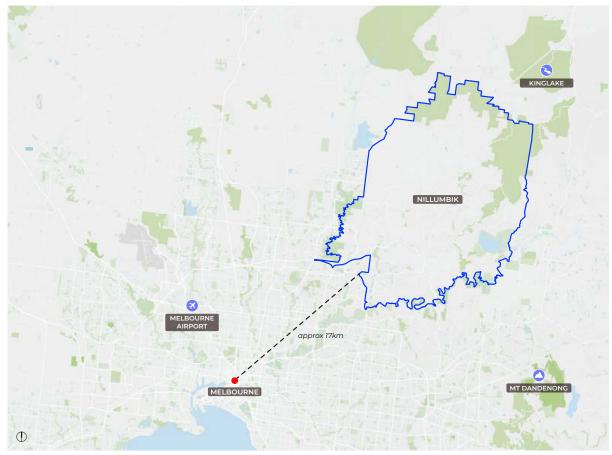
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1.0 Introduction

1.1 Overview

Nillumbik Shire is renowned as the Green Wedge Shire, highly valued for its diverse environments and natural assets, with townships characterised by steep ridges and sloping hills, rivers and creeks, residential areas nestled within dense bush vegetation and semi rural landscapes. Accordingly, this Nillumbik Shire Council Neighbourhood Character Strategy is being undertaken to update and accurately reflect valued and existing characteristics and to establish the preferred neighbourhood character for the Shire.



⁰¹ Nillumbik Shire within Metropolitan Melbourne

Project Overview

Ethos Urban has been engaged by Nillumbik Shire Council to prepare a Neighbourhood Character Strategy for the municipality. The Strategy will update and accurately reflect Nillumbik Shire's existing and preferred neighbourhood character and outline how new development should appropriately respond and contribute to the valued characteristics of the Shire's established residential areas.

The objectives of this project are to:

- Provide an assessment of current neighbourhood character conditions and conduct a review of relevant documents, including the current Neighbourhood Character Study and Precinct Guidelines from 2001 (amended in 2003).
- Undertake community and stakeholder consultation at various stages to better understand existing character values, inform preferred character outcomes and determine residential design guidelines for Nillumbik Shire.
- Undertake site visits to identify the attributes and boundaries of the identified neighbourhood character precinct areas.
- Finalise preferred character statements and residential design guidelines for all character areas.

The revised Neighbourhood Character Strategy and Design Guidelines will be implemented through an amendment to the Nillumbik Shire Planning Scheme, and will provide increased clarity regarding character identification and enhancement of valued attributes.



This project will be undertaken over the following stages:



1.2 Purpose of this Strategy

Purpose of this Strategy

This Neighbourhood Character Strategy provides, for each character area, a statement of preferred character and character attributes, threats to the character and design guidelines for future development of residential areas in Nillumbik Shire (as defined in Section 1.3).

This Neighbourhood Character Strategy will also provide recommendations for implementation and next steps (to be completed as part of the final stage of this project).

This Neighbourhood Character Strategy provides the following:

- · Definition of Neighbourhood Character
- · Outline of methodology
- · Overview of Policy and Statutory Context
- Overview of existing strategies and background information
- Summary of community consultation
- Identification and summary of the key issues and threats of character in Nillumbik Shire
- Proposed Precinct Profiles of each Neighbourhood Character Area, including:
 - Character Area description
 - Key Attributes
 - Preferred Character Statement
 - Character Objectives
 - Character Area Maps
 - Photos
 - Design Guidelines

Why is the current strategy being undertaken?

Council recognises that the existing Neighbourhood Character Study and Precinct Guidelines from 2001 (amended in 2003) are dated and a new Strategy is required, particularly to recognise developments in the over-arching policy framework.

This Neighbourhood Character Strategy will identify trends in new development that may have had an impact on existing character in the years since the original study was undertaken. The Strategy carefully considers character boundaries and identify residential areas that may require further protection in the Nillumbik Shire Planning Scheme. The identified character types and precincts will be used to develop preferred character objectives and design guidelines. Ultimately, a suite of planning controls will give effect to the preferred character statements and associated design guidelines, based on identified future character attributes and housing growth targets.

This Neighbourhood Character Strategy will be one of a series of documents, including a future Housing Strategy, that are required before preparing an overarching Residential Development Framework (RDF) for the Shire. An RDF will provide a means to balance the outputs of a Housing Strategy and Neighbourhood Character Strategy to holistically plan for housing change over a 15 year period; an obligation under State Planning Policy.

Ultimately, the Neighbourhood Character Strategy, Housing Strategy and Residential Development Framework will enable the Shire to meet future housing growth and demographic trends, while still ensuring new development reflects preferred character across the Shire.

1.3 Study Area

The study area for the Neighbourhood Character Strategy includes residential land in the following zones:

- · General Residential Zone (GRZ)
- Neighbourhood Residential Zone (NRZ)
- Mixed Use Zone (MUZ)
- Low Density Residential Zone (LDRZ)
- Township Zone (TZ)

Localities that are covered by the study area include:

- Diamond Creek
- Eltham
- Eltham North
- · Greensborough
- Hurstbridge
- North Warrandyte
- Panton Hill
- Plenty
- Research
- St Andrews
- Wattle Glen
- Yarrambat

Some localities are split across the Urban Growth Boundary and Green Wedge, including Wattle Glen, Panton Hill, St Andrews, Hurstbridge, North Warrandyte, Diamond Creek, Plenty, Research and Yarrambat. As noted above, only the residentially zoned land within these localities are included within the Strategy's study area.

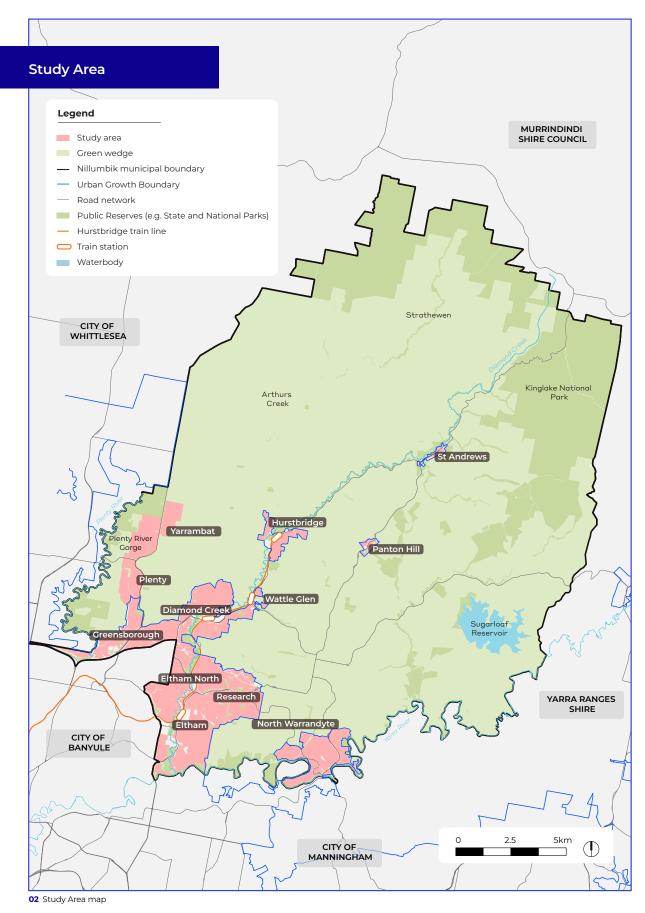
The majority of Nillumbik Shire's population is located in urbanised and rural township areas within the Urban Growth Boundary (UGB). These localities include: Greensborough, Diamond Creek, Wattle Glen, Hurstbridge, Panton Hill, Plenty, St Andrews, Eltham North, Eltham, Research and North Warrandyte. The remaining land is situated outside of the UGB in the Nillumbik Shire Green Wedge. The green wedge supports a range of land uses including conservation, rural residential, agriculture, and recreational uses. The Rural Conservation Zone (RCZ) supports development and uses of land which are consistent with the conservation of environmental, landscape and cultural values of the area.

The Hurstbridge Rail Line services stations at Diamond Creek, Eltham, Wattle Glen and Hurstbridge. Upgrades to the Hurstbridge Rail line are currently underway, and will duplicate the rail track between Diamond Creek and Wattle Glen, to allow for more frequent services. There are several bus networks throughout the existing urban area, however the extent of the bus network is limited. The Metropolitan Ring Road and proposed North East Link in the broader region will improve connectivity to other parts of Melbourne.

Topography is a significant feature across the municipality, ranging from gentle undulating slopes to very steep areas along creek and ridgelines. The topography enables distant views of ranges, valleys and metropolitan Melbourne. The Shire area is recognised as having high bushfire risk, due to the combination of vegetation, topography and climate.

Nillumbik Shire contains extensive areas of open space. These areas are concentrated along major rivers and creek systems. The Diamond Creek bisects several localities in the study area and the Plenty River forms part of the western boundary of the Shire. Both waterbodies provide strategic habitat links for flora and fauna. The Yarra River forms most of the southern boundary of the Shire and has a significant relationship with residential areas in North Warrandyte and Eltham South. There are also a number of shared trails that transect the municipality, including the Diamond Creek Trail and Aqueduct Trail.

Note: Major Activity Centres (MACs) are outside of the study area, as is any urban area which is not in a residential zone. This includes Precinct 2 (residential interface) of the Eltham MAC. For details regarding this area, see the *Eltham Major Activity Centre Structure Plan*, July 2020. In addition, further information regarding the Diamond Creek MAC can be found in the *Diamond Creek Major Activity Centre Structure Plan*, July 2020.



Historical Context

Local Indigenous History

For thousands of years, Nillumbik Shire has been inhabited by the Wurundjeri-willam clan of the Woi-wurrung speaking people, and this land remains their home and contributes to their cultural identity to this day. The Woiwurrung people are a part of the Kulin Nation, who are the traditional owners of the land surrounding the northern parts of Melbourne.

Nillumbik Shire is situated within the clan boundary of the Wurundjeri-willam. The Wurundjeri people call the region 'Nillumbik', which is known to mean the shallow earth. It was later used by the Europeans who settled in the area.

Post Contact History

Historically, the region was used for a combination of agriculture, gold mining and farming and the development of the infrastructure and catchments for Melbourne's water supply, parts of which are in the Shire (Maroondah Aqueduct and Sugarloaf Reservoir)¹. Examples of agricultural land uses included orchards in Arthur's Creek which served as one of Melbourne's first fruit suppliers. Gold was first discovered in the area in 1854, and was a draw-card for colonial settlers to establish in the region. Former gold rush localities include Panton Hill, Research, St Andrews and Diamond Creek².

Development Patterns

The pattern of residential development in Nillumbik Shire is centred around the Hurstbridge railway line. The rail line was extended from Eltham to Hurstbridge in 1912, to serve the local orchards in the region.

Urban areas have experienced significant residential intensification compared to the surrounding rural areas, which still accommodate conservation or agricultural uses in the green wedge. Large lots in urban areas that are in close proximity to train stations, and activity centres have been progressively subdivided and consolidated into smaller lots for conventional residential uses. Compared to urban areas, lot sizes in Nillumbik's Green Wedge are typically larger in keeping with the rural setting and are protected from inappropriate subdivision by the Green Wedge Zones. However, many small and constrained lots nevertheless exist in the Green Wedge as a result of historical subdivisions.



03 Land of the Wurundjeri-willam clan



04 Apple orchard farmers in the region



05 Diamond Creek today

¹https://www.nillumbik.vic.gov.au/Explore/About-the-Shire/Local-history

² https://www.nillumbik.vic.gov.au/Develop/Planning-for-Nillumbik's-future/Major-Activity-Centres/Eltham-Major-Activity-Centre

Nillumbik Shire Snapshot

- Nillumbik Shire has an area of 432 square kilometres and the southern boundary is approximately 17 kilometres north-east of Melbourne Central Business District (CBD).
- The current population is 65,219 persons, with a population density of around 151 persons per square kilometre.
- Detached dwellings are the predominant form of housing in Nillumbik Shire, comprising 93% of the total housing stock.
- The large open spaces and waterways provide habitats for native flora and fauna, and are highly valued natural assets to residents of both the local community and the wider metropolitan Melbourne area.
- There are substantial areas of State and National parkland within the Shire, particularly within its periphery, such as Kinglake National Park and One Tree Hill Reserve.
- The following attributes reflect residential development patterns in Nillumbik Shire:
 - The entire Nillumbik green wedge comprises
 91% of the total land area in the Shire and supports use of land for conservation, farmland and other appropriate non-urban uses.
 - The Urban Growth Boundary clearly delineates urban areas and rural townships from rural areas and the boundary has an interface with many localities in the study area.
 - Nillumbik Shire contains high levels of vegetation in the private and public realm. Additionally, residential and rural areas throughout Nillumbik Shire are situated within various and unique landscape settings. These landscape settings are typically characterised by dry forests and woodlands, wet and damp forests, cleared rural land, scattered trees, and waterways.



65,219 current residents *Population id Resident Population - 2020



8.3% (70,314) projected population growth between 2020 - 2036 *Victoria in Future 2019



4,200 projected dwellings required by 2036 *Victoria in Future 2019



17km north-east of Melbourne CBD



06 Dwelling within vegetated landscape - Eltham North

1.4 What is Neighbourhood Character?

The definition of neighbourhood character is drawn from Planning Practice Note 43 Understanding Neighbourhood Character, and has been adapted to reflect the local context of Nillumbik Shire.

Neighbourhood Character in Nillumbik Shire

Neighbourhood character is what visually differentiates a neighbourhood from another, and is the measure of a local identity. It encompasses the way a neighbourhood looks and feels. It is created by a combination of landscape, vegetation, the built environment, history and culture, and how they interact.

Local character is distinctive. It influences the sense of belonging a person feels to that place, the way people respond to ambience, how it influences their mood, their emotional response, and the stories that come out of their relationship with that place.

Neighbourhood character contains many different facets. It is important to understand character in a holistic way, which involves examining the relationship between people and the social, environmental and economic characteristics of place. Local character should guide how to manage a changing urban environment so that any changes are sympathetic to the valued characteristics and ultimately shape a preferred character for an area in the future. Neighbourhood character is underpinned by the following core concepts:

- Character is a combination of the public and private realms and how they relate to one another.
- Every property, public place or piece of infrastructure makes a contribution, whether great or small.
- It is the cumulative impact of all these contributions that establishes neighbourhood character.
- The key to understanding character is being able to describe how the features of an area come together to give that area its own particular character.
- All areas have a character in the same way that all people have a personality. In some areas the character may be more obvious, more unusual, or more attractive, but no area can be described as having no character.
- The understanding of the key components of neighbourhood character ultimately informs the definition of statements of preferred character for the future.



07 Mudbrick dwelling within heavily vegetated landscape - Eltham

For Nillumbik Shire's residential areas, the key attributes that have been examined in order to evaluate neighbourhood character are drawn from Planning Practice Note 43 (PPN43), and include:

- Built Form
- Setbacks and Siting
- Fencing
- Gardens
- Nature Strips
- Footpaths
- · Viewlines and Topography
- Road Network

Neighbourhood character and amenity

Amenity concerns aspects such as pleasantness, ambience and liveability of an area. Neighbourhood character is about sense of place and community value. Regardless of the character of an area there are standards of residential amenity that apply to all residential development.

These basic amenity standards include overlooking, overshadowing and solar access. Sometimes, these amenity standards can have an effect on neighbourhood character, but as a general principle, neighbourhood character and amenity should be treated separately.

Neighbourhood character and heritage

In defining neighbourhood character, it is important to understand the differences between neighbourhood character and places of heritage significance that are generally recognised in the planning scheme.

While all areas have a history, not all areas are of heritage significance. Heritage significance is determined by recognised criteria set by Commonwealth, State and local agencies, with reference to the Burra Charter. In Victoria, heritage places and areas are recognised by application of the Heritage Overlay in planning schemes or inclusion on the Victorian Heritage Register. Cultural heritage is largely embodied in the underlying values and the broader physical context of a building or place. It is important to manage and retain this fabric and setting to retain the cultural significance of a place. Heritage significance can't be improved, but the fabric of a place can be improved, restored or reinterpreted.

In many areas building style is important to setting the character of the area. This includes not just typical form and massing, but may also include architectural details, materials and colours. Buildings do not need to be old or historically significant to have a character that is important to people's understanding and enjoyment of an area.

* It should also be noted that issues related to traffic, onstreet parking, traffic connectivity and the movements of cars are not relevant to the assessment of neighbourhood character as defined in Planning Practice 43 Understanding Neighbourhood Character.



08 Rural residential dwelling - Yarrambat

1.5 Methodology

Desktop Analysis & Background Review

The desktop analysis produced character area boundaries and enabled a general understanding of the study area. The previous study (2003) was referred to in determining character area boundaries. The desktop analysis included all land within the General Residential Zone (GRZ), Neighbourhood Residential Zone (NRZ), Low Density Residential Zone (LDRZ), Mixed Use Zone (MUZ) and Township Zone (TZ).

Site Survey

Meetings were held with Council's planners to discuss existing issues, areas of concerns and threats to character. A street by street site survey was conducted to ground truth the preliminary neighbourhood character areas, which resulted in further refinement of boundaries.

The methodology for the site survey included:

- A review of the previous neighbourhood character area boundaries.
- A site survey to verify desktop analysis of preliminary character areas.
- An assessment of areas based on the general attributes of private and public realms: built form and layout of the different areas; overall streetscape qualities; vegetation and landscape quality and the era of development.
- Photos for each area and character type.
- Identification of the characteristics and neighbourhood character impacts of new and infill development.
- Identification of more specific character precincts within each character type.

Engagement

Championing the strategy - Engagement 1

The first stage of engagement was conducted in late March to early May 2022 (6 weeks). The purpose of this engagement was to determine the key values held by the community about their local neighbourhoods.

This initial stage primarily sought to inform the community about the project, educate the community about neighbourhood character, the Strategy and the process, as well as hear what the community had to say. Various engagement methods included:

- A Virtual walking tour video;
- Webpage with FAQ function;
- Council Community Advisory Committee meetings x 4 (Environment and Sustainability, Inclusion an Access, Positive Ageing, Youth Council).
- Email and written submissions;
- Online and hard copy survey;
- Information in Nillumbik Shire News/e-News and other relevant Council newsletters;
- Regular social media posts on Council's social media platforms as well as paid social media advertisements;
- Place-based pop-ups x 3 (Hurstbridge, Diamond Creek, Eltham).

Consultation on the Draft Neighbourhood Character Strategy - Engagement 2

The second stage of engagement is scheduled to be conducted from late August to early October 2022. The purpose of the stage is to seek feedback on this Strategy and test findings of previous engagement with the community. This stage is expected to include a variety of engagement activities, such as different types of information sessions, on-line and hard copy survey, an updated Participate Nillumbik page as the online consultation platform, including use of an interactive mapping tool.

Close the loop - Engagement 3

The third stage of engagement will be conducted in early-mid 2023. The purpose of this stage is to ensure all community feedback relevant to the draft strategy has been captured.

Neighbourhood Character Strategy

Following the first stage of consultation, the Draft Neighbourhood Character Strategy has been prepared, and reflects the findings of the Background Report and the site survey as well as values identified by the community and Council (This will be the subject of the stage 2 community consultation).

The Strategy will then be finalised to reflect the findings of the second and third stages of community consultation.

2.0 Planning Context

2.1 Planning Policy Framework

Overview

This section provides an outline of the Planning Policy Framework (PPF) for Nillumbik Shire and outlines the implications for the Neighbourhood Character Strategy.

The PPF seeks to guide future development within Nillumbik Shire, including specific policies relating to built form, vegetation and neighbourhood character.

Local planning policies, contain specific neighbourhood character objectives, strategies and design guidelines that give statutory effect to the findings of the previous Neighbourhood Character Study and Design Guidelines.

This new Neighbourhood Character Strategy will synthesise the existing policy context, ensuring that preferred character objectives and design guidelines are appropriate and align with both State and Local planning directives.



09 Dwelling within heavily vegetated landscape - Eltham

16 Draft Nillumbik Shire Neighbourhood Character Strategy

Planning Policy Framework

The Planning Policy Framework (PPF) provides context for planning decision making. Planning objectives are fostered through appropriate land use and development policies and practices, which integrate relevant environmental, social and economic factors.

The PPF recognises the importance of neighbourhood character and contextual design. It states that neighbourhood character should be protected and recognised.

The PPF includes both Victorian Planning Provisions (VPPs) and Local Planning Provisions (LPPs) which provide general objectives and specific local directions respectively.

The VPPs relevant to this Strategy include:

- 11.01-1S Settlement: Seeks to deliver housing that facilitates access to jobs, services, infrastructure and community facilities. A key component of this Clause is to promote and capitalise on opportunities for urban renewal and infill redevelopment. New residential development should be planned around existing or future activity centres to maximise accessibility to facilities and services.
- **12.01-2S Native Vegetation Management:** Seeks to ensure that native vegetation is not unnecessarily removed or destroyed.
- 12.05-25 Landscapes: Seeks to protect and enhance significant landscapes and open spaces that contribute to character, identity and sustainable environments.
- 13.02-1S Bushfire Planning: Seeks to strengthen the resilience of human settlements and communities. Importantly, this policy outlines the need to give priority to the protection of human life over all other policy considerations.
- **15.01-IS Urban Design:** Seeks to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity. Design responses should respond to local contextual features including, character, cultural identity, natural features, surrounding landscape and climate.

 16.01-1S Housing Supply: Seeks to provide well-located, integrated and diverse housing that meets community needs. Design responses for new housing in established urban areas should focus on providing higher density housing development on sites that are proximal to jobs, services and public transport.

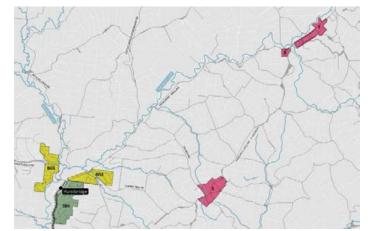
Further objectives, strategies and guidelines that are specific to the Nillumbik Shire are included within LPPs. Those that are of most relevance to this Strategy include:

- 11.01-1L-01 Settlement in Nillumbik Shire: Includes strategies that aim to contain residential use and development within existing urban areas, townships and low density residential areas.
- 12.05-2L Rural Landscapes in Nillumbik Shire: Encourages uses, buildings and works to maintain or enhance the landscape character of the locality, including significant views.
- 13.02-1L Bushfire Management in Nillumbik Shire: Applies to land affected by the Bushfire Management Overlay or located in a Bushfire Prone Area, and limits sensitive uses such as dwellings. The Clause also ensures that building siting and landscaping is designed to minimise fire risk.
- 15.01-2L-01 Building Design in Nillumbik Shire: Includes strategies to maintain township entrances, encourage accessibility in building design and to encourage muted tones and alternative building materials in developments.
- 15.01-2L-02 Medium Density Housing Design: Applies to land in the General Residential and Neighbourhood Residential Zones and encourages development that is designed to enhance amenity, environmental significance and heritage places.

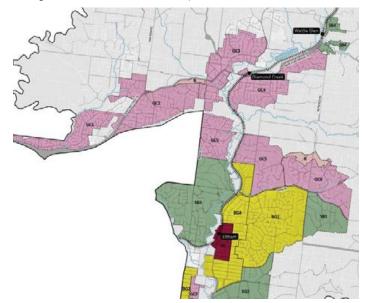
- 15.01-5L Neighbourhood Character Nillumbik Shire: Provides a localised approach to implementing neighbourhood character objectives in Nillumbik Shire, as identified in 'The Neighbourhood Character Study: Residential Design Guidelines 2001 (Planisphere and John Curtis Pty Ltd, amended 2003)'. Precinct objectives, strategies and guidelines apply to residentially zoned land (except for the Mixed Use Zone), across the following character area types:
 - Garden Court (precincts 1 6)
 - Bush Garden (precincts 1 4)
 - Semi Bush (precincts 1 -4)
 - Bush
 - Eltham Central
 - Rural
 - Settlement

This policy for residential development seeks to respect the existing character of a precinct area. In addition to meeting precinct-specific guidelines, there are objectives and strategies that apply to all precincts. These are in accordance with the Nillumbik Shire Residential Design Guidelines, and account for various elements of the private and public realms, including vegetation retention and landscaping, topography, building siting, and height and building form.

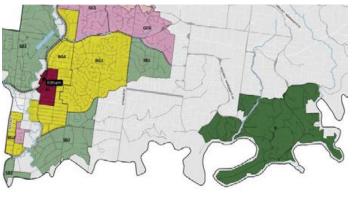
As identified in, 'The Neighbourhood Character Study: Residential Design Guidelines 2001 (Planisphere and John Curtis Pty Ltd, amended 2003)', the Existing Neighbourhood Character Precinct maps and precinct objects are identified at Figures 10-12 and Table 2.



10 Neighbourhood Character Precincts - Map 1



11 Neighbourhood Character Precincts - Map 2



12 Neighbourhood Character Precincts - Map 3

18 Draft Nillumbik Shire Neighbourhood Character Strategy

Note*: Figures 10-12 are an extract from the existing Neighbourhood Character Study, 2001: Residential Design Guidelines, and depict the spatial boundaries of Nillumbik Shire's Neighbourhood Character Precincts.

Legend		⊕ NOT TO SCALE
	Road Network	
	Creeks	
++++	Railway Line and Stations	
Character F	Precincts	
	Bush (B)	
	Semi-Bush (SB)	
	Bush Garden (BG)	
	Rural (R)	
	Garden Court (GC)	
	Eltham Central (EC)	
	Settlement (S)	

Neighbourhood Character Precincts 2001 (amended 2003)

Table 2 outlines the existing Neighbourhood Character Precincts of Nillumbik Shire identified in The Neighbourhood Character Study: Residential Design Guidelines 2001 (Planisphere and John Curtis Pty Ltd, amended 2003). and details the objectives associate with each.

Precincts	Localities	Precinct Objectives
Garden Court Precinct	 Greensborough Diamond Creek Eltham Eltham North Research Plenty 	 To maintain the dominance of the landform and surrounding vegetation. To maintain the existing mix of native and non-native vegetation including canopy trees and understorey.
Bush Garden Precinct	• Eltham	 To maintain the dominance of indigenous vegetation where development is sited to minimise disruption to the precinct's rolling and hilly topography. To maintain the significant native and indigenous tree canopy.
Semi Bush Precinct	 Hurstbridge Wattle Glen Research Eltham North 	 To maintain the appearance of development that is partly obscured from view by the topography or tree canopy. To maintain the precinct's rolling and hilly topography and its bushy vegetation character with significant indigenous or native canopy trees.
Bush Precinct	• North Warrandyte	 To maintain the appearance of development that is sited and designed to form part of the continuous bushland that characterises the area. To maintain significant indigenous vegetation with substantial trees and the precinct's rolling topography that slopes down to the Yarra River.
Eltham Central Precinct	• Eltham	 To maintain the dominance of canopy trees and the existing mix of native and non-native vegetation, including the understorey.
Rural Precinct	ResearchDiamond Creek	• To maintain the dominance of the rural landscape and its flat to rolling topography.
Settlement Precinct	Panton HillsSt Andrews	 To maintain the dominance of the flat to hilly landform and vegetation where buildings are sited and coloured to blend into the landscape. To maintain a bushy, rural feel, with significant indigenous canopy that is almost closed in parts.

 Table 2 – Nillumbik Shire Neighbourhood Character Precincts

2.2 Zones and Overlays

Overview

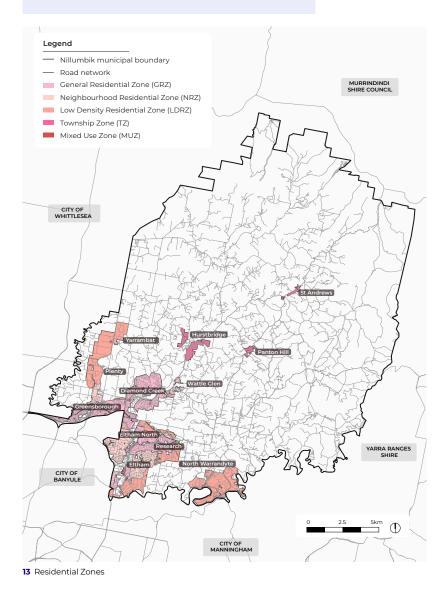
This section provides an outline of the zones and overlays that affect Nillumbik Shire and outlines the associated implications for the Neighbourhood Character Strategy.

Local variations to zone schedules and overlays provide existing controls to guide appropriate built form outcomes, retain existing vegetation and enhance significant landscapes.

Planning Scheme Zones

Residential Zones

- General Residential Zone (GRZ)
- Neighbourhood Residential Zone (NRZ)
- Mixed Use Zone (MUZ)
- Low Density Residential Zone (LDRZ)
- Township Zone (TZ)



Planning Scheme Zones

Residential Zones

General Residential Zone (GRZ)

The GRZ applies to Diamond Creek, Eltham, Research and Greensborough.

The purpose of the GRZ is "to encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport".

The GRZ allows for building heights of up to 11 metres and must not exceed 3 storeys at any point.

Neighbourhood Residential Zone (NRZ)

The NRZ applies to pockets of residential development in Diamond Creek, Eltham, Wattle Glen, Plenty and Research.

The purpose of the NRZ is to "recognise areas of predominantly single and double storey residential development".

The NRZ allows for building heights of up to 9 metres and must not exceed 2 storeys at any point. The zone schedule does not specify local controls for Nillumbik Shire.

Low Density Residential Zone (LDRZ)

The LDRZ applies to residential land in Research, Diamond Creek, North Warrandyte, Eltham, Plenty and Yarrambat.

The purpose of the LDRZ is to provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.

The LDRZ does not regulate building heights.

Township Zone (TZ)

The TZ applies to land in Hurstbridge, Panton Hill and St Andrews.

The purpose of the TZ is to "provide for residential development and a range of commercial, industrial and other uses in small towns".

The TZ allows for building heights that comply with the requirements set out in Clause 54 and Clause 55. The zone schedule does not specify local controls.

Mixed Use Zone (MUZ)

The MUZ applies to portion of land in Eltham along Main Road.

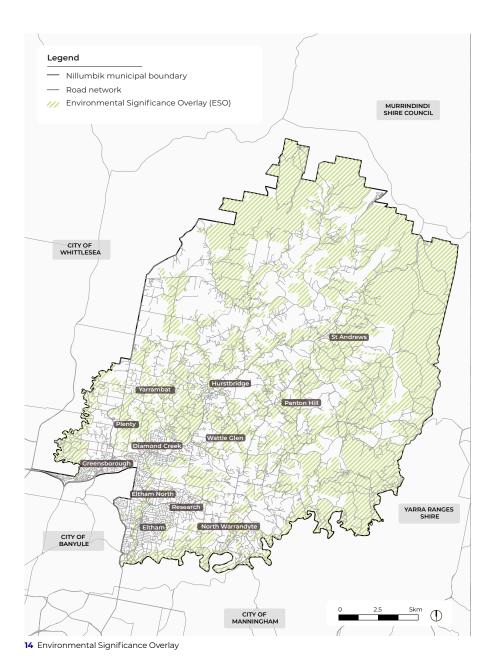
The purpose of the MUZ is to "provide for a range of residential, commercial, industrial and other uses which complement the mixed-use function of the locality".

The MUZ does not regulate building heights.

Planning Scheme Overlays

Land Management Overlays

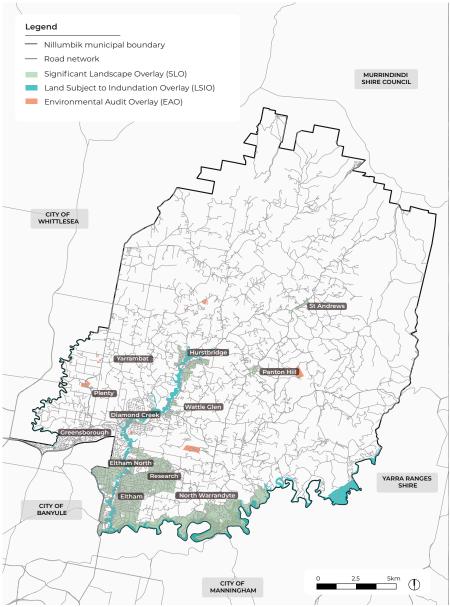
• Environmental Significance Overlay (ESO): Identifies areas where the development of land may be affected by environmental constraints and ensures that development is compatible with identified environmental values.



Planning Scheme Overlays

Land Management Overlays

- Significant Landscape Overlay (SLO): Identifies significant landscapes and seeks to conserve and enhance their character.
- Land Subject to Inundation Overlay (LSIO): Identifies flood prone areas and requires development to maintain the free passage of flowing flood water.
- Environment Audit Overlay (EAO): Ensures that potentially contaminated land is suitable for a use which could be significantly adversely affected by any contamination.



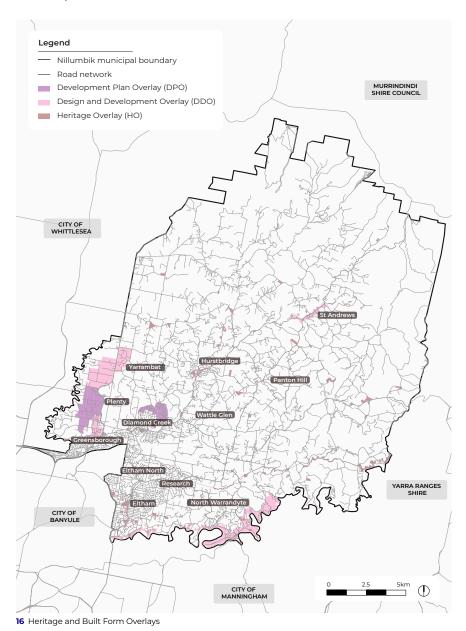
15 Land Management Overlays

•

Planning Scheme Overlays

Heritage and Built Form Overlays

- Heritage Overlay (HO): Seeks to conserve and enhance heritage places of natural or cultural significance.
- Design and Development Overlay (DDO): Identifies areas which are affected by specific requirements relating to the design and built form of new development.
- **Development Plan Overlay (DPO):** Requires the preparation of a development plan for the purposes of identifying areas which require the form and conditions of future use and development to be illustrated and outlined in an associated plan before the use or development can be permitted.



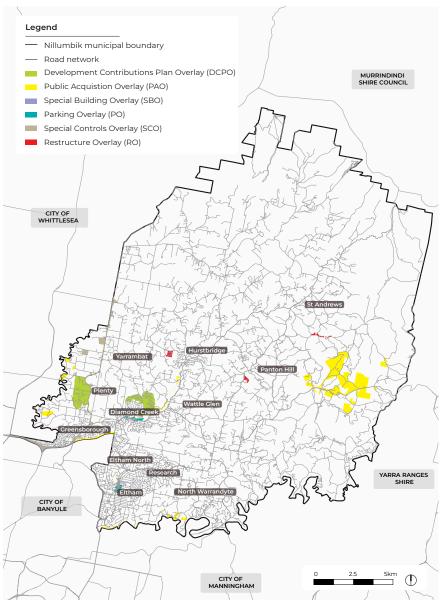
Planning Scheme Overlays

Other Overlays

- Public Acquisition Overlay (PAO): Identifies land which is proposed to be acquired by a Minister, public authority or municipal council.
- Development Contributions Plan Overlay (DCPO): Identifies areas which require the preparation of a development contributions plan for the purpose of

levying contributions for the provision of works, services and facilities before development can commence.

 Special Building Overlay (SBO): Identifies land in urban areas liable to inundation by overland flows from the urban drainage system as determined by, or in consultation with, the floodplain management authority.



17 Other Overlays

2.3 Neighbourhood Character Policy

Key Changes to Neighbourhood Character

The framework for assessing neighbourhood character, as set out by the Department of Environment, Land, Water and Planning (DELWP) continues to evolve. This influences the way neighbourhood character is assessed and implemented into Victorian planning schemes. Since the Neighbourhood Character Study and Precinct Guidelines for Nillumbik Shire was implemented in 2001 (amended in 2003), there have been several changes to local and state government policy.

The key changes affecting neighbourhood character, consist of a new methodology for assessing neighbourhood character, updates to the statutory framework and the assessment of neighbourhood character through ResCode.

Neighbourhood Character Assessment

The definition and assessment of neighbourhood character has been updated in Planning Practice Note 43. A qualitative assessment is used to assist with identifying features and characteristics of the neighbourhood character of an area. The assessment takes into account elements of the public and private realms which has informed the assessment of the existing neighbourhood character, as well as the development of preferred character statements and design guidelines in Section 5 of this Strategy.

Updates to Victorian Planning Provisions

In 2013, Amendment V8 introduced new residential zones into the Victorian Planning Provisions. The new zones support a range of housing densities and cater to changing needs of households and allow for local variations to residential development in the form of residential zone schedules to protect local neighbourhood character.

Planning Practice Note 90 highlights the interrelationship between a Housing Strategy and Neighbourhood Character Strategy. It introduced the concepts of minimal, incremental and substantial change areas, when planning for housing change. The identification of character types and precincts in this Neighbourhood Character Strategy will also inform and guide the location of likely housing change areas.

Assessment of Neighbourhood Character through ResCode

The operation of assessment provisions in ResCode are currently undergoing a process of reform under the State Government. Clauses 54 and 55 provide Council with a template to assess applications for residential development that require a planning permit. Updates to ResCode include the introduction of a new standard for assessing neighbourhood character.

Proposed ResCode Reforms

The Department of Environment, Land, Water and Planning (DELWP) have recently consulted with stakeholders including councils in relation to the improvement and performance of the existing ResCode assessment at Clause 54 and Clause 55 of the Victorian Planning Provisions.

Key changes include the introduction of a Performance Assessment Module (PAM) which features the components outlined in Figure 12. Notably, providing a head of power for zone schedules to specify performance measures for Neighbourhood Character (A1 & B1) and Detailed Design (A19 & B31) is proposed. It is not yet clear or been determined how performance measures should be written for these standards.

ResCode standard		Proposed PAM
	Now expressed as the outcome sought.	
OBJECTIVE	1	Performance Objective
STANDARD	Now expressed as a design response that is deemed to achieve Performance Objective.	
QUANTITATIVE STANDARD		Performance Measure
QUALITATIVE STANDARD	Now expressed as the specific matters that will be considered in assessing if the performance objective has been achieved.	
DECISION GUIDELINES	[Performance Criteria
CONSIDERATION	Specifies all the information required to inform the ossessment decision.	
INFORMATION REQUIREMENTS		Information Required

18 Proposed ResCode Changes (DELWP, 2021)

Planning Practice Notes

This section summarises the relevant Planning Practice Notes (PPN). The PPNs define what is meant by neighbourhood character and inform the neighbourhood character methodology outlined in Section 7 of this Strategy.

Practice Note 43 - Understanding Neighbourhood Character (DELWP, 2018)

Planning Practice Note 43 provides guidance for applicants, the community and councils about:

- Understanding what is meant by neighbourhood character; and
- Preparing or assessing a permit application for a residential development.

The PPN43 details the key attributes that cumulatively contribute to character. Importantly, PPN43 establishes that neighbourhood character is considered to be the cumulative impact of attributes in both the public and private realms. It is the relationship between these attributes, and how they physically appear on the ground, that is the most important consideration for neighbourhood character.

Practice Note 90 – Planning for Housing (DELWP, 2019)

Planning Practice Note 90 provides information and guidance about how to plan for housing growth and protect neighbourhood character.

Key points relevant to this Strategy include:

 Respecting character does not mean preventing change. In simple terms, respect for the character of a neighbourhood means that development should be designed in response to its context.

This Strategy will identify qualities of the public and private realm that contribute to neighbourhood character in Nillumbik Shire.

Practice Note 91 – Using Residential Zones (DELWP, 2019)

Planning Practice Note 91 provides information and guidance about the use of residential zones in addition to the local policies and overlays to implement strategic work and how best to make use of the key features of the residential zones.

Key points relevant to this Strategy include:

Rather than specifying preferred neighbourhood character statements in local planning policy, objectives can be specified in a schedule to a residential zone to implement the preferred neighbourhood character.

Key findings of this Strategy will consider how the existing zone schedules can be better utilised to protect and enhance neighbourhood character in Nillumbik Shire.



19 Residential streetscape - Diamond Creek

2.4 Strategic Documents

Key Findings

A review of relevant policies and strategies has been undertaken. Notably, the purpose and scope of this Neighbourhood Character Strategy limits its ability to be used to implement the Climate Action Plan. Findings from this review relevant to neighbourhood character and future development opportunities within Nillumbik Shire have been grouped by theme.

Reviewed Documents

State/Regional

- Plan Melbourne 2050 (2017)
- Draft Northern Metro Land Use Framework Plan
 (2021)

Municipal

- Neighbourhood Character Study: Residential Design Guidelines, 2001 (Planisphere and John Curtis Pty Ltd, amended 2003)
- Nillumbik Green Wedge Management Plan (2019)
- · Nillumbik Shire Council Plan (2021)
- · Nillumbik Community Vision (2021)
- Nillumbik Community Engagement Policy Our People, Our Place, Our Future (2021)
- · Nillumbik Climate Action Plan (2022)

Local

- Diamond Creek Major Activity Centre Structure Plan
 (2020)
- Eltham Major Activity Centre Structure Plan (2020)

Housing

- Typically some localities in the south of Nillumbik Shire that are within the Urban Growth Boundary have the greatest amount of housing capacity, which is mostly designated infill development.
- There is a need to accommodate an increasingly ageing population and a trend for fewer people in each dwelling in Nillumbik Shire. Accommodating housing growth expectations is a challenge for Nillumbik Shire considering the constraints of the Shire, including topography, rising bushfire risk, environmental attributes, extensive areas of Green Wedge etc.
- 28 Draft Nillumbik Shire Neighbourhood Character Strategy

- The provision of medium density dwellings, at variety of price points, can help promote affordable housing and housing diversity.
- A significant portion of land in Nillumbik Shire is designated green wedge which has and will continue to have limited capacity for housing growth. This land is outside of the study area of this strategy.
- Housing growth is expected in areas with high amenity and service provision such as the Diamond Creek and Eltham Major Activity Centres that have good access and have the capacity to support a range of future land uses.

Vegetation and Landscaping

- Nillumbik Shire's current tree canopy is extensive and the distribution of species varies across the Shire. In some areas there is extensive coverage of indigenous canopy vegetation, whilst other areas feature a broader mix of indigenous, native and non-native trees. Tree canopy forms part of heavily vegetated surrounding landscapes and residential lots, as well as formal gardens, informally planted gardens and low-level gardens.
- The extensive coverage of canopy trees across Nillumbik Shire is highly valued by the community, and the retention and restoration of canopy trees is considered to be a high priority objective.

Community Values

In reference to the Nillumbik Shire Community Engagement Policy (2021), the top three community values identified for housing are; the protection of local history and heritage; eco-friendly design; and ageing in place.

- The community are concerned about locating new urban development in areas exposed to natural and urban hazards. The community identify bushfire risk as a key constraint in Nillumbik Shire.
- The community desire greater investment in eco-friendly design to adapt to the impacts of climate change. There is strong support for environmentally sustainable design (ESD) to minimise climate change impacts.
- Access to services and public transport infrastructure is a priority for residents in Nillumbik Shire.

3.0 Engagement

3.1 Previous Engagement

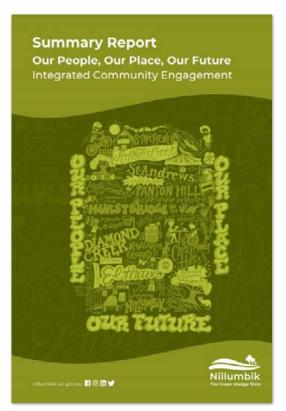
Our People, Our Place, Our Future

Nillumbik Shire consulted with local residents in March 2021, to capture their views and priorities on a range of issues that will inform the development of future strategic planning work. Council utilised a variety of platforms to engage with a diverse cross-section of the community, reaching over 2,000 people.

Key findings of the consultation related to:

- Inclusion, health, employment and resilience
- Environments, housing, open space and sustainability
- Future values

Findings of most significance to this Neighbourhood Character Strategy are outlined in this section.



20 Nillumbik Shire Council - Our People, Our Place, Our Future



In relation to housing, the top three issues identified by residents include the protection of local history and heritage, eco-friendly design and ageing in place.

Residents value heritage assets in the community and wish to maximise the heritage values of such places. Residents acknowledge the impacts of climate change and identify opportunities for mitigating the effects of climate change through eco-friendly design. Residents also raised concern towards the lack of diverse housing choices to support ageing in place.

Council also sought input on the future design of residential development in Nillumbik Shire. Overdevelopment was cited as a concern for residents in Nillumbik Shire. Residents value the Green Wedge in Nillumbik Shire and support appropriate and responsible housing development in Nillumbik Shire's urban areas. Other considerations for housing include the delivery of housing in locations that are close to public transport, and the provision of affordable housing.



Quotes from the Nillumbik Shire Community (Our People, Our Place, Our Future)



OPEN SPACE & SUSTAINABILITY

Engagement identified that public open spaces play a critical role in local communities. While these spaces are not within the scope of this Strategy it is useful to note that the findings emphasised the importance that the community places on open spaces and vegetation and its contribution to the urban setting.

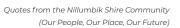
The existing, high coverage of canopy trees across the Shire is of particular importance to the community. Residential allotments contribute significantly to the Shire's canopy coverage and the continued retention and restoration of canopy trees will be crucial to enhancing neighbourhood character in Nillumbik Shire.

This Neighbourhood Character Strategy will support the retention and enhancement of the Shire's vegetated setting, contributing to the preservation of one of the community's most valued assets.

"The very special Green Wedge environment we are privileged to live in and which can never be replaced." - Community Workshop Participant

"Trees, trees and more trees"

- Community Pop-up Participant





21 Local residents at Council-led consultation pop-up

3.2 Summary of Engagement: Phase 1

Championing the Strategy - Engagement 1

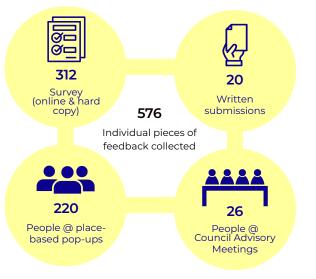
This section provides a summary of Phase 1 community engagement process, 'Championing the Strategy'. This first phase of engagement was open to the community for 6 weeks, from the 28th of March to the 8th of May 2022.

The purpose of this phase was to understand the key values held by the Nillumbik Shire community about their local neighbourhoods, and to educate the community about the role of neighbourhood character, the Strategy and the strategic process.

Activities and materials were designed and delivered by Council and Chatterbox Projects in collaboration with Ethos Urban, and included:

- · A Virtual walking tour video;
- Webpage with FAQ function;
- Council Community Advisory Committee meetings x 4 (Environment and Sustainability, Inclusion an Access, Positive Ageing, Youth Council).
- · Email and written submissions;
- · Online and hard copy survey;
- Information in Nillumbik Shire News/e-News and other relevant Council newsletters;
- Regular social media posts on Council's social media platforms as well as paid social media advertisements;
- Posters and postcards placed at libraries, Council's customer service areas, schools and other community
- Facilities and high-traffic local destinations (e.g. post offices and shops);
- · Direct notification to relevant community groups;
- Promotion on community newsletters, such as school newsletters; and
- Place-based pop-ups x 3 (Hurstbridge, Diamond Creek, Eltham).

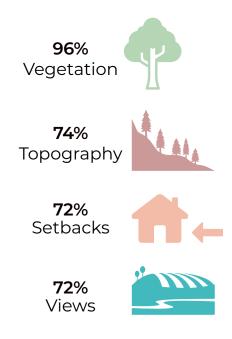
Note: For further detail, refer to the Nillumbik Shire Neighbourhood Character Strategy Stage 1 Consultation Findings Report.



Key Findings

When looking at community feedback about neighbourhood character across the whole of Nillumbik Shire, some clear themes emerged.

What character attribute do you value most in your neighbourhood?



Other strong themes that emerged relating to character attributes that the community value the most across Nillumbik Shire included:

- · larger blocks and a sense of openness or open spaces;
- · low density and low heights;
- heritage, historical, older look and feel of buildings and houses;
- use of natural materials so dwellings blend into the natural environment; and
- rural, country, township, village feel.

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- " Love the green wedge less infill and more room for wildlife."
- " A village feeling"
- "No high rises keep it green"
- "Love our views"
- "No front fences"



Quotes from the Nillumbik Shire Community (Neighbourhood Character Strategy Stage 1 Consultation Findings Report).



22 Hurstbridge place-based pop-up

Locality Summaries

The following table provides an overview of the feedback received for each locality. It highlights what the community like and value about these neighbourhoods/areas, and also includes their suggestions for how development should be designed to enhance and improve neighbourhood character.

vegetation, trees, canopy trees the views topography (hills and waterways) larger setbacks and blocks low heights older and diverse housing types (including mud brick) use of natural building materials rural style paths/ roads rural, country, township feel		protect trees, canopy trees, corridors and vegetation new developments to include new vegetation and gardens development to respect current architecture/ green leafy character integrate homes into the landscape and use natural materials retain low or no fencing minimise subdivisions
	•	keep larger blocks and setbacks prioritise low rise/ single storey and low density
vegetation, trees, habitat topography larger setbacks and blocks mix of landscapes – rural, village, grazing, equine and open space the views (tree canopy) low heights and single dwellings historical/ heritage buildings use of natural materials (mud brick, wood) minimal fencing informal paths rural, country, township feel	· · ·	protect trees, canopy trees new developments to be respectful of existing small town feel retain low density, low heights, large blocks, rural hobby farms and grazing land preserve heritage features limit subdivisions use natural materials
vegetation, trees, canopy trees topography (hills) larger setbacks and blocks the views low heights and single dwellings older and diverse housing types (including mud brick, wood, stone) use of natural building materials minimal fencing rural, country, township feel	•	protect trees, canopy trees, large gardens and habitat new developments to include new vegetation and trees integrate development into surrounding landscape limit subdivisions keep larger blocks and setbacks prioritise low rise/ single storey and low density

e 5 – Locality consultation summaries

Diamond Creek	 vegetation, trees the views topography larger setbacks and blocks large spaces/ open space low heights older homes rural, country, village feel 	 protect trees and vegetation new developments to include new vegetation retain old homes minimise subdivisions keep larger blocks and setbacks prioritise low rise/ single storey
Wattle Glen	 vegetation, green wedge, trees, bushland the views topography larger setbacks and blocks lower heights (not built up) rural, country feel 	 protect trees keep larger blocks, setbacks and lower heights development to integrate with rural/ rustic character improve roads/ paths
North Warrandyte	 vegetation, natural bushland, the views (trees/ bush) topography (hills/ waterway) low density low height minimal development larger setbacks and natural bushy blocks open space rural, country, village feel 	 protect trees, bush and vegetation new developments to be small scale low rise set back and use natural materials
Panton Hill	 vegetation, trees, green wedge topography larger blocks historical character (gold rush/ fires) views mix of land uses – grazing, equine, rural rural, country feel 	 retain hobby farms and grazing land allow some mix of housing types improve paths/ trails

Table 5 – Locality consultation summaries

Research	 trees, large trees, bush setting, large gardens with wildlife topography (hills/mountains) larger setbacks and natural bushy blocks variety of areas like farmland, rural, grazing, wineries use of natural building materials no formal/ unsealed roads rural, country feel 	 retain and increase trees, bush, vegetation, gardens retain current setbacks, form and development to respect current building height/size prevent on-street parking
Plenty	 vegetation, the Gorge natural areas open spaces large blocks views topography (hills) setbacks rural, township, country feel 	 retain trees, native vegetation increase vegetation cover retain rural character limit subdivision/ heights, retain setbacks and open spaces improve walkways and paths
St Andrews	 natural bushland large bush blocks mix of uses – paddocks, working farms, residences views topography informal unsealed roads rural, country feel 	 protect green wedge protect wildlife no subdivisions small scale only use natural materials improve roads
Yarrambat	 trees, hobby farms, bush native front gardens views, topography large blocks and setback low density rural, country feel 	 maintain gum trees, tree canopy diversity of housing large block sizes
Greensborough	vegetation, trees, gardensopen spacesthe views and street layout	Limit new development and heights

Table 5 – Locality consultation summaries

4.1 Overview

In order to inform appropriate future planning provisions for this Neighbourhood Character Strategy (as part of future strategic work), the key character issues applicable to the study area need to be considered.

These threats are summarised below based on the survey findings of the project team, initial consultation with the community and working groups with Council's planning officers.

The following themes have been identified as the key issues and threats:

- Poor Quality Contemporary Infill
- Removal of Vegetation & Landscaping
- Subdivision of Larger Lots
- Retirement Villages, Aged Care, Medical & Other Services
- Dominant Fencing Styles
- Siting & Scale
- Car Access & Storage
- Colours & Materials
- Viewlines
- Bushfire Management

The following section provides an overview of each of these issues and threats and identifies areas and locations which are affected by these themes.



4.2 Contemporary Infill

Contemporary infill buildings are prominent across much of Nillumbik Shire. These new developments, which feature architectural styles and material palettes that can contrast with existing housing stock, have contributed to a change in character across the study area. In Nillumbik Shire, this type of development has typically occurred in the form of:

- replacement houses
- additional dwellings or extensions located at the rear of existing lots
- redevelopment of sites to accommodate larger residential developments
- · duplex or side-by-side housing typologies

The quality of design of infill buildings is varied. Some are respectful of the existing and valued character of a precinct, while others fail to reflect their location and comprise features that disregard the character of existing areas. Issues associated with contemporary infill include:

- Reduced setbacks
- Reduced building separation
- Vegetation clearing to enable larger scale development
- Loss of remnant native vegetation/canopy trees
- Lowered instances of tree retention
- Minimal provision of space for deep soil planting and canopy trees
- Demolition of existing low density, detached dwellings for larger-scale development
- Change in materiality use of more contemporary materials (concrete, render, etc)

Given the existing planning context, there are examples of newer developments in Greensborough, Eltham and Diamond Creek that are visually bulky, have high site coverage, provide small front and side setbacks, have minimal canopy tree retention (especially native vegetation) and provide limited space for deep soil planting. The introduction of a prominent architectural element, building form or material not commonly found in the area can incrementally diminish the valued character of the neighbourhood.

The concept of character does not seek to prevent infill development from occurring; rather it aims to ensure that new buildings reflect their location and respect the surrounding built form in a contemporary way. A contemporary development could successfully respond to its location by reflecting the form and siting of surrounding dwellings.

Analysis Overview

	 As Nillumbik Shire is characterised by undulating topography and steep slopes, all localities (particularly in some areas in the south) are seeing new volume builds which reflect a 'cut' and 'fill' approach, rather than responding to the slope of the land.
Locations affected	 In locations such as Eltham and Diamond Creek, there has been an increase in larger residential development and in Greensborough an increased prevalence of two- three storey housing typologies.
	 Hurstbridge is seeing higher density, mixed use development of existing allotments.
Other	Quality of existing dwellings.
considerations	Future population projections.
	Subdivision of larger lots.

Implications for Guidelines

Examine the extent to which design objectives can increase setbacks and reduce the bulk and scale of built form, by:

- Reflect minimum side boundary setbacks and minimum landscaping requirements in design guidelines.
- Restricting the percentage of the site covered by impermeable surfaces (where relevant).
- Strengthen guidelines in regards to deep soil areas and canopy tree/significant vegetation retention in front and rear yards, especially native vegetation.
- Reflect typical siting in design guidelines.

4.3 Loss of Vegetation and Landscaping

Vegetation and landscaping are central elements when determining an area's neighbourhood character. This relates specifically to existing vegetation, including:

- The public and private realm
- · The landscaping of individual gardens
- The cumulative effect of landscaping across an entire area
- · The prevalence of canopy coverage

Across Nillumbik Shire, vegetation is extensive and is predominately informally planted with canopy trees, native trees and low lying bush/understorey. There also remains remnant native Ecological Vegetation Classes such as remnant Grassy Dry Forest, Valley Grassy Forest, Gully Woodland and other native species.

There is however also a mix of:

- Formal gardens with non-native vegetation
- Informally planted gardens and heavily vegetated lots with a mix of native and non-native species
- Wide grassy lawns or low-level gardens with limited vegetation

A key threat to Nillumbik Shire's neighbourhood character is the loss of vegetation in private gardens, and its replacement with larger developments or non-permeable hard-scaping, such as paving. Additionally, existing landscape character is undermined by contemporary infill builds which do not provide adequate garden space for planting of new vegetation, replanting of native species or canopy trees, which require deep soil and space for roots to grow.

The threat of significant vegetation clearing is particularly relevant in Nillumbik Shire due to State-sanctioned permit exemptions within planning controls applying to a large portion of the Shire, which allow as-of-right removal of vegetation for bushfire management and maintenance. As most of Nillumbik Shire is within a designated Bushfire Prone Area (BPA), with a portion of the study area covered by the Bushfire Management Overlay (BMO), both the planning and building systems in Nillumbik Shire comprise of State-sanctioned exemptions which override all other planning triggers for the purposes of bushfire protection including vegetation and landscape protection controls. Details of these exemptions and their impact on neighbourhood character are further discussed Section 5.2 of this Strategy.

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Analysis Overvi	ew
	Localities under pressure for redevelopment:
Locations affected	 Diamond Creek Eltham Eltham North Hurtsbridge
	 North Warrandyte Panton Hill
	 Research St Andrews Wattle Glen
Other considerations	Lack of statutory protection for vegetation.
	 Bushfire planning considerations. Boundary-to-boundary. development limiting the scope for adequate deep soil areas.
	Moonscaping of lots.Excessive site coverage.
	 Mandatory garden area. requirements increase areas for planting on lots greater than 400m2, although this does not consider the loss of garden spaces due to paving, swimming pools and tennis courts.

Implications for Guidelines

Investigate opportunities to strengthen policy relating to the retention of existing vegetation, by including guidelines which:

- Strengthen vegetation retention and deep soil areas (where possible).
- Require more generous side setbacks in heavily vegetated areas to allow for planting of vegetation and canopy trees.
- Apply site coverage maximums to retain sufficient site area for vegetation, where relevant.

4.4 Subdivision

Subdivision of lots within Nillumbik Shire is particularly prevalent in localities that are not within an LDRZ or covered by DDO2 and DDO3 which specify a minimum lot size. Subdivision is often associated with mass vegetation removal in order to maximise the development yield.

The subdivision of lots throughout Nillumbik Shire has a direct impact on neighbourhood character due to:

- Reduced setbacks
- Reduced building separation
- · Vegetation clearing to enable larger scale development
- Loss of remnant native vegetation/canopy trees
- · Lowered instances of tree retention
- Minimal provision of space for deep soil planting and canopy trees
- Demolition of existing low density, detached dwellings for larger-scale development
- Change in materiality use of more contemporary materials (concrete, render, etc)

A key threat to neighbourhood character in many localities is the subdivision of lots and the resulting incremental change in the type of housing stock as well as ineffective integration of the natural and urban environments.

Subdivision must be done in a manner that is contextually sensitive to the distinct neighbourhood character of each locality in Nillumbik Shire.

Analysis Overview		
Locations	 Areas not covered by a DDO or LDRZ. 	
affected	 Yarrambat is covered by DDO2, which is constrained to controlling subdivision size with limited density and setback provisions. 	
Other considerations	Lack of statutory protection for vegetation.	
	• Future demographic considerations.	
	Choice of housing typologies.	

Considerations

 Consider minimum subdivision sizes in areas that are heavily vegetated and where necessary - to be considered in conjunction with recommendations of a future Housing Strategy and Residential Development Framework.



23 Subdivision with duplex housing development - Diamond Creek

4.5 Larger Scale Development - Retirement Villages, Aged Care, Medical & other Services

There is potential for an increased pressure for mixed-use development in residential areas throughout Nillumbik Shire. This type of development includes:

- Retirement villages
- Aged care facilities
- Medical centres
- Childcare centres

Clause 53.17 Residential Aged Care facility allows for an aged care facility to have a maximum building height of 16 metres on land located within the General Residential Zone (GRZ), Mixed Use Zone (MUZ), Neighbourhood Residential Zone (NRZ), Residential Growth Zone (RGZ) or Township Zone (TZ).

The increasing pressure for these services to be developed in residential areas covered by the following zones, may impact upon existing character in Nillumbik Shire.

For example, increased pressure to develop Aged Care facilities that are of a greater scale and form than surrounding residential dwellings, will impact the rhythm of existing streets and the ability to provide planting of canopy trees or the retention of significant vegetation, directly impacting upon neighbourhood character.

Implications for Guidelines & Considerations

- Consider guidelines which prioritise the retention of significant vegetation and the provision of ample space for canopy trees.
- Consider impact of upper level setbacks to existing residential uses.

Analysis Overview	
Locations affected	 Localities covered by GRZ (Diamond Creek, Eltham, Research and Greensborough). Areas under pressure for redevelopment (e.g. areas with lower quality housing stock, in close proximity to activity centres).
Other considerations	 Whilst the increased emergence of medical and childcare centres in residential areas is a present issue within the Shire, the development of retirement villages and aged care facilities is a potential future threat. Future demographic considerations, including an ageing population, may require aged care or retirement facilities in the future.



24 VMCH St Thomas' Retirement Village - Greensborough

4.6 Dominant Fencing Styles

The treatment of front boundaries varies throughout Nillumbik Shire, with many residential areas characterised by no front fencing or low fences that allow views to the front garden or dwelling, use vegetation as a border treatment or have open frontages. The combined effect of these boundary characteristics is open streetscapes and a vegetated dominated atmosphere where fences are a less prominent feature.

As the majority of areas within Nillumbik Shire are characterised by no or low front fencing, the introduction of more dominant fencing styles that block views to gardens and dwellings would directly impact existing character. High, solid fences would undermine the blending of vegetation in the public and private realm, which is a key characteristic of Nillumbik Shire's residential areas. High, solid front fences are starting to emerge in areas under pressure for redevelopment, as well as areas with frontages to major roads or smaller roads of high usage.

Implications for Guidelines

- Strengthening zone and overlay schedules that relate to front fence design ensuring they are appropriate to local neighbourhood character, including objectives that:
 - encourage fencing that reflects the typical styles in the area.
 - encourage a lack of front fencing in areas where this is common.
 - discourage the development of high, solid fences that limit visual permeability.
 - consider only allowing higher front fences on main roads where there is particular need to provide privacy and mitigate against noise in the front setback.
 - consider guidelines that locate front fencing within a site boundary to allow space for plantings in front of the fence.
- Resist pressure from applications to incorporate high front fences in order to utilise the area as secluded private open space.

Analysis Overview	
Locations affected	 Areas under pressure for redevelopment.
	• Areas with frontages to main roads.
	 However it is noted that tall or solid fencing may impact the character in all localities.
Other considerations	 A front fence includes any fence within 3 metres of the street and should not exceed the maximum fence height.
	 Noise impacts and privacy concerns from the public realm.
	Security considerations.



5 Streetscape with low and transparent timber fencing - Plenty



26 Residential streetscape with solid fencing - Diamond Creek

4.7 Inconsistent Siting & Scale

Siting and scale are central elements of determining an area's neighbourhood character. Topography is a distinguishing characteristic of Nillumbik Shire, ranging from gentle undulating slopes to very steep areas along waterways and ridgelines. Subsequently, dwellings are often built to take advantage of the landscape and to enable views of ranges, valleys and Metropolitan Melbourne (e.g. split level designs). Notably, dwellings in the northern residential areas are typically sited on steep hills or below street level.

In terms of character, it is important that new developments differ in detailed design elements, whilst simultaneously respecting the form, siting, scale and vegetation coverage of existing dwellings in a streetscape or character area. In Nillumbik Shire, it is critical that new development respects the varying topographic conditions, limiting development located on ridgelines and the penetration of built form above tree canopy coverage.

The scale and siting of dwellings on their residential lot has a significant influence on the character of a streetscape. In areas with a consistent neighbourhood character, dwellings will generally follow a typical pattern with the rest of the streetscape and will conform to similar building envelopes.

New developments with substantially reduced setbacks interrupt the established pattern of streets and increases the built form enclosure of the street. As Nillumbik Shire is predominately characterised by large allotments that follow a curvilinear subdivision layout, the siting of new buildings on irregular-shaped lots may also disrupt existing streetscape rhythm.



27 Dwellings sited on steep hill - Diamond Creek

Analysis Overview		
Locations affected	 Majority of the residential areas within Nillumbik Shire are characterised by undulating slopes, and some localities feature steep areas along waterways and ridgelines. 	
	 Areas under pressure for redevelopment, subdivision and contemporary infill development (e.g. areas in close proximity to activity centres). 	
Other considerations	 Redevelopment/extensions of single dwellings into larger scale and medium density housing. 	
	 Development of aged care, retirement, medical centres and child care facilities within residential areas. 	
	 Within the BMO, replacement or extended dwellings require a Bushfire Management Plan and the creation of a defendable space. As a result, developments characterised by a large building footprint will see high levels of vegetation removal. 	

Implications for Guidelines

- Examine best-practice examples of maintaining views between dwellings, planting in rear gardens, creating a sense of spaciousness and streetscape rhythm, by including guidelines that:
 - encourage upper level setbacks and front and side setbacks at ground level to facilitate the provision of landscaping and significant vegetation.
 - maintain key siting considerations such as dwelling orientation and side setbacks.
 - specify preferred roof forms where this is consistent.

4.8 Dominant Car Access & Storage

The siting and design of car access and storage has a direct impact on the character of streetscapes. Additional or widened crossovers result in increased hard paving and loss of nature strip planting. Reduced garden space and permeable ground for sustaining vegetation also occurs due to hard paving areas within front setbacks for car parking or other purposes. Landscaping along driveways to soften this impact is often non-existent or too narrow.

Car parking structures vary greatly across the Nillumbik Shire. Car parking structures can dominate the frontage of a property in two ways. Firstly, by being located in line with or forward of the dwelling. Secondly, by occupying a large proportion of the frontage, for example by the use of a triple or double garage. Both of these car parking structure types are present in Nillumbik Shire. As a result, streets are less attractive for pedestrians, passive surveillance is reduced, and the positive aspects of neighbourhood character in the streetscape are undermined.

In order to address this, dominant car parking structures should be discouraged. Guidelines should also seek to minimise the hard surfaces in front setbacks and reduce the crossovers to one per property.

Landscaped strips should be encouraged along driveways located along property boundaries. Landscaping works to break up expanses of hard, impervious surfaces, particularly where driveways abut across property boundaries.



28 Dwellings with large car storage areas and expanses of hard surfaces

Analysis Overview				
Locations affected	 Areas under pressure for redevelopment, subdivision and contemporary infill development (e.g. areas in close proximity to activity centres). 			
Other considerations	 Infill of additional dwellings at the rear of the lot. 			

Implications for Guidelines

- Where applicable, guidelines should be incorporated in provisions in the Nillumbik Shire Planning Scheme that:
 - Limit the proportion of the site covered by impermeable surfaces, particularly in front setbacks.
- Locate garages and carports behind the front facade of the dwelling.
- Provide only one vehicular crossover per typical site frontage.

4.9 Inconsistent Colours & Materials

In Nillumbik Shire, the consistency of colours and materials is a defining aspect of the character of some localities. However, the colour palettes and materiality of contemporary design schemes of new builds in some localities has caused built form to stand out from their surroundings, rather than blending in within them. Some areas of Nillumbik Shire have an identified and recognisable character due to the consistency of a muted and earthy toned colour palette and natural building materials. For example, Eltham and North Warrandyte feature notable concentrations of mud brick dwellings characterised by muted tones and natural material finishes which complements Nillumbik Shire's 'leafy' character feel and landscaped setting.

The majority of dwellings in Nillumbik Shire are constructed of varied materials, ranging from brick and concrete render combinations, timber weatherboard and other contemporary materials. However, many areas are often characterised by muted and earthy hues on both façades and roofs. However, much of the contemporary development makes use of a grey-based palette, this exaggerates the contrast in building style and form between new and old. Sometimes, adopting the same (or similar) materials and finishes can be a decisive factor in allowing a contemporary design to complement, rather than compete, with its surroundings.

This Strategy seeks to clearly identify the areas where maintaining similar or complementary surface finishes is fundamental to the preferred neighbourhood character.

Analysis Overview				
Locations affected	 Diamond Creek and Plenty- built form outcomes emerging as a result of DPO objectives. 			
	 Areas under pressure for redevelopment (e.g. areas with lower quality housing stock, in close proximity to activity centres). 			
	 Diamond Creek and part of Eltham North - areas that have no SLO coverage; no permit triggers for single dwellings. 			
	 However it is noted that contemporary development may disrupt the consistency of earthy colours and materials in all localities. 			
Other considerations	 Redevelopment/extensions of single detached dwellings into medium density housing. 			
	 Development of aged care, retirement, medical centres and child care facilities within residential areas. 			
	Sustainability factors.			
Implications for Guidelines				

 Identify areas in which a specific range of material finishes and colour palette should remain a key part of the preferred future character.



29 Contemporary dwelling featuring varied material finishes - Yarrambat



30 Mud brick residential dwelling - Eltham

4.10 Interrupted Viewlines

In Nillumbik Shire, maintaining the views from the public realm between dwellings and vistas across the landscape is a critical component of neighbourhood character.

A significant element of character across multiple localities within Nillumbik Shire is the undulating topography, which affords picturesque views of vegetated areas and elevated ridge lines.

Viewlines to the tops of tree canopies and ridgelines is also a key feature of neighbourhood character within many of the bushy and 'leafy' vegetated areas. An important consideration for new development is to ensure it does not visually penetrate these viewlines.

However, as mentioned previously, contemporary infill development typically utilises a 'cut' and 'fill' method to accommodate volume builds which do not effectively respond to the slope of the land. Although this allows for the continuation of shared views, it disrupts the street rhythm and reduces vegetation retention.



31 Residential area with rural views - Yarrambat

Analysis Overview				
Locations affected	 Areas located on steep slopes or within close proximity to waterways. 			
	 Areas with long ranging views to Diamond Creek, Plenty River, Yarra River, vegetated areas, tree-canopy elevated ridge lines, rolling hills, Metropolitan Melbourne etc. 			
	 However it is noted that new development may disrupt viewlines in all localities characterised by undulating topography. 			
Other considerations	 Development of aged care, retirement, medical centres and child care facilities within residential areas. 			
	Choice of housing typologies.			

Implications for Guidelines

- Consider guidelines for the identification of and reasonable protection of shared viewlines, including:
 - Upper level setbacks
 - Front and side setbacks at ground level
 - Siting
 - Building bulk
- Consider objectives and guidelines to ensure new development does not visually penetrate tree canopies and/or ridgelines, where this is a key feature of an areas character.

5.0 Performance of Existing Settings

5.1 VCAT Cases Summary

The following is a summary of a selection of VCAT cases relating to neighbourhood character in Nillumbik Shire.

The key implications for this Strategy are outlined below.

Effectiveness of Existing Controls

Of the VCAT cases reviewed, the majority indicate that the existing planning controls that are used to implement neighbourhood character objectives are performing relatively well.

The Significant Landscape Overlay (SLO3) was cited in six cases as having provided an effective decision making framework for VCAT members, resulting in either an affirmation of Council's prior permit refusal, or, approval of an amended permit. In the case of an amended permit, VCAT required additional design changes including increased setbacks and space for landscaping to achieve the objectives of SLO3.

Where a case involved an existing DDO (DDO2), Council's concerns relating to building height and form were not upheld, with VCAT ruling that proposed multi level dwellings were in accordance with the objectives of DDO2, which is limited to controlling subdivision size. The design response to the character area was deemed to be appropriate as sufficient setbacks and space for landscaping were provided to maintain the bush setting. This suggests that there may be scope to revise existing DDOs, or implement new controls with guidelines targeted at generating built form outcomes that respond to identified character attributes.

Gaps in Controls

Two VCAT cases reviewed, concerned proposed development in residential locations that were not subject to either an SLO or a DDO; Council's main tools for implementing its Neighbourhood Character Guidelines.

In these instances Council raised concerns with built form elements including inadequate setbacks, excessive visual bulk and limited opportunity for retention of vegetation or replacement landscaping. However, VCAT were satisfied that the developments met the neighbourhood character objectives of Clause 55 (Rescode) and were therefore deemed appropriate for approval.

While the relevant neighbourhood character objectives were outlined within local policy at Clause 22.12 (now 15.01-5L), greater weight was placed on the objectives of Clause 55. This highlights that in the case of achieving neighbourhood character objectives, it is important that they are implemented by utilising Clause 55 variations within the zone schedule, or through overlays such as an SLO to ensure that they are given appropriate statutory weighting.

Case
Calzone v Nillumbik SC
Hopping v Nillumbik SC
Merrigan v Nillumbik SC
Bible Street Project Pty Ltd v Nillumbik SC & Ors
Sam Battiato for Creative Design Studio v Nillumbik SC & Or
Architectural Home Design v Nillumbik SC
Sarantis v Nillumbik SC
Thomson v Nillumbik SC

Table 3 - Reviewed cases that identify effectiveness of existing controls

Case

Glenrich Investments Pty Ltd v Nillumbik CC

Scheiber & Co Pty Ltd v Nillumbik SC

Table 4 – Reviewed cases that identify gaps in existing controls

5.2 Bushfire Management

The majority of Nillumbik Shire is a Designated Bushfire Prone Area (BPA) under section 192A of the Building Act 1993. Also, a large proportion of land within the Shire is subject to Bushfire Management Overlay (BMO). While allowing residents to mitigate bushfire risk on their properties is integral to the protection of human life, anecdotal evidence suggests that an unfortunate consequence is the impact on neighbourhood character. The cumulative impact of vegetation removal from individual properties poses a threat to the highly valued 'leafy green' character of the Nillumbik Shire.

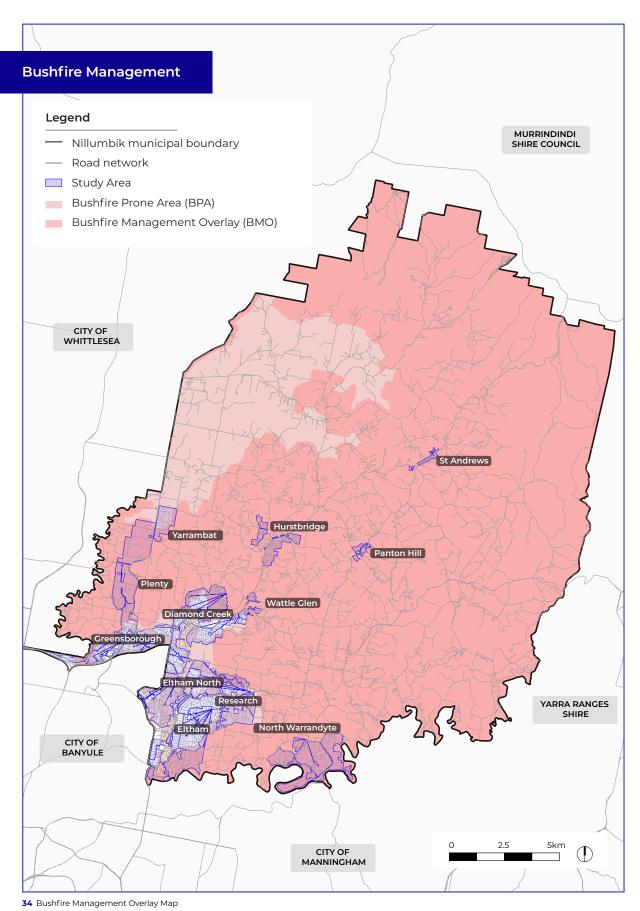
The importance of vegetation to Nillumbik Shire's character and biodiversity is recognised through various parts of the Nillumbik Shire Planning Scheme, as noted in previous sections. The neighbourhood character analysis has also identified vegetation as a critical component of the character of majority of localities, and contributes overall to Nillumbik Shire's character. Exemptions apply to buildings built or approved prior to 10 September 2009 and are set out in Clause 52.12 (Bushfire Protection: Exemptions). The exemptions apply regardless of whether a permit is required to remove vegetation under any other provision of the planning scheme (e.g. Clause 52.17: Native Vegetation Protection Overlay, Environmental Significance Overlay or the like). Specifically, the exemptions override all other planning permit triggers, meaning that Council does not have the power to prevent the removal of vegetation covered by the exemptions.

This Neighbourhood Character Strategy does not have the capacity to influence, alter or change the exemptions that are specified under Clause 52.12.

Analysis undertaken as apart of this Strategy has highlighted the community's concern about mass vegetation removal and the associated impact on the valued bushy character of localities. Part of this concern may arise from a question of whether any property owners are taking advantage of bushfire exemptions to maximise development yield, rather than simply to mitigate a genuine bushfire risk.



33 Densely vegetated rural road - Yarrambat



6.0 Draft Neighbourhood Character Areas

This section outlines the draft neighbourhood character areas identified within Nillumbik Shire as part of the desktop analysis and site surveys undertaken for this Strategy.

These draft neighbourhood character areas also reflect the key values identified through initial community consultation undertaken in April and May 2022. The draft character areas will replace the character areas identified as part of Nillumbik Shire's previous Neighbourhood Character Study and Design Guidelines (amended in 2003).

The table below provides an overview of the draft character areas identified by this Strategy and also demonstrates the key differences between each character type/area.

Map 35 depicts the draft character areas based on the criteria outlined in the table.

Summary of Draft Neighbourhood Character Areas

Bush Residential

Defined by heavily vegetated residential areas generally consistently sited dwellings in a bush setting and sometimes informal street pattern; generally modified grid and curvilinear style streets.

Bush Residential 1		Bush Residential 2		
- Mix of post-war, modern and contemporary dwellings		- Predominantly post-war and modern dwellings		
- Predominantly gable roof forms		- Mix of gable, hipped and flat roof forms		
- High levels of native vegetation, screening dwellings from view		- Formally landscaped gardens		
- Presence of unsealed, dirt or gravel roads		- Predominantly sealed, asphalt streets		
- Often no footpaths on either side of road		- Typically footpaths on at least one side of road		
Garden Court				
Features spacious residential areas with sometimes informally sited dwellings in a garden setting and curvilinear street layout (courts / cul-de-sac), with a mix of flat and undulating topography.				
Garden Court 1	Garden Court 2		Garden Court 3	
- Modern and contemporary dwellings	- Predominantly modern dwellings		- Contemporary dwellings	
- Low to medium levels of vegetation	- Medium to high levels of vegetation		- Low levels of vegetation	
- Predominantly flat topography	- Sloping to steep topography - Sloping		- Sloping to steep topography	



Summary of Draft Neighbourhood Character Areas

Garden Residential

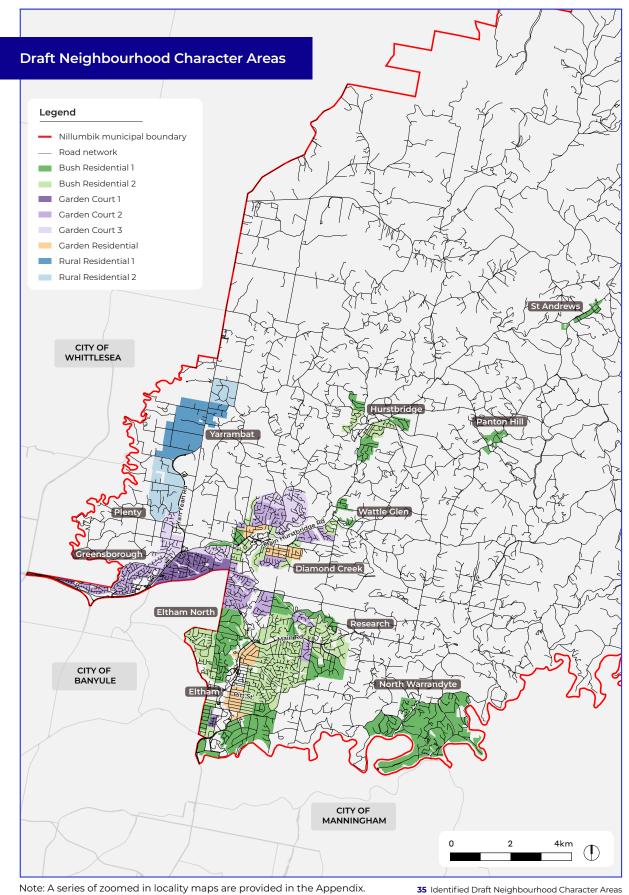
Characterised by spacious residential areas with consistently sited dwellings in a garden setting and gridded street layout. Dwellings have typically been developed in the post-war era, interspersed by modern dwelling types and an increasing prevalence of contemporary infill development.



Rural Residential

Typically consists of contemporary and modern dwellings on large residential lots, set within semi-rural areas of the Shire. Dwellings feature large footprints and are often inconsistently sited on curvilinear street patterns.

Rural Residential 1	Rural Residential 2
- Informal streetscapes	- Sealed, asphalt streets
- Densely vegetated public realm	- Low levels of vegetation
- Significant front setbacks	- Formal gardens, expansive lawns



Draft Nillumbik Shire Neighbourhood Character Strategy 51

7.0 Neighbourhood Character Precinct Profiles

7.1 What is preferred neighbourhood character?

As outlined in Planning Practice Note 90, under clause 54 and clause 55, new development should respect the existing neighbourhood character or contribute to a preferred neighbourhood character.

Preferred neighbourhood character is either:

- the existing character of an area; or
- an identified future neighbourhood character different from the existing character of an area.

Where the existing neighbourhood character is the preferred neighbourhood character, it is important to identify the existing features and characteristics of the area to be respected. A preferred neighbourhood character statement can articulate the valued features and characteristics of an area to be respected by new development. There is no prescribed format for a preferred neighbourhood character statement. Its form will depend on several factors including the features and characteristics of an area or municipality, the housing outcomes sought, and the views of the local community.

It is important that preferred neighbourhood character statements are 'forward-looking' so that if an area is identified for increased housing growth, the growth is not undermined by neighbourhood character policies that seek to maintain the existing neighbourhood character.



36 Dwelling with densely vegetated gardened areas - Diamond Creek

7.2 How to read the Character Precinct Profiles

Neighbourhood character precinct profiles have been prepared for each neighbourhood character area identified within Nillumbik Shire. Each profile provides a summary of character area with associated character objectives and design guidelines to provide guidance to future development, ensuring that it reflects the preferred character as best as possible.

The profiles are intended to replace the character areas identified as part of Nillumbik Shire's previous Neighbourhood Character Study and Design Guidelines (amended in 2003).

The precinct profiles include:

- · Character Description;
- A Character Area map;
- · A summary of key character attributes
- Preferred Character Statement;
- Preferred Character Objectives;
- Design Guidelines; and
- Photos

Neighbourhood Character Objectives and Design Guidelines

The purpose of the character objectives and design guidelines is to provide clear direction and guidance on built form outcomes based on preferred neighbourhood character outcomes.

In alignment with Planning Practice Note 91, the Preferred Character Statement directly informs the five design objectives per character area, which can be specified in a schedule to a residential zone to implement the preferred neighbourhood character.

Effective design guidelines should be used as a basis for Council planners when assessing planning applications. Design guidelines that are to be translated into a zone schedule, to vary ResCode standards, should be enhanced by including specific details of the schedule changes (i.e. permeability, site coverage, front and side setbacks).

Charact	ter Attributes
	Architectural Style, form and layout
	• Era of buildings
	Existing building quality
•	Scale of existing development
	Dominant residential form
	Dominant residential typology
	Building Materials
	Primary materials
	Building Heights
	Roof Styles
	Roof form
	Roof material
	Garages and Carports
	Dominance of parking structures
	Orientation and Siting
	Front setback
	Side setback
	Consistency of setbacks
	Front Fencing
	Front fence height
	Front fence type
	Gardens and Vegetation
	Private landscaping
	Private garden type
	Public Realm
	Public landscaping
	Street tree types
Γ	Footpath presence
	Road layout
	Road surface
	· Views
	• Topography

7.3 Bush Residential 1

Character Description

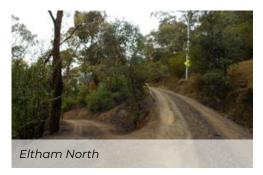
The Bush Residential 1 precinct is characterised by informal streetscapes and dense vegetation in both the public and private realms. Dwellings are predominantly Modern and Contemporary in their design, with occasional examples of Post-war architecture. Material finishes consist of muted tones and colours that fit within the landscape setting and dwellings are constructed in varied materials, including mudbrick.

Significant setbacks from the street level contribute to the heavily vegetated character of the area, affording ample space for the retention and planting of indigenous, native and some non-native vegetation. Dwellings are sited within lots that are also heavily vegetated with native, established gardens that appear visually unified with significant indigenous tree canopy and Australian native vegetation in the public realm. Dwellings are often obscured from view at street level due to the density of the planting. Low, transparent front fences often constructed of post and wire materials delineate the boundary between the private and public realms.

Road and vehicle crossovers are generally unsealed, with swale drains and often no footpaths. Typically roads are narrower than standard roads.



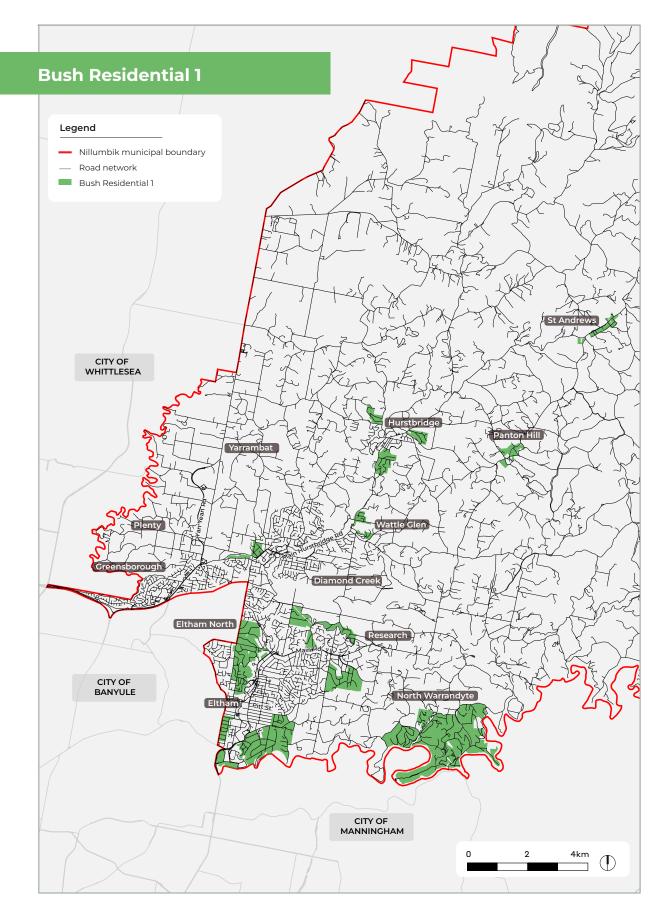
Eltham North



54 Draft Nillumbik Shire Neighbourhood Character Strategy

Character Attributes

Architectural Style, form and layout
 Mix of Post-war, Modern and Contemporary era styles, reflective of varying building styles and material finishes.
Buildings are detached.
 Front façades are articulated with the use of balconies, porch entrances, windows and doorways.
Building materials
 Predominantly brick or render, and other contemporary materials.
Building heights
• 1 to 2 storey dwellings.
Roof styles
 Predominantly gable fronted roof styles, constructed of metal.
Garages and carports
 Car parking is often located behind the facade of the dwelling or constructed on the side boundary.
• Long, steep driveways that are typically unsealed.
Orientation and Siting
Inconsistent siting and orientation of dwellings.
 Front setbacks are generous, in excess of 9m.
 Dwellings are separated by spacious side setbacks, in excess of 4m.
Front Fencing
 Mix of no or low and transparent front fencing up to 1m and often constructed of post and wire.
Gardens and Vegetation
 High levels of vegetation, specifically indigenous, native and some non-native species, including remnant trees that visually unite the public and private realms and often screen dwellings from view.
Public Realm
 Streets have a modified grid layout, with curved roadways with cul-de-sacs.
 Informal street planting characterised by high levels of native remnant trees.
 Informal streetscapes typically with no footpaths and narrow unsealed roads and vehicle crossovers, with the surface consisting of gravel or dirt.
 Drainage usually consist of trenches or swales, with individual water pipes located under driveways.
 Undulating to sloping topography.



Preferred Character Statement

Streetscapes are dominated by large indigenous and native canopy trees with supporting undergrowth. Dwellings are sited to sit within the undulating landscape and to integrate with the informal style of the indigenous and native vegetation which flourishes in a spacious bushy setting.

View corridors to the Yarra River, the Diamond Creek, the Watsons Creek, elevated ridgelines, vegetated areas and significant canopy trees are retained. Often formalised footpaths are not present. Mostly roads are unsealed and wind informally through the trees with minimal delineation between public and private realms.

New development positively responds to the predominantly low scale, one to two storey dwellings, using consistent natural, earthy 'coloured' materials and simple building forms to fit within the heavily vegetated setting.

Generous front and side setbacks provide for generous indigenous and native vegetation which embrace remnant trees, and screen dwellings from view.

Garages and carports are hidden from view, often located behind the line of the front dwelling façade and are integrated with the design of the dwelling.

Absent, low or transparent, front fencing contributes to the bushy and informal transition between public and private realms.

Neighbourhood Character Objectives

- To ensure new development reflects the preferred built form, characterised by predominantly 1-2 storey dwellings with varied architectural style that utilises natural materials with muted tones and 'earth' colours to fit within the heavily vegetated landscape.
- To maintain and enhance views corridors to the Yarra River, the Diamond Creek, the Watsons Creek, elevated ridgelines, and the vistas, streetscapes, and backdrops of the precinct, characterised by large native canopy trees and lush understoreys of shrubs and grasses.
- To ensure new development sits within the existing indigenous and native tree canopy, minimising the dominance of car parking access and structures.
- To maintain and strengthen the spaciousness and bush setting surrounding dwellings, minimising disruption to existing indigenous and native tree and plant species.
- 5. To retain the bushy informal transition of public and private realms, characterised by absent or permeable low front fences.



North Warrandyte





Eltham



Design Guidelines - Bush Residential 1

Character Elements	Design Responses
Building height and form	 New development should complement the 1-2 storey building height and simple building forms of existing dwellings.
	\cdot $\;$ Buildings should not penetrate the indigenous tree canopy, where a canopy is present.
	 Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site.
	 New buildings at or near ridgelines should be designed and sited below the height of trees along the ridgeline.
	 Complement the building forms, natural materials such as mudbrick, earthy colour palette and siting of existing dwellings and articulate the front façades of buildings through the use of setbacks, recesses and windows.
	Buildings should provide a pitched roof with prominent eaves.
Siting and setbacks	• Buildings should be set back a minimum of 4m from one side boundary to enable the planting of indigenous trees and understorey planting.
	 If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of indigenous/native trees and understorey vegetation.
	 Buildings should be sited to take into account the sharing of views corridors to the Diamond Creek, the Watsons Creek, the Yarra River, elevated ridgelines, vegetated areas and canopy trees.
Gardens and landscaping	 Retain existing indigenous and native canopy trees and understorey vegetation and replant wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of native trees that will grow to a mature height similar to the mature height of the tree to be removed.
	• Prepare a landscape plan to accompany all applications for new dwellings that utilise appropriate native species as identified in the <i>Nillumbik Live Local Plant Local Guide</i> .
	 Provide significant indigenous and native canopy trees occurring at a density of one to every 50-100m² across the site.
	• The site area covered by buildings should not exceed 40 per cent.
	Provide at least 40% of the site as permeable surface.
Garage storage and vehicle access	 Locate garages and carports behind the line of the front dwelling façade, ensuring that they are integrated with the design of the dwelling.
	• Minimise paving in front yards, including the driveway.
	Provide only one vehicular crossover per typical site frontage.
	· Limit the width of vehicle accessways and minimise hard paving within the front setback
	Provide landscaping and plantings to the soften the appearance of driveways.
Front Fencing	 Fencing should be set back from the front site boundary to allow for landscaping in front of the fence.
	• A front fence within 3 metres of a street should provide no or a low, open style up to 1.2m in height.

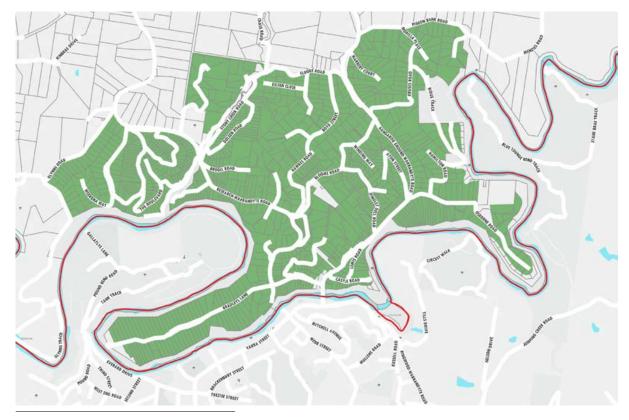




Bush Residential 1 - Diamond Creek



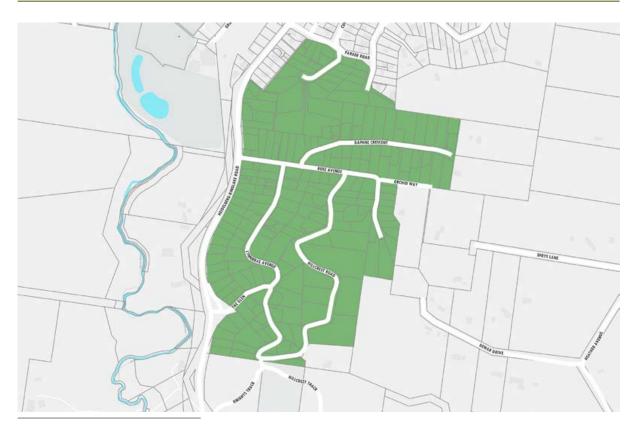
Bush Residential 1 - Wattle Glen



Bush Residential 1 - North Warrandyte



Bush Residential 1 - Hurstbridge



Bush Residential 1 - Hurstbridge



Bush Residential 1 - Hurstbridge



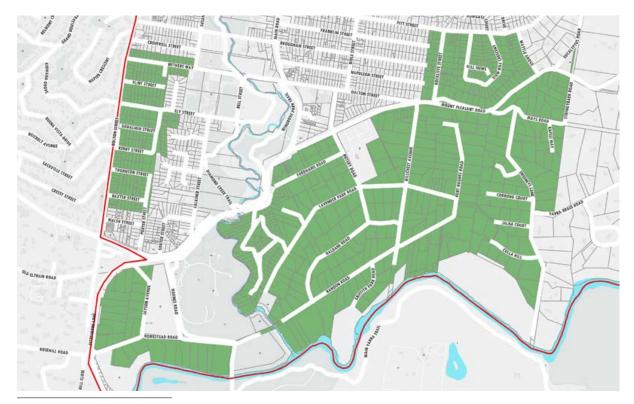
Bush Residential 1 - St Andrews



Bush Residential 1 - Panton Hill



Bush Residential 1 - Research



Bush Residential 1 - Eltham



Bush Residential 1 - Eltham/Eltham North



Bush Residential 1 - Eltham/Research

7.4 Bush Residential 2

Character Description

The Bush Residential 2 precinct is characterised by formal streetscapes and densely vegetated, landscaped dwellings. The architectural style of dwellings in this precinct includes a mix of Post-war and Modern styles predominantly constructed of brick with gabled roof forms. Dwellings are detached and feature generous front and side setbacks. Dwellings are often obscured from view at street level due to the density of native and indigenous tree canopy and planting.

Dwellings are set within heavily vegetated lots, featuring a mix of native and non-native vegetation that often responds to the slope of the land. Private gardens feature mulched areas retained by timber walls, natural stone walls or boulders. A lack of front fencing is notable and creates an openness to the streetscape.

Another distinguishing characteristic of this precinct is the formal road network, consisting of sealed roads and vehicle crossovers, drainage infrastructure and a single-sided footpath in some areas. The road layout follows a curving street pattern through the undulating landscape. Road cross-sections vary between narrow and standard.



Eltham North



Hurstbridge

Character Attributes

Architectural Style, form and layout

- Mix of Post-war and Modern era styles with an occasional Contemporary development.
- Buildings are detached.
- Front façades are articulated with the use of balconies, porch entrances, windows and doorwavs.
 - Roof forms are generally gabled and flat in contemporary developments.

Building materials

Predominantly brick or render, and other contemporary materials.

Building heights

• 1 to 2 storey dwellings.

Roof styles

Mix of low and high pitched (gable or hip) or flat roofs constructed of metal or tile.

Garages and carports

Car parking is often located behind the facade of the dwelling or constructed on the side boundary.

Orientation and Siting

- Inconsistent siting and orientation of dwellings
- Front setbacks are generous ranging between 7m to 9m and occasionally in excess of 9m.
- Dwellings are separated by spacious side setbacks, in excess of 4m.

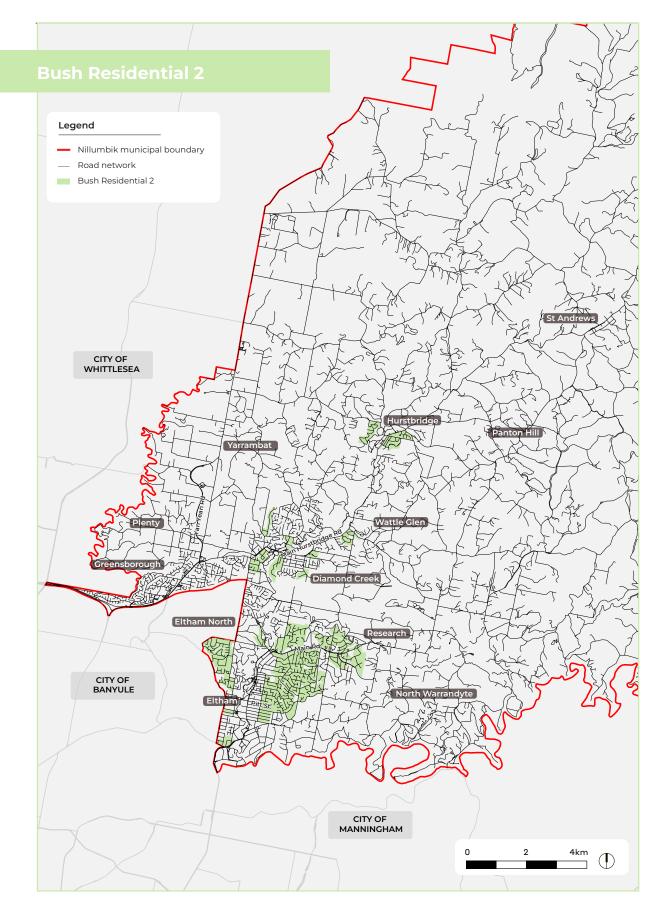
Front Fencing

Low, transparent front fencing up to 1m.

Gardens and Vegetation

Formally landscaped gardens, comprising a mix of native and non-native plants, and remnant indigenous trees. **Public Realm**

- Streets have a modified grid layout, with curved roadways with cul-de-sacs.
- Formal streets comprising sealed asphalt and a single concrete footpaths in some areas.
- Drainage usually consists of concrete rollover kerbs.
 - Undulating to sloping topography.



Preferred Character Statement

Large indigenous and native canopy trees and understorey planting in the public and private realm, combined with the undulating topography, ensures that dwellings do not visually dominate the streetscape, enhancing the bushy vistas, streetscapes and backdrops of the precinct.

View corridors through to the Diamond Creek, the Watsons Creek, the Yarra River, elevated ridgelines, vegetated areas and canopy trees are retained.

Dwellings sit within bushy garden settings featuring timber walls, natural stone walls or boulders.

New development positively responds to the predominantly low scale, one to two storey dwellings, using consistent materials and simple building forms.

Garages and carports are often located behind the line of the front dwelling façade and are unobtrusive and integrated with the design of the dwelling.

Absent, low or transparent, front fencing contributes to the bushy and informal transition between public and private realms.

Mostly sealed roads wind through the undulating landscape and are dominated by substantial indigenous and native trees, with a presence of footpaths on one side the street.

Neighbourhood Character Objectives

- To ensure new development reflects the preferred built form, characterised by predominantly 1-2 storey dwellings with varied architectural style including simple building forms and low-pitched roofs with prominent eaves.
- 2. To ensure new development reflects the existing neutral colour palette of natural materials.
- To ensure new development sits within the existing indigenous and native tree canopy and enhances the bushy vistas, streetscapes and backdrops of the precinct.
- 4. To maintain and reinforce the predominant rhythm of dwelling spacing within the streetscape, characterised by intermittent views of the Diamond Creek, the Watsons Creek, the Yarra River, elevated ridgelines, vegetated areas and canopy trees afforded by undulating topography and spacious setbacks that enable substantial planting between each dwelling and the street.
- To retain and reinforce the spaciousness and bushy setting of the streetscape, characterised by no or low, permeable front fences with views to front garden areas.



Wattle Glen



Eltham North





Design Guidelines - Bush Residential 2

Character Elements	Design Responses
Building height and form	 New development should complement the 1-2 storey building height and simple building forms of existing dwellings.
	 Buildings should not penetrate the native and/or indigenous tree canopy, where a canopy is present.
	 Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site.
	 New buildings at or near ridgelines should be designed and sited below the height of trees along the ridgeline.
	 Complement the building forms, natural materials, muted colour palette and siting of existing dwellings and articulate the front façades of buildings through the use of setbacks, recesses and windows.
	Buildings should provide a pitched roof with prominent eaves.
Siting and setbacks	• Buildings should be set back a minimum of 4m from one side boundary to enable the planting of indigenous and native trees and understorey planting.
	 If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of medium indigenous/native trees and understorey vegetation.
	 Buildings should be sited to take into account the sharing of views corridors to the Diamond Creek, the Watsons Creek, the Yarra River, elevated ridgelines, vegetated areas and canopy trees.
Gardens and landscaping	 Retain existing indigenous and native canopy trees and understorey vegetation and replant wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of native trees that will grow to a mature height similar to the mature height of the tree to be removed.
	• Prepare a landscape plan to accompany all applications for new dwellings that utilise appropriate native species as identified in the <i>Nillumbik Live Local Plant Local Guide</i> .
	 Provide large indigenous and native canopy trees occurring at a density of one to every 100m² across the site.
	• The site area covered by buildings should not exceed 40 per cent.
	Provide at least 40% of the site as permeable surface.
Garage storage and vehicle access	• Locate garages and carports behind the line of the front dwelling façade, ensuring that they are integrated with the design of the dwelling.
	Minimise paving in front yards, including the driveway.
	Provide only one vehicular crossover per typical site frontage.
	 Where a side by side development occurs, space the vehicle crossovers to retain the existing rhythm of the street.
	Provide landscaping and plantings to the soften the appearance of driveways.
Front Fencing	 Fencing should be set back from the front site boundary to allow for landscaping in front of the fence.
	• A front fence within 3 metres of a street should provide no or a low, open style up to 1.2m in height.



Bush Residential 2 - Diamond Creek



Bush Residential 2 - Wattle Glen



Bush Residential 2 - Diamond Creek



Bush Residential 2 - Diamond Creek



Bush Residential 2 - Eltham



Bush Residential 2 - Eltham / Eltham North



Bush Residential 2 - Eltham / Eltham North / Research

7.5 Garden Court 1

Character Description

The Garden Court 1 precinct comprises a mix of Modern and Contemporary era building styles. Buildings are generally constructed from brick and have predominantly pitched, tiled roofs. Dwellings are detached, and range between single double storey developments.

Regular and spacious front and side setbacks create a sense of openness in the streetscape. Low or no front fencing allow views to the buildings and front garden spaces. A key characteristic of this precinct is the low-level and formal front gardens, comprising native and non-native species and lawns.

The public realm is characterised by low to medium levels of vegetation, consisting often of grassed nature strips and low level indigenous trees. The lack of front fencing is notable and allows for the blending of vegetation between the public and private realm.

The streetscape is attributed to a curvilinear subdivision pattern comprising winding streets and court bowls. Roads typically have a wider cross section. Footpaths are generally located on one side of the street and rollover kerbs are common throughout.



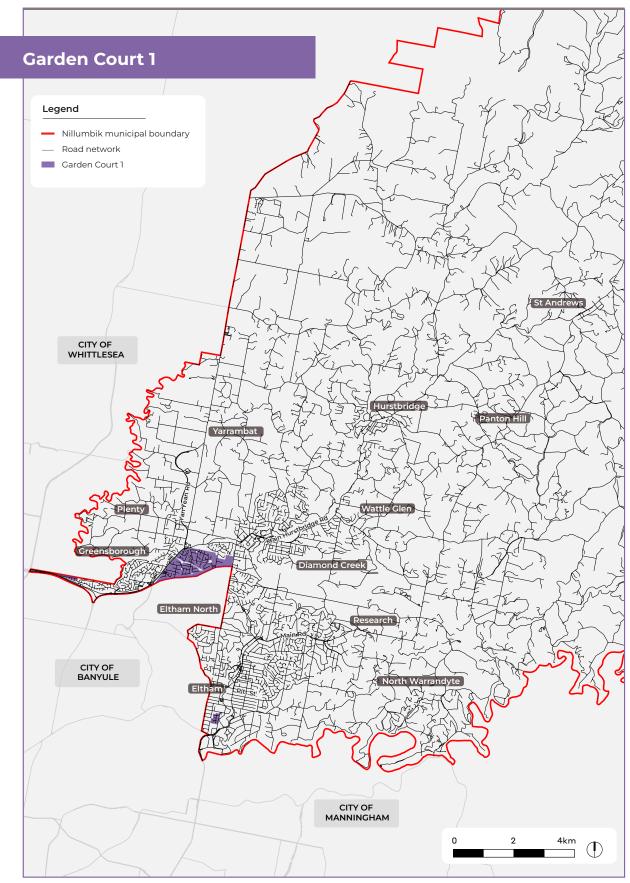




74 Draft Nillumbik Shire Neighbourhood Character Strategy

Character Attributes





37 Garden Court 1 Character Area Map

Preferred Character Statement

New development sits within a formal landscape setting and responds to the predominantly low scale, one to two storey dwellings, using consistent materials and simple building forms with low pitched roofs and eaves.

Regular and spacious front setbacks provide space for native plants and canopy trees and understorey vegetation, to mature and reinforce the landscaped setting. Low level and formal front gardens, comprising native plantings, flow uninterrupted into the public realm.

Garages and carports are often located to the side of the dwellings and are visually unobtrusive and compatible with the development.

Absent or low front fences facilitates the blending of vegetation between the public and private realm, and enable views through to dwellings and front garden areas.

Vistas around street bends and courts are characterised by public spaces featuring native plantings, with a presence of footpaths on either side of the street.

Neighbourhood Character Objectives

- To ensure new development positively responds to the preferred building materials and styles of the precinct, characterised by predominantly low-scale 1-2 storey dwellings with simple building forms and low-pitched roofs with prominent eaves.
- 2. To ensure new development follows the topography of the land and does not dominate the streetscape but minimises the dominance of car parking access and structures instead.
- 3. To provide spacious front setbacks, that retain the existing rhythm of spacing and allow for established front garden settings.
- To maintain and strengthen the presence of established native vegetation, including canopy trees in the front and rear setbacks.
- To retain the spaciousness of the streetscape, characterised by absent, or low, front fences with views to front garden areas.









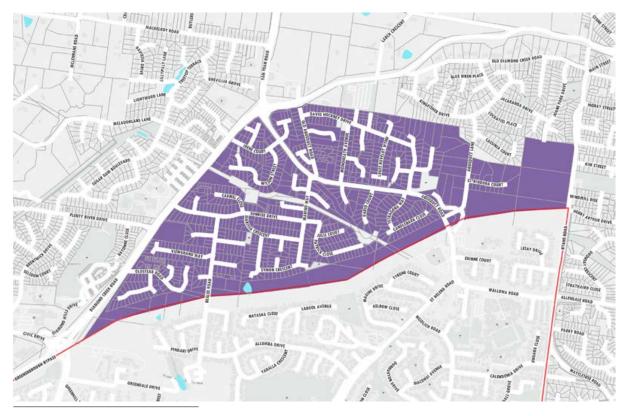


Attachments - 240

Design Guidelines - Garden Court 1

Character Elements	Design Responses
Building height and form	New development should complement the 1-2 storey building height, building forms and siting of existing dwellings.
	 Complement the building forms, materials, colour palette and siting of existing dwellings and articulate the front façades of buildings through the use of setbacks, recesses and windows.
	Roofs should provide prominent eaves.
	 Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site.
Siting and setbacks	 Buildings should be set back a minimum of 1m from one side boundary and 2m from the other side boundary.
	• Storeys above ground level should be recessed to minimise impact on the streetscape.
	Orient dwellings parallel to the street.
	 In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail.
	 If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees and other native vegetation.
Gardens and landscaping	Retain established canopy trees and other native vegetation and replant where possible.
	 Provide large canopy native trees occurring at a density of one to every 200-300m² across the site.
	• Prepare a landscape plan to accompany all applications for new dwellings that utilise appropriate native species as identified in the <i>Nillumbik Live Local Plant Local Guide</i> .
Garage storage and vehicle access	 Locate garages and carports behind the line of the front dwelling façade, ensuring that they are integrated with the design of the dwelling.
	Provide only one vehicular crossover per typical site frontage.
	\cdot Limit the width of vehicle accessways and minimise hard paving within the front setback
	 Where a side by side development occurs, space the vehicle crossovers to retain the existing rhythm of the street.
	• Provide landscaping and plantings to the soften the appearance of driveways.
Front Fencing	 Fencing should be set back from the front site boundary to allow for landscaping in front of the fence.
	A front fence within 3 metres of a street:
	 should provide no or a low, open style of up to 0.8m in height or 0.5m in height if constructed in brick.
	 may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability.

Zoom in Maps



Garden Court 1 - Greensborough



Garden Court 1 - Greensborough



Garden Court 1 - Eltham

7.6 Garden Court 2

Character Description

The Garden Court 2 precinct comprises predominantly Modern era building styles, with an increasing prevalence of Contemporary infill development. Buildings are generally constructed from brick with pitched, tiled roofs. Dwellings are typically detached, single storey and double storey, with occasional three storey dwellings generally sited on steep hills.

Dwellings and front gardens are clearly visible from the street due to the lack of front fences. Private gardens feature medium to high levels of established native and non-native vegetation, which is generally formally planted and located within generous front setbacks. Landscaping and planting often responds to the slope of the land, with the presence of timber walls, natural stone walls or boulders in the private realm.

The public realm is characterised by a curvilinear street layout, sloping topography, and views to the Plenty River, the Diamond Creek, elevated ridgelines, vegetated areas, tree canopy and Metropolitan Melbourne. Roads typically have a wider cross section that contain nature strips with medium levels of vegetation, consisting often of grassed nature strips with substantial native and non-native canopy trees in some areas. Footpaths are generally located on one side of the street and drainage consists of both rollover kerbs and traditional kerb and channel layouts.



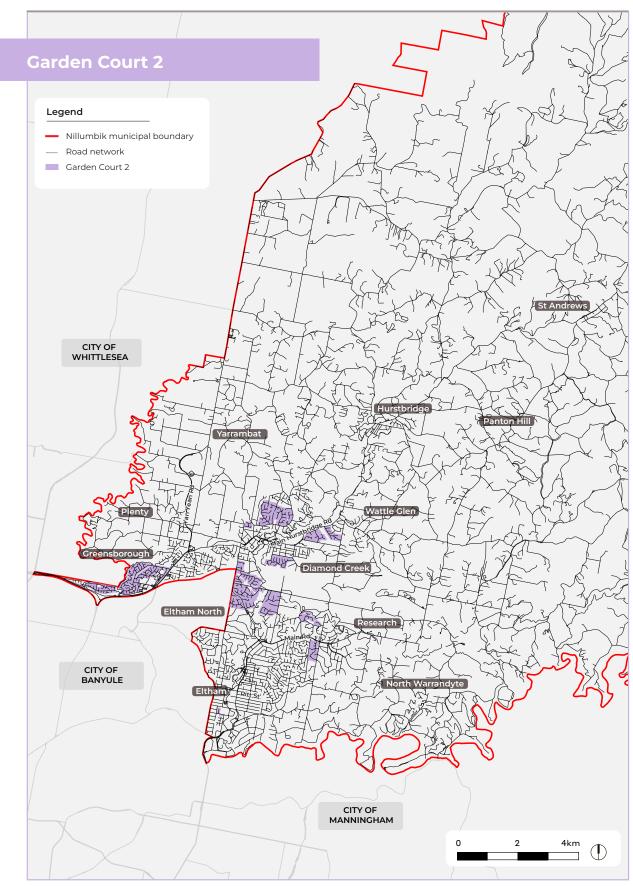
Greensborough



80 Draft Nillumbik Shire Neighbourhood Character Strategy

Character Attributes

	Architectural Style, form and layout
	 Predominantly Modern era styles constructed in the 1980s and early 2000s.
	Buildings are detached.
	 Front façades are articulated with the use of porches, recesses, windows and doorways.
	Building and roof forms are consistent.
	Building materials
	 Predominantly brick and occasional rendered finish across Contemporary development.
	Building heights
	 Predominantly 1 to 2 storey dwellings and occasional 3 storey dwellings sited on steep topography.
	Roof styles
$\langle \ \ \ \ \ \ \ \ \ \ \ \ \ $	Predominantly hipped, tiled roofs.
	Garages and carports
	• Car parking is frequently constructed on the side boundary or in line with the front facade.
	 Parking structures and crossovers in the form of double car garages and large, steep driveways.
	Orientation and Siting
	 Buildings are oriented parallel to address the street.
	 Varied setbacks ranging between 3m and 9m. Side setbacks range from 2m to 4m.
	Front Fencing
	 A predominant absence of front fences.
	 Where a fence is provided it is typically low and solid front fencing, up to 1m in height and constructed of brick.
	Gardens and Vegetation
	 Medium to high levels of vegetation, mix of formal and informal gardens with native and non-native species.
	Public Realm
	 Streets are wide and follow a curvilinear, court- based, street pattern with wide nature strips and reliance korts.
	 and rollover kerbs. Footpaths not always present on both sides of the street.
	 Some areas have substantial native and non-
	native canopy trees on nature strips.



38 Garden Court 2 Character Area Map

Preferred Character Statement

Streetscapes are dominated by a mix of indigenous and native canopy trees and vegetation. New development is nestled within sloping landforms and remnant vegetation and is consistent with the predominately low to medium scale built form, using consistent materials and simple building forms with low-pitched roofs and eaves.

Dwellings are visually obstructed and set behind indigenous tree canopy coverage and dense native vegetation. Spacious front and side setbacks provide for the continuation of established vegetation and understorey which responds to the slope of the land.

Garages and carports are often located to the side of the dwellings and are visually unobtrusive and compatible with the development.

Absent or low front fences enable views through to dwellings and lushly vegetated front garden areas which flow uninterrupted into the public realm.

Views to the Plenty River, the Diamond Creek, elevated ridgelines, vegetated areas, tree-canopy and Metropolitan Melbourne are retained.

Vistas around street bends and courts are characterised by nature strips featuring native vegetation and footpaths are on one side the street, enhancing the bushy garden character of the precinct.

Neighbourhood Character Objectives

- To ensure new development reflects the preferred built form and materials of the precinct, characterised by predominately low to medium scale dwellings with simple building forms and low-pitched roofs.
- To maintain and strengthen the bushy garden setting of the precinct by providing spacious front and side setbacks to allow for private landscaping and mix of indigenous and native canopy trees.
- To ensure new development does not dominate the streetscape but minimises the dominance of car parking access and structures instead.
- 4. To ensure new development provides reasonable sharing of public views to the Plenty River, the Diamond Creek, elevated ridgelines, vegetated areas, tree-canopy and Metropolitan Melbourne.
- To retain the spaciousness of the streetscape, characterised by absent, or low, front fences with views to front garden areas which flow into the public realm.



Greensborough







Design Guidelines - Garden Court 2

Character Elements	Design Responses
Building height and form	New development should complement the low to medium scale building height, simple forms and siting of existing dwellings.
	 Complement the building forms, materials, colour palette and siting of existing dwellings and articulate the front façades of buildings through the use of setbacks, recesses and windows.
	Roofs should provide prominent eaves.
	 Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site.
Siting and setbacks	• Set back dwellings at least 3m from one side boundary.
	\cdot Storeys above ground level should be recessed to minimise impact on the streetscape.
	Orient dwellings parallel to the street.
	Provide at least 30% of the site as permeable surface.
	 In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail.
	• Buildings should be sited to take into account the sharing of views of vegetated areas, tree-canopy coverage, elevated ridgelines and Metropolitan Melbourne.
	 If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of native vegetation and understorey vegetation.
Gardens and landscaping	Retain remnant indigenous understorey vegetation and existing native vegetation and trees, where possible and replant where appropriate.
	 Provide high canopy indigenous and native trees occurring at a density of one to every 200m² across the site.
	• Prepare a landscape plan to accompany all applications for new dwellings that utilise appropriate native species as identified in the <i>Nillumbik Live Local Plant Local Guide</i> .
	• The site area covered by buildings should not exceed 50 per cent.
Garage storage and vehicle access	 Locate garages and carports behind the line of the front dwelling façade, ensuring that they are integrated with the design of the dwelling.
	• Where a side by side development occurs, space the vehicle crossovers to retain the existing rhythm of the street.
	Minimise hard paving within the front setback.
	Provide only one vehicular crossover per typical site frontage.
	Provide landscaping and plantings to the soften the appearance of driveways.
Front Fencing	• Fencing should be set back from the front site boundary to allow for landscaping in front of the fence.
	• A front fence within 3 metres of a street:
	 should provide no or a low, open style of up to 0.8m in height or 0.5m in height if constructed in brick.
	 may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability.

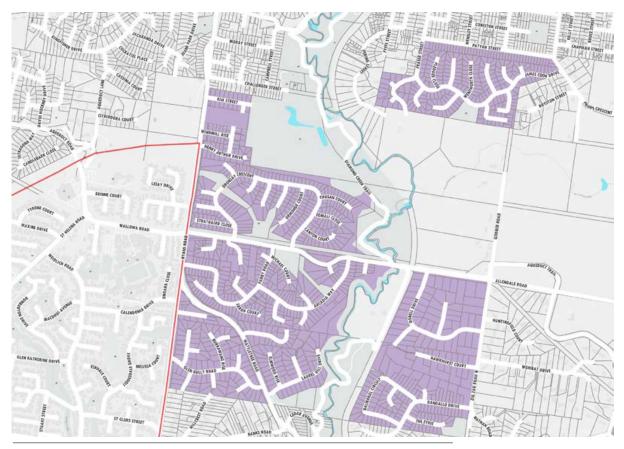
Zoom in Maps



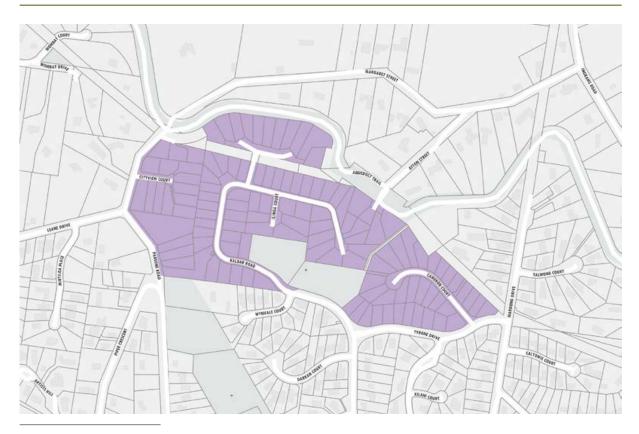
Garden Court 2 - Diamond Creek



Garden Court 2 - Diamond Creek / Wattle Glen



Garden Court 2 - Diamond Creek / Eltham North / Eltham



Garden Court 2 - Eltham

7.7 Garden Court 3

Character Description

The Garden Court 3 precinct comprises Contemporary building styles set within modern subdivisions layouts. Buildings are a mix of detached, single and double storey dwellings and are constructed from brick, render and other contemporary materials. Material finishes consist of muted tones and colours that fit within the landscape setting and roof forms vary. Dwellings are consistently setback from the front and side boundaries and a lack of front fencing creates an open streetscape. Formal garden settings are enhanced by a mix of native and non-native canopy trees, bushes, shrubs and garden beds.

A key characteristic is the intermittent views of surrounding landscapes and vegetation, afforded by curvilinear streets that respond to the undulating topography. Dwellings are often built to take advantage of the landscape, sited on steep hills or sinking below street level, with roof lines at eye level.

Planting in the public realm is generally low-level, with grassed nature strips being a common. Occasional remnant native canopy trees are planted on some streets. Footpaths are generally present and rollover kerbs are common throughout.

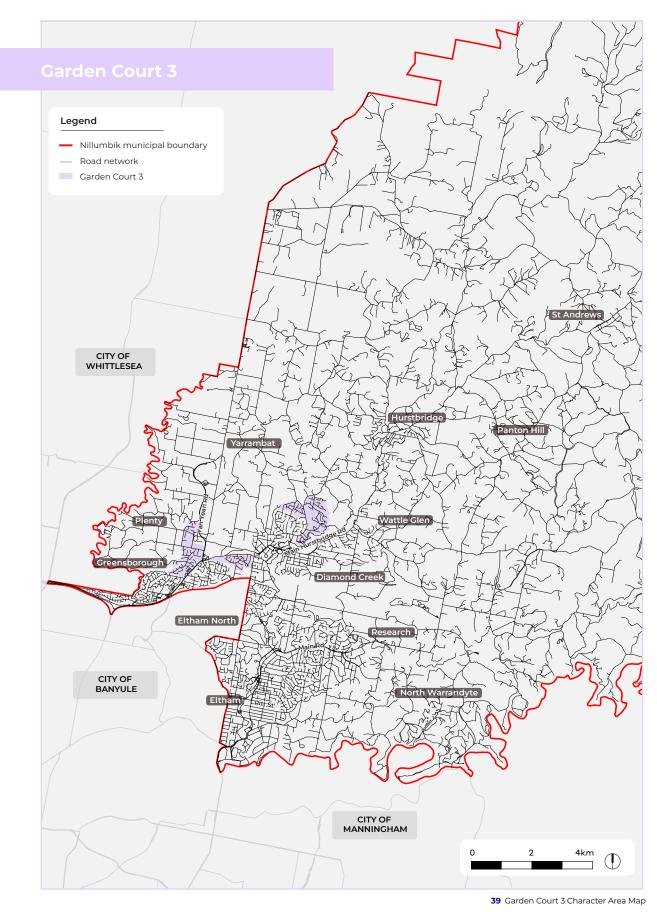




Diamond Creek

Character Attributes

	Architectural Style, form and layout
	Mix of Contemporary architectural styles developed from the 1990s to 2010s.
	Buildings are detached.
	 Front façades are articulated with the use of recesses, balconies, porch entrances, windows and doorways.
	Building materials
	 Predominantly brick or render, and other contemporary materials that are muted in tone.
	Building heights
	• 1 to 2 storey dwellings.
	Roof styles
\bigcirc	 Mix of pitched (gable or hip) or flat roofs, constructed of steel or tile.
	Garages and carports
	• Car parking is frequently constructed in line with the dwelling facade.
	Orientation and Siting
	 Buildings are oriented parallel to address the street.
	• Front setbacks are spacious, ranging from 4m to 9m.
	Side setbacks range from 2m to 4m.
	Front Fencing
	A predominant absence of front fences.
	 Where fencing is present it is low and incorporates permeable elements or vegetation to soften the appearance.
	Gardens and Vegetation
	 Low to medium levels of native and non- native vegetation.
	Public Realm
	• Streets have a modified grid layout, with wide curved roadways with cul-de-sacs.
	Drainage consists of rollover kerbs.
	 Footpaths not always present on both sides of the street.
	 Street trees feature many native species, are large in scale and irregularly planted.



Preferred Character Statement

New development is sited to take advantage of the views afforded by the undulating landscape and positively responds to the predominantly low scale, one to two storey dwellings, using consistent materials and simple building forms.

New development allows space for increased vegetation and planting of native canopy trees within the front and side setbacks, enhancing the garden setting.

Garages and carports are typically aligned with dwelling façades and are visually unobtrusive and compatible with the openness of streetscapes.

Absent or low front fences enable views through to dwellings and front garden areas, while intermittent views to the Plenty River, the Diamond Creek, elevated ridgelines, vegetated areas and canopy trees are retained.

Vistas around street bends and courts are commonly characterised by grassed nature strips and intermittent remnant native canopy trees, with a presence of footpaths on either side of the street.

Neighbourhood Character Objectives

- To ensure new development positively responds to the preferred building materials and styles of the precinct, characterised by predominantly low-scale 1-2 storey dwellings with a Contemporary architectural style that utilises natural materials with muted tones and colours.
- To encourage space for increased vegetation planting and native canopy trees within the private realm to enhance the garden setting of dwellings.
- To provide for car parking which is in alignment with the dwelling façade and ensure parking does not dominate the streetscape.
- To ensure new development provides reasonable sharing of views to the Plenty River, the Diamond Creek, elevated ridgelines, vegetated areas and native canopy trees.
- 5. To retain the spaciousness of the streetscape, characterised by absent, low, permeable fences located within dwelling front setbacks.



Plenty



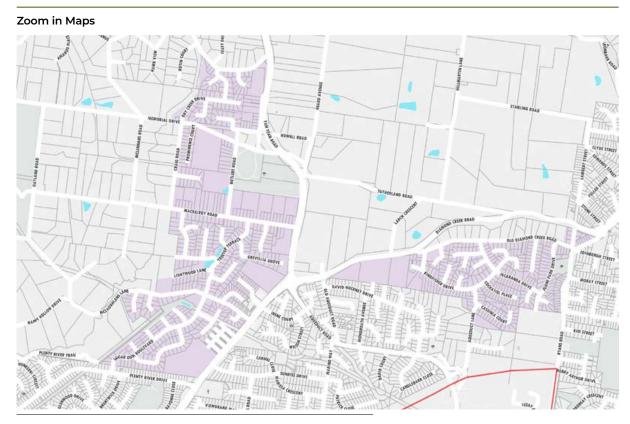
Diamond Creek





Design Guidelines - Garden Court 3

Building height and form	 New development should complement the 1-2 storey building height, simple forms and siting of existing dwellings.
	 Complement the building forms, natural materials, muted colour palette and siting of existing dwellings and articulate the front façades of buildings through the use of setbacks, recesses and windows.
	 Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site.
	• Buildings should be designed to follow the contours of the site or step down the site.
Siting and setbacks	Set back dwellings at least 3m from one side boundary.
	 Storeys above ground level should be recessed to maintain the appearance of low scale street frontages when viewed from the street
	Orient dwellings parallel to the street.
	 In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail.
	 Buildings should be sited to take into account the sharing of views corridors to the Plenty River, the Diamond Creek, elevated ridgelines, vegetated areas and canopy trees.
	• If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees and other native vegetation.
Gardens and landscaping	Retain established or large canopy trees and other native vegetation where possible.
	 Provide high canopy native trees occurring at a density of one to every 200-300m² across the site.
	 Prepare a landscape plan to accompany all applications for new dwellings that utilise appropriate native species as identified in the <i>Nillumbik Live Local Plant Local Guide</i>.
Garage storage and vehicle access	• Locate garages and carports behind the line of the front dwelling façade, ensuring that they are integrated with the design of the dwelling.
	• Where a side by side development occurs, space the vehicle crossovers to retain the existing rhythm of the street.
	· Limit the width of vehicle accessways and minimise hard paving within the front setback
	• Paths in the front setback should be integrated with the driveway to maximise space for landscaping and planting.
	Provide landscaping and plantings to the soften the appearance of driveways.
Front Fencing	 Fencing should be set back from the front site boundary to allow for landscaping in front of the fence.
	A front fence within 3 metres of a street:
	- should provide no or a low, open style up to 0.8m in height.
	 may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability.



Garden Court 3 - Greensborough / Plenty / Diamond Creek



Garden Court 3 - Diamond Creek

7.8 Garden Residential

Character Description

The Garden Residential Precinct is characterised by spacious residential areas with consistently sited dwellings in a garden setting. Dwellings have typically been developed in the Post-war era, interspersed by Modern and an increasing prevalence of Contemporary infill development. Buildings are generally constructed of weatherboard and brick and have pitched roofs.

Regular front and side setbacks create a sense of openness in the streetscape. Dwellings and front gardens, comprising of native and non-native vegetation, are clearly visible from the street due to low level gardens and front fences.

Streets have a formal subdivision pattern with modified grid layouts, have a wide cross section which are complemented with paved footpaths on both sides of the street and kerb and channel throughout. Nature strips within this precinct generally contain low to medium levels of vegetation, consisting of grassed nature strips and intermittent indigenous and native canopy tree coverage.



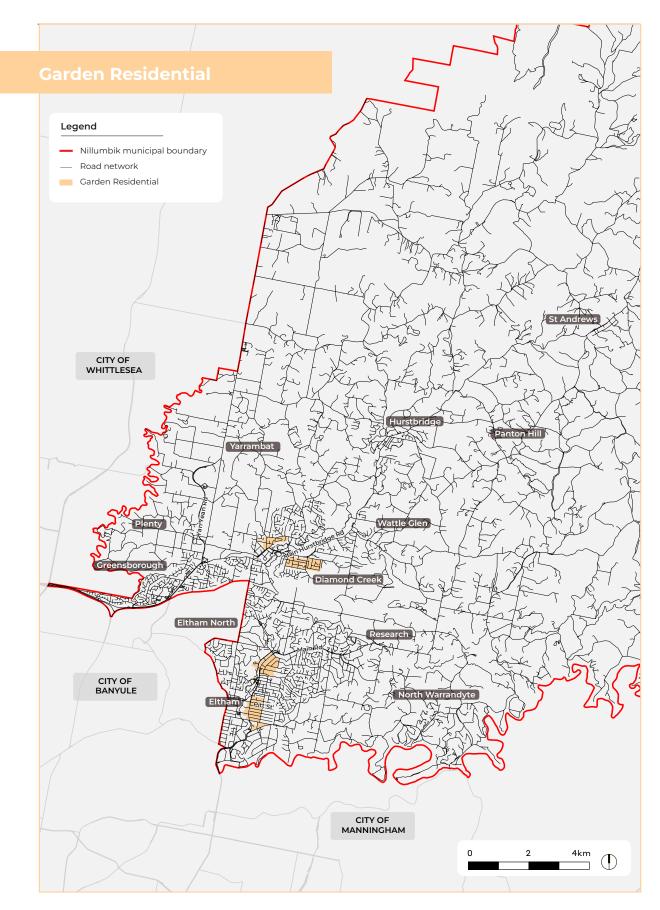
Diamond Creek



92 Draft Nillumbik Shire Neighbourhood Character Strategy

Character Attributes

Architectural Style, form and layout Mix of Postwar, Modern and Contemporary architectural styles constructed of brick or weatherboard. Buildings are generally detached with occasional semi-detached styles. Front façades are articulated with the use of recesses, balconies, porch entrances, windows and doorways **Building materials** Predominantly timber weatherboard or brick. **Building heights** · 1 to 2 storey dwellings. **Roof styles** Mix of low and high pitched (gable or hip) constructed of metal or tile. Garages and carports Car parking is mixed, located behind the facade of the dwelling or constructed on the side boundary. **Orientation and Siting** Buildings are oriented parallel to address the street. Front setbacks are spacious, ranging from 3m to 9m. Side setbacks range from 1m to 3m. **Front Fencing** Low or transparent front fencing, up to 1m in height and constructed of materials suited to the building. Gardens and Vegetation Well-maintained and low-level established planting, often featuring lawns and a mix of native and non-native planting. **Public Realm** Streets are wide and follow a formal grid layout with footpaths, nature strips and concrete kerbs and channels. Lower levels of vegetation with indigenous and native canopy trees planted on some nature strips. Grassy nature strips is a common sight. Flat to sloping topography.



Preferred Character Statement

New development is sited within the landscape to allow for increased vegetation and native canopy coverage. Built form reflects the low scale dwellings, using simple building forms with neutral building materials sympathetic to the existing weatherboard and brick dwellings. Buildings are articulated with recesses, porch areas and large windows, to complement the architectural detailing of the older style dwellings.

Consistent front and site setbacks create a sense of openness in the streetscape. New development allows for space for increased vegetation planting and indigenous and native canopy trees, contributing to the garden character.

Garages and carports are often located to the side of the dwellings and are visually unobtrusive and compatible with the development.

A mix of low scale and permeable front fencing allows for views to dwellings and front garden areas.

Streetscapes are often characterised by public spaces featuring a mix of native and non-native plantings, with a presence of paved footpaths on either side of the street.

Neighbourhood Character Objectives

- To ensure new development reflects the preferred built form, characterised by predominately 1-2 storey dwellings with a mixture of architectural styles that utilise natural materials and simple building forms.
- 2. To maintain and reinforce the predominant building alignment along the street, characterised by setbacks that contribute to the sense of openness.
- To encourage space for increased indigenous and native vegetation planting and canopy trees within the private realm, to strengthen the garden setting of dwellings and contribute to the enhancement of the public realm.
- To ensure new development does not dominate the streetscape but minimises the dominance of car parking access and structures instead.
- 5. To maintain the openness of the streetscape, characterised by absent front fences.









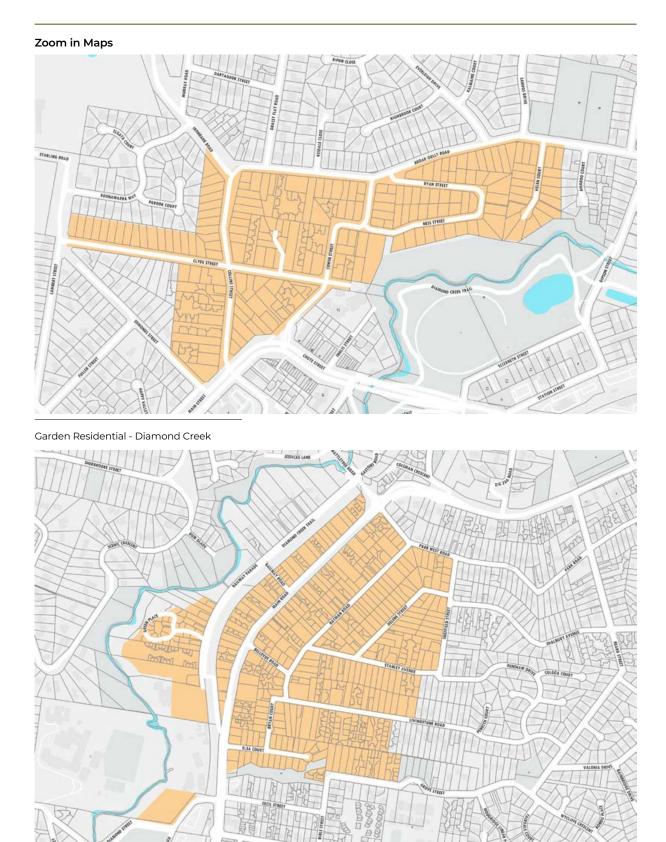


94



Design Guidelines - Garden Residential

Building height and form	New development should complement the 1-2 storey building height of existing dwellings.	
	Complement the simple building forms, neutral materials such as brick and weatherboard, and the siting of older, original dwellings.	
	Articulate the front façades of buildings through the use of recesses, balconies, porch entrances, windows and doorways.	
	Use contemporary design details that do not mimic older architectural styles.	
	Buildings should provide a pitched roof with prominent eaves.	
	In cases where eaves are not provided, alternative techniques to articulate the dwellin should be introduced, which may include window shading, window shrouds, and othe architectural features.	-
	Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site.	
Siting and setbacks	Buildings should be set back a minimum of 1m from one side boundary and 2m from other side boundary.	the
	ncorporate upper level setbacks to maintain the appearance of low scale street fronta when viewed from the street.	ages
	Orient dwellings parallel to the street.	
	In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail.	
	If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees and other vegetation.	
Gardens and landscaping	Prepare a landscape plan to accompany all applications for new dwellings that utilise appropriate native species as identified in the <i>Nillumbik Live Local Plant Local Guide</i> .	
	Retain indigenous and native canopy trees and other vegetation where possible.	
	Provide large canopy indigenous and/or native trees occurring at a density of one to e 200-300m² across the site.	very
Garage storage and vehicle access	Locate garages and carports behind the line of the front dwelling façade, ensuring the they are integrated with the design of the dwelling.	at
	Where a side by side development occurs, space the vehicle crossovers to retain the existing rhythm of the street.	
	Limit the width of vehicle accessways and minimise hard paving within the front setb	ack.
	Paths in the front setback should be integrated with the driveway to maximise space andscaping and planting.	for
	Provide only one vehicular crossover per typical site frontage.	
	Provide landscaping and plantings to the soften the appearance of driveways.	
Front Fencing	Fencing should be set back from the front site boundary to allow for landscaping in fr of the fence.	ront
	A front fence within 3 metres of a street:	
	should provide no or a low, visually permeable style up to 1m	
	in height, in an appropriate style for the dwelling.	
	 may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability. 	



Garden Residential - Eltham





Garden Residential - Diamond Creek

Rural Residential 1 7.9

Character Description

The Rural Residential 1 precinct is characterised by informal streetscapes and modern residential dwellings. Vegetation cover varies across the precinct, with dwellings set within either low or densely vegetated lots, comprising a mix of native and non-native species. Dwellings are generally single storey with large floor plates, and are constructed of brick and have hipped or pitched roofs.

The public realm is densely vegetated with native remnant trees. Significant front and side setbacks allow for the retention of remnant trees, as well as continued planting with native and non-native species and open lawns. Buildings are often obscured from view at street level due to density of the private and public realm vegetation.

The streets of this precinct have a largely informal character due to the high levels of roadside vegetation and general lack of public realm infrastructure; often without footpaths and unsealed roads and driveways. Low, post and wire fences delineate the boundary between the private and public realms.

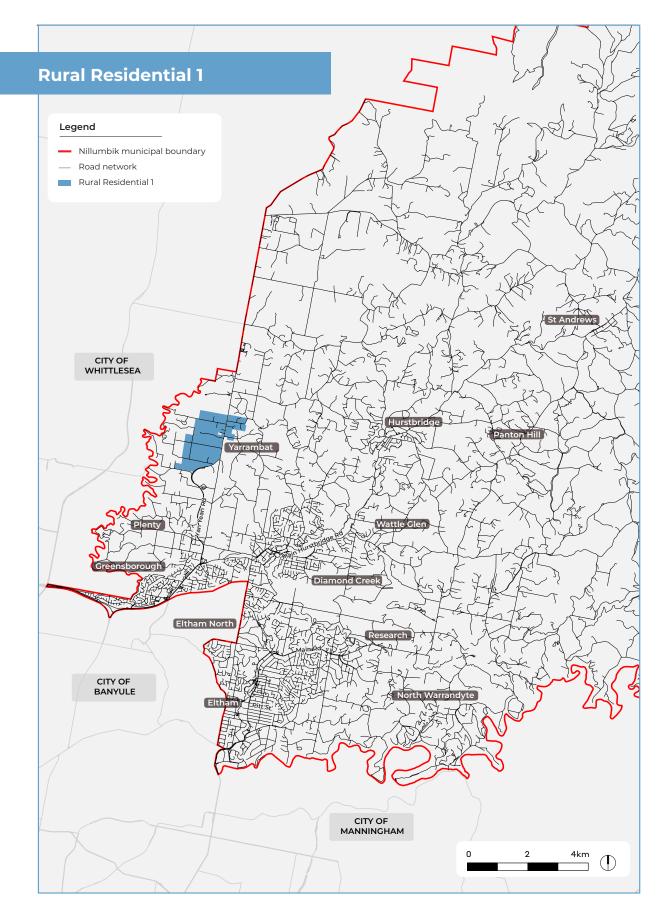




98 Draft Nillumbik Shire Neighbourhood Character Strategy

Character Attributes

	Architectural Style, form and layout
	 Predominantly Modern dwellings interspersed by Contemporary infill development, typically constructed of brick.
	Buildings are detached.
	 Front façades are articulated with the use of verandahs, windows, doorways and porch entries.
	Building materials
	Predominantly brick or rendered finish.
	Building heights
	Single storey dwellings with large floor plates.
	Roof styles
	 Predominantly hipped roof styles, constructed of metal or tile.
	Garages and carports
	• Car parking is often located behind or in line with the facade of the dwelling.
	Mix of sealed and unsealed, long driveways.
	Orientation and Siting
	Inconsistent siting and orientation of dwellings.
믹	Front setbacks are generous, in excess of 9m.
	 Dwellings are separated by spacious side setbacks, in excess of 4m.
	Front Fencing
	Low, transparent front fencing up to 1m and often constructed of post and wire.
	Gardens and Vegetation
	 Planting in front gardens is often a mix of densely vegetated native and non-native species.
	 High levels of native vegetation, including remnant trees.
	Public Realm
	 Informal street planting characterised by high levels of native remnant trees.
	Streets are typically straight and narrow.
	Informal streetscapes typically with no footpaths
	and no formal drainage infrastructure, usually in the form of trenches or swales.
	and no formal drainage infrastructure, usually in



Preferred Character Statement

Streetscapes are dominated by large indigenous and native canopy trees with supporting undergrowth. New development is sited to strengthen the vegetationdominated landscape. Informal bush gardens surround low scale dwellings on spacious lots. New development provides generous front and side setbacks to allow for the retention and continued planting of indigenous and native vegetation and open lawns.

New development reflects the low scale of dwellings, using simple building forms and low pitched roofs. Dwellings do not penetrate the existing remnant native tree canopy and are often obscured by dense roadside vegetation.

Dwellings utilise natural materials with muted tones and colours to fit within the vegetated landscape setting.

The streetscapes feature an informal character which embraces roadside vegetation and a mixture of sealed and unsealed roads.

Garages and carports are hidden from view, often located behind the line of the front dwelling façade and are integrated with the design of the dwelling.

Front fencing is low and permeable, blending with gardens and the unsealed roads.

Neighbourhood Character Objectives

- To ensure new development reflects the preferred built form, characterised by low scale dwellings with a contemporary architectural style that utilises natural materials with muted tones and colours.
- To ensure new development does not dominate the wider landscape setting nor penetrates the existing native tree canopy but instead sits behind trees and bushes, often obscured by the vegetation, and minimises site disturbance and the impact of buildings on the landscape.
- To strengthen the vegetation-dominated landscape, characterised by large rural lots with generous setbacks that allow retention of native remnant vegetation and continued planting of native trees and gardens.
- To ensure new development does not dominate the streetscape but minimises the dominance of car parking access and structures instead.
- 5. To retain low, permeable front fences that blend with gardens and existing vegetation that lines the street.



Yarrambat





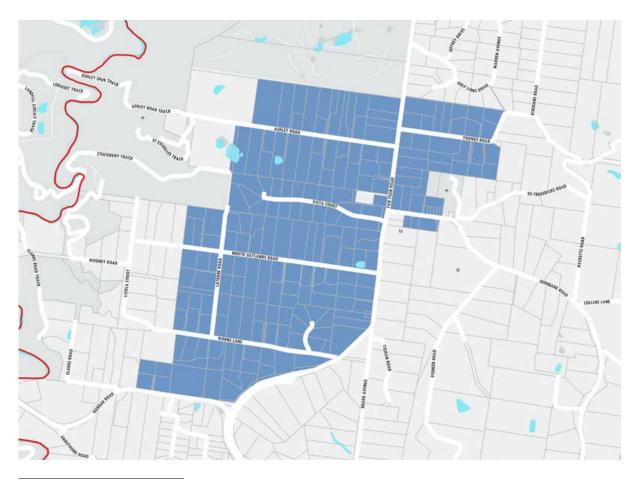




Design Guidelines - Rural Residential 1

Character Elements	Design Responses
Building height and form	New development should complement the single storey building height, building forms and large floor plates of existing dwellings.
	 Articulate the front façades of buildings through the use of verandahs, windows, doorways and porch entries.
	Complement the contemporary building forms, natural materials, muted colour palette and siting of existing dwellings.
	• Buildings should not penetrate the tree canopy, where a canopy is present.
	\cdot Buildings should be designed to follow the contours of the site or step down the site.
	• Buildings should provide a pitched roof with prominent eaves.
Siting and setbacks	 Buildings should be set back a minimum of 4m from both side boundaries to enable the planting of indigenous and native trees and understorey planting.
	\cdot The site area covered by buildings should not exceed 30 per cent.
	 Provide at least 50% of the site as permeable surface.
	 If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of indigenous and native canopy trees and other vegetation.
Gardens and landscaping	• Prepare a landscape plan to accompany all applications for new dwellings that include substantial native trees and species as identified in the <i>Nillumbik Live Local Plant Local Guide</i> .
	 Retain large, established indigenous and native canopy trees and understorey and provide for the planting of new native trees where possible.
	 Provide large native canopy trees occurring at a density of one to every 200m² across the site.
	 Buildings should be sited and designed to incorporate space for planting of native vegetation.
Garage storage and vehicle access	 Locate garages and carports behind the line of the front dwelling façade, ensuring that they are integrated with the design of the dwelling.
	Provide only one vehicular crossover per typical site frontage.
	Minimise paving in front garden areas including driveways and cross overs.
	Use permeable driveway materials.
	• Provide landscaping and plantings to the soften the appearance of driveways.
Front Fencing	 Fencing should be set back from the front site boundary to allow for landscaping in front of the fence.
	• A front fence within 3 metres of a street should provide low, open rural style or wire up to 1.2m in height.

Zoom in Maps



Rural Residential 1 - Yarrambat

7.10 Rural Residential 2

Character Description

The Rural Residential 2 precinct is characterised by formal streetscapes and a mix of Modern and Contemporary architectural styles. Dwellings have large floor plates and are generally built from brick, or concrete with a rendered finish. Dwellings feature generous front and side setbacks, allowing for landscaping and planting in private gardens.

Dwellings contain varying levels of planting and often feature a mix of native and non-native, strongly textured planting. Open lawns stretching from the dwelling to the street verge are also prominent throughout the precinct. Treatment of batters and slopes is often with walls or similar materials to the dwelling to create flat spaces that relate strongly to the dwelling. Absent, or low and permeable front fences constructed from timber allow for views through to dwellings and front garden areas.

The streets of this precinct are of a more formal setting in their character; sealed and have a wider cross section featuring rollover curbs. Footpaths are generally present on one side of the street.



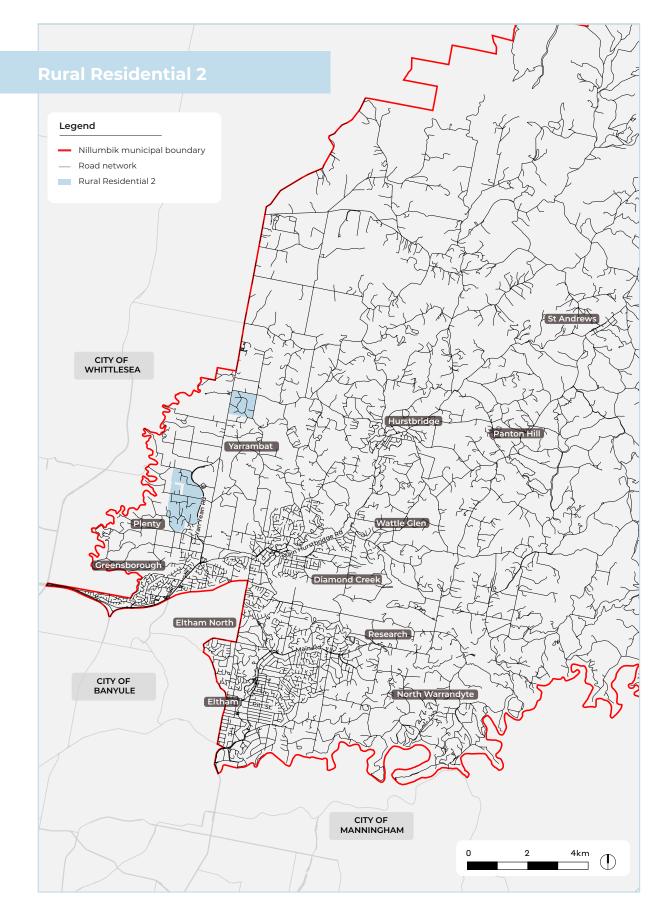
Yarrambat



Plenty

Character Attributes

Architectural Style, form and layout	
	 Predominantly Modern and Contemporary dwellings developed from the 1990s onwards. Buildings are detached. Front façades are articulated with the use of verandahs, balconies, windows, doorways and porch entries.
	Building materials
	Predominantly brick or rendered finish.
	Building heights
	Large, detached 1 to 2 storey dwellings.
	Roof styles
\bigcirc	Mix of pitched (gable or hip) or flat roofs constructed of metal or tile.
	Garages and carports
	 Car parking is often located behind or in line with the facade of the dwelling.
	 Driveways are sealed, long and occasionally steep.
	Orientation and Siting
	 Inconsistent siting and orientation of dwellings.
	• Front setbacks are generous, in excess of 9m.
	 Dwellings are separated by spacious side setbacks, in excess of 4m.
	Front Fencing
	• Mix of no or low, transparent front fencing up to 1m and often constructed of timber
	Gardens and Vegetation
	 Planting in front gardens is often low level and formally planted, with a vast expanses of open lawns.
	Public Realm
	 Streets have a modified grid layout, with curved roadways with cul-de-sacs.
	 Formal streetscapes typically with footpaths and formal drainage infrastructure.
	 Low to medium levels of native vegetation, including remnant trees.
	 Road surfaces vary between sealed and unsealed surfaces.
	Undulating to sloping topography.



Preferred Character Statement

New development is set within the sloping landscape and reflects the semi-rural character of low scale, 1-2 storey dwellings with a contemporary architectural style that utilises natural materials with muted tones and colours.

New development provides significant front and side setbacks to allow for the retention and continued planting of indigenous and native vegetation and canopy trees.

Dwellings are sited on large lots that accommodate a mixture of indigenous and native species, strongly textured planting and vast open lawns.

The streetscapes feature a formal character, with a presence of sealed roads and paved footpaths on either side of the street.

Garages and carports are often located behind the line of the front dwelling façade and are unobtrusive and integrated with the design of the dwelling.

Front fencing is absent or of a low rural style and permeable, allowing for views through to landscaping located in the front setbacks of dwellings.

Neighbourhood Character Objectives

- To ensure new development reflects the preferred 1. built form, characterised by low scale dwellings with a contemporary architectural style that utilises natural materials with muted tones and colours and contributes to a semi-rural character.
- 2. To ensure new development does not dominate the wider landscape setting but minimises site disturbance and the impact of buildings on the landscape instead.
- 3. To strengthen the vegetation-dominated landscape, characterised by large rural lots with significant setbacks that allow continued planting of indigenous and native vegetation and canopy trees.
- 4. To ensure new development does not dominate the streetscape but minimises the dominance of car parking access and structures instead.
- 5. To retain the spaciousness of the streetscape, characterised by no or low rural style, permeable front fences with views through to landscaping located in the front setbacks of dwellings.





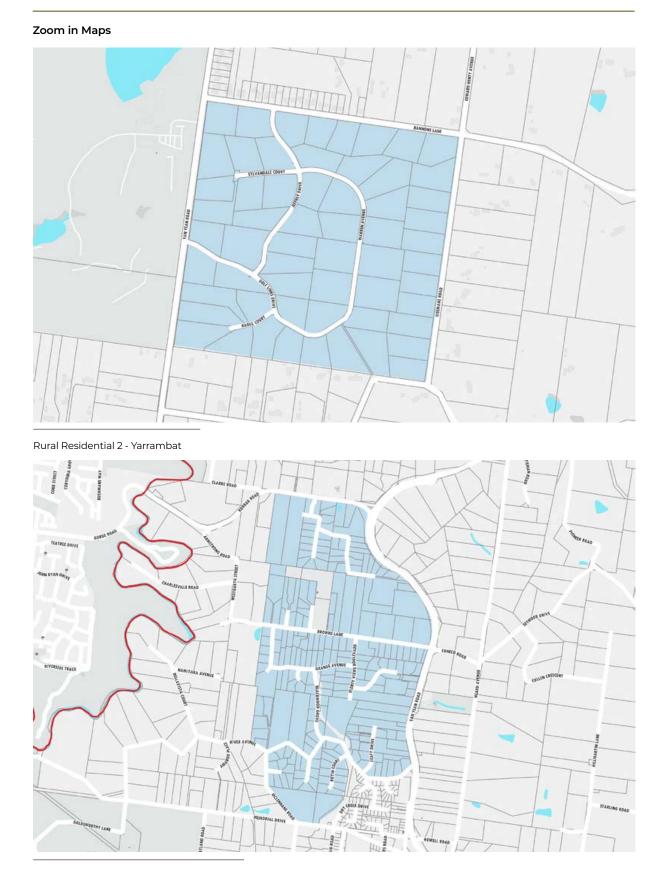






Design Guidelines - Rural Residential 2

Character Elements	Design Responses
Building height and form	New development should complement the 1-2 storey building height and larger building forms of existing dwellings.
	 Articulate the front façades of buildings through the use of verandahs, balconies, windows, doorways and porch entries.
	 Complement the contemporary building forms, natural materials, muted colour palette and siting of existing dwellings.
	 Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site.
	• Buildings should be designed to follow the contours of the site or step down the site.
	• Buildings should provide a pitched roof with prominent eaves.
Siting and setbacks	• Buildings should be set back a minimum of 4m from both side boundaries to enable the planting of native trees and understorey planting.
	• The site area covered by buildings should not exceed 30 per cent.
	Provide at least 50% of the site as permeable surface.
	 If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of native canopy trees and other native vegetation.
Gardens and landscaping	• Prepare a landscape plan to accompany all applications for new dwellings that include substantial native canopy trees and other native species as identified in the <i>Nillumbik Live Local Plant Local Guide</i> .
	 Provide large native canopy trees occurring at a density of one to every 300m² across the site.
Garage storage and vehicle access	 Locate garages and carports behind the line of the front dwelling façade, ensuring that they are integrated with the design of the dwelling.
	Provide only one vehicular crossover per typical site frontage.
	Minimise paving in front garden areas including driveways and cross overs.
	Use permeable driveway materials.
	Provide landscaping and plantings to the soften the appearance of driveways.
Front Fencing	 Fencing should be set back from the front site boundary to allow for landscaping in front of the fence.
	• A front fence within 3 metres of a street should provide low, open rural style or wire up to 1.2m in height.



Rural Residential 2 - Plenty/Yarrambat

8.0 Next Steps

8.1 Implementation

This Strategy recognises that Nillumbik Shire has seen change within its residential areas. Accordingly, the current 2001 Neighbourhood Character Strategy is dated and a new Strategy is required particularly to recognise developments in the overarching policy framework.

Implementing the recommendations of this updated Strategy can include a range of statutory and non-statutory mechanisms.

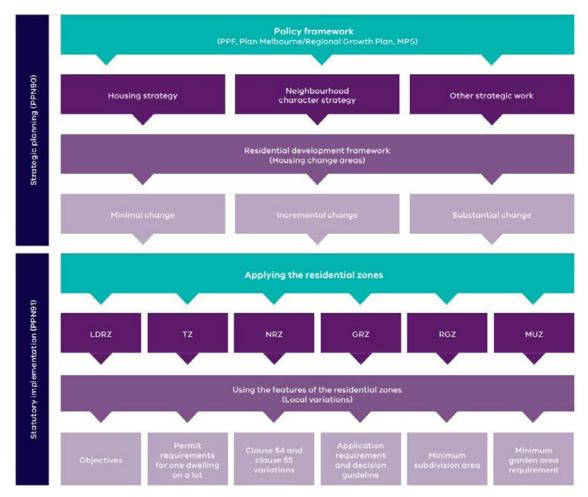
'Statutory' implementation, refers to the introduction of planning controls to the Nillumbik Shire Planning Scheme, that can be utilised to protect the character of the residential areas across the Shire, in accordance with the objectives and requirements of the identified Character Areas. This is in the form of Residential Zone and Overlay Schedules.

The implementation process also requires a 'non-statutory' yet equally important step of updating the Nillumbik Shire Planning Policy Framework (PPF) with the non measurable elements of the Character Areas Profiles including, Character Area Maps and character elements which cannot sit within a Zone or Overlay Schedule, which also assist in protecting and enhancing the character of these residential areas.

However, it should be noted that In accordance with Planning Practice Note 91: Using the Residential Zones, the application of zones should not be informed by Character alone, but derived from a municipal-wide strategic framework plan or residential development framework - Neighbourhood Character is one input into a larger strategic framework. The process for strategic planning and statutory implementation is shown in the figure overleaf.

The Neighbourhood Character areas identified in this Strategy will inform the preparation of a Housing Strategy and Residential Development Framework (to be undertaken as separate pieces of work), that will be implemented for residential areas in the Shire. The Housing Strategy will provide an opportunity to consider the extent of housing growth in residential areas. While preferred neighbourhood character will continue to be an important consideration in these areas, there is also a need to respond to State Government requirements for growth in residential supply and diversity. The Neighbourhood Character Strategy, Housing Strategy and Residential Development Framework will enable the Shire to meet future housing growth and demographic trends, while still ensuring new development reflects preferred character across the municipality.

Continued consultation with the Department of Environment, Land, Water and Planning (DELWP) is also critical in the later stages of the project, given the complexity and evolving nature of this space.



40 Balancing housing growth and protection of neighbourhood character, Planning Practice Note 91: Using the residential zones, 2019

8.2 Consultation

Consultation is playing a crucial role in informing the draft Strategy. Input from the community regarding what they value most about their neighbourhoods and how they would like to see new development managed has directly informed the preparation of this draft Neighbourhood Character Strategy.

The purpose of the second stage of consultation is to seek feedback on the Draft Strategy and test findings with the community on aspects including:

- · Identified Character Areas
- Character Area boundaries
- Preferred Character Statements
- Preferred Character Objectives
- Design Guidelines

This feedback will inform any updates to the final Strategy, which will be further tested with the community in a third round of 'Closing the Loop' engagement, which will seek to further confirm the updates to the Final Draft Strategy and confirm recommendations on implementation options and next steps.

8.3 Further Work

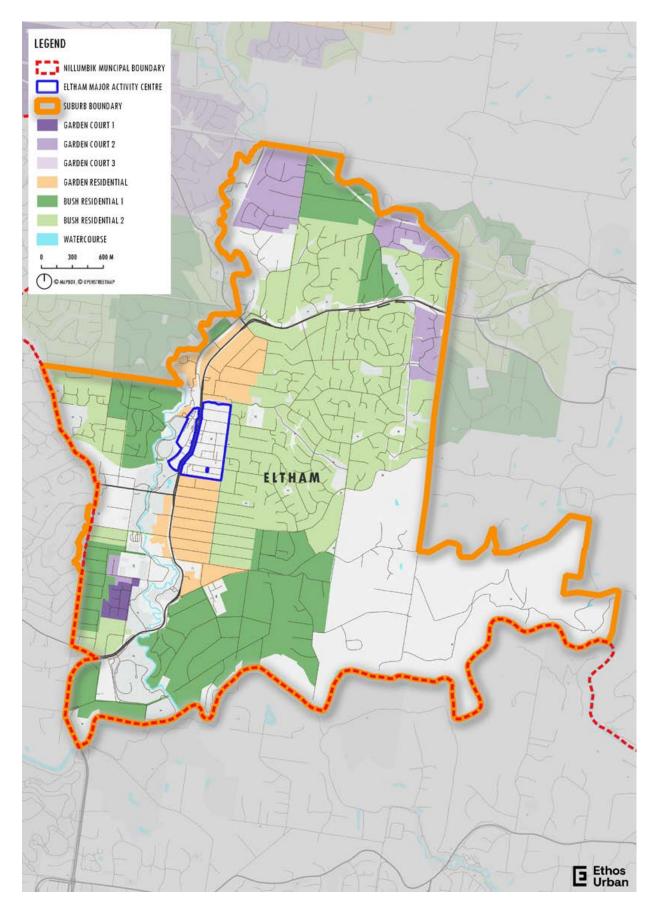
In this process of preparing this Strategy, the following additional further work has been identified to be undertaken:

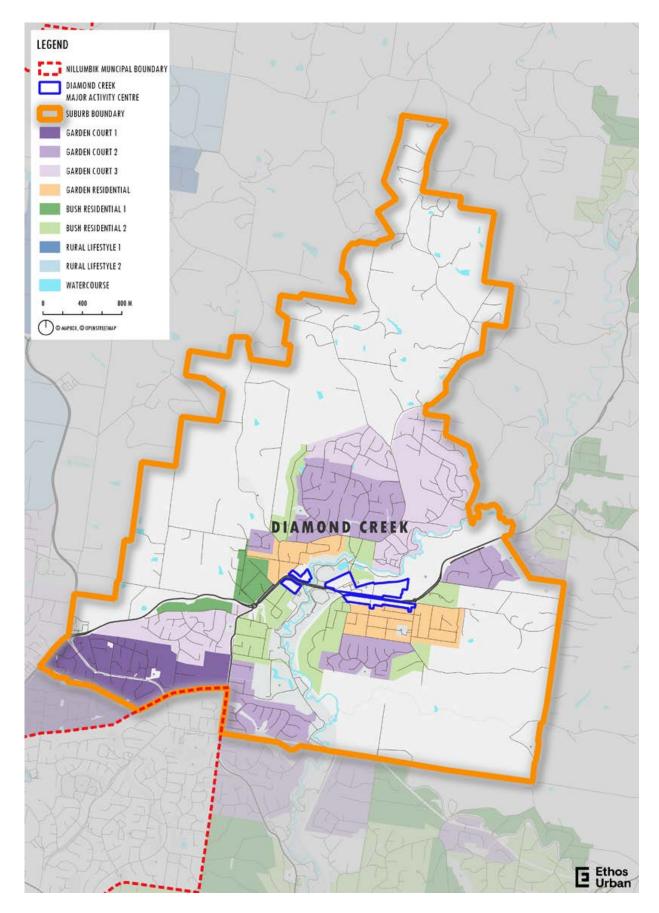
- Dwelling materiality and colour palette: further work to be undertaken to identify materials that are appropriate within the identified neighbourhood character settings while also responding to relevant ESD principles. Sustainability objectives are often at odds with the application of earthy and muted colours and materials.
- Specific guidelines for fencing: further work to be undertaken regarding which fencing materials best respond to neighbourhood character.
- Specific guidelines for vegetation: further work to be undertaken to identify the minimum deep soil areas required for the range of preferred tree species for the Shire.

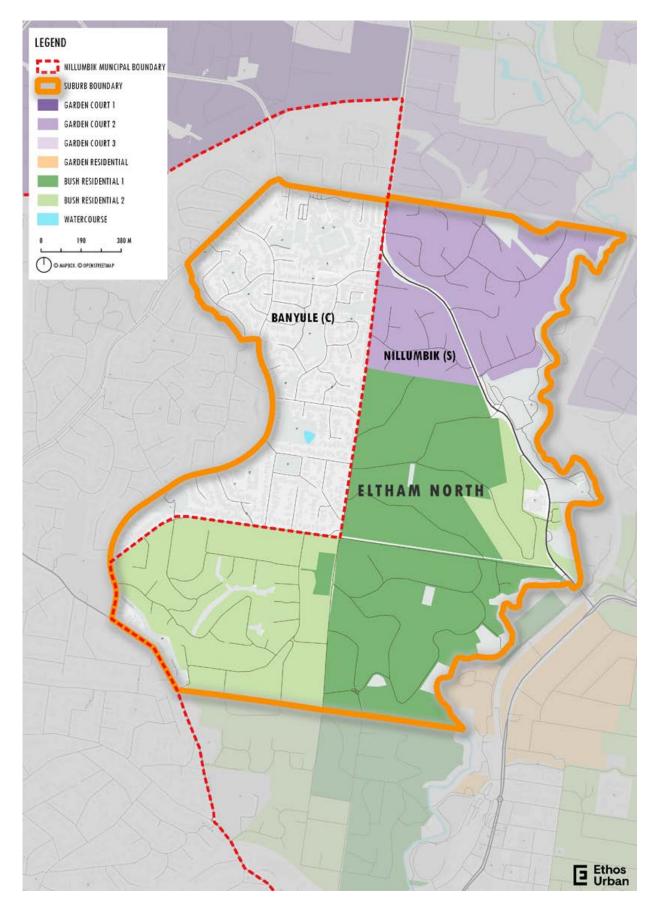
Appendix

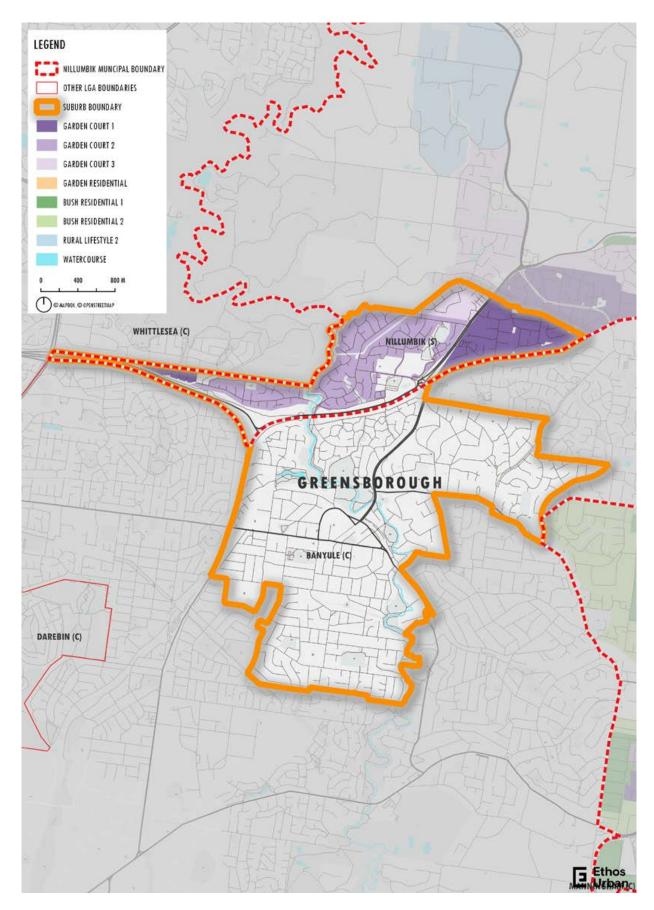
Locality Maps

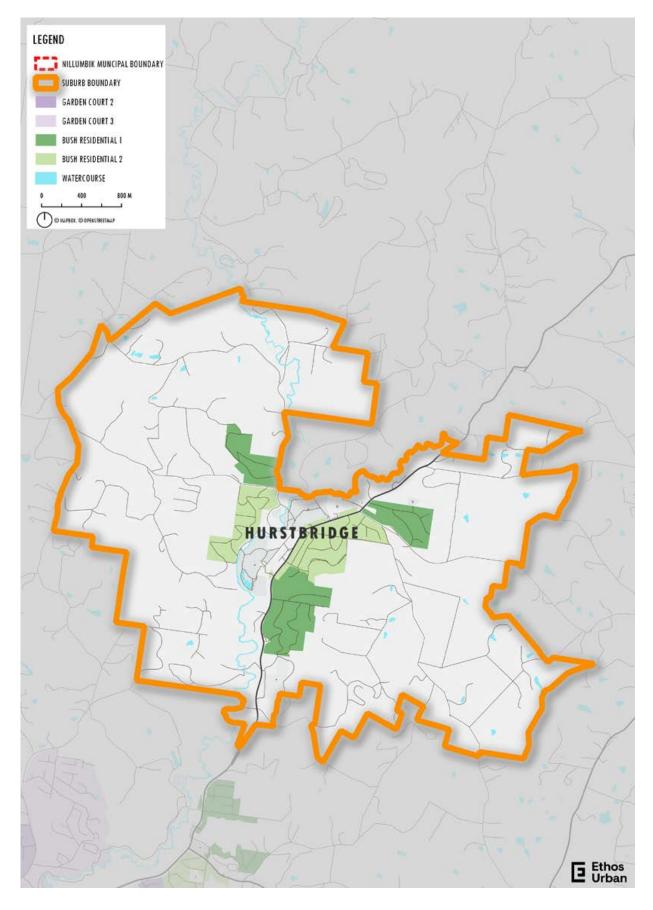
This appendix provides a snapshot of all character areas within the boundary of each locality in Nillumbik Shire.

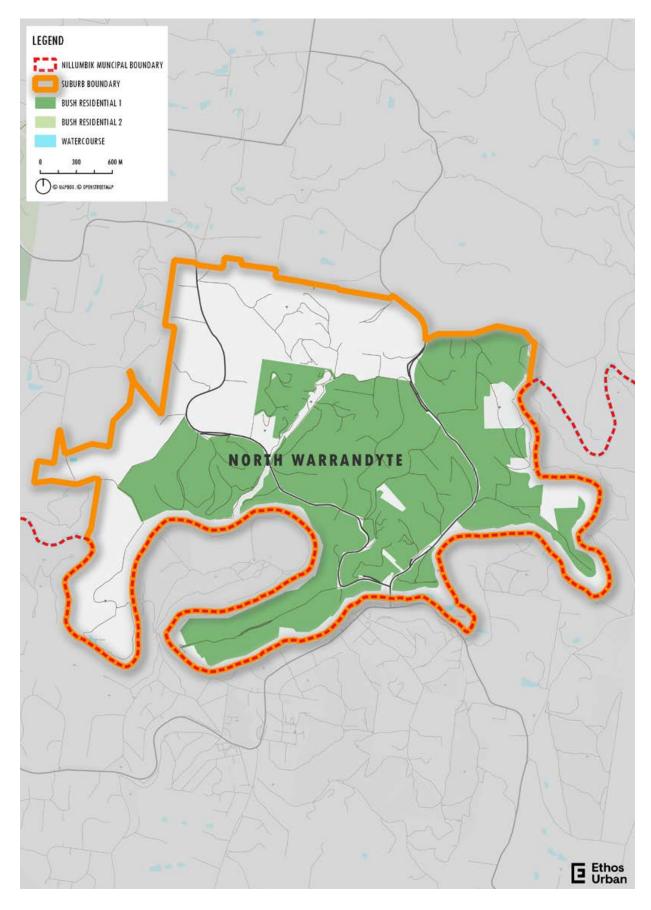


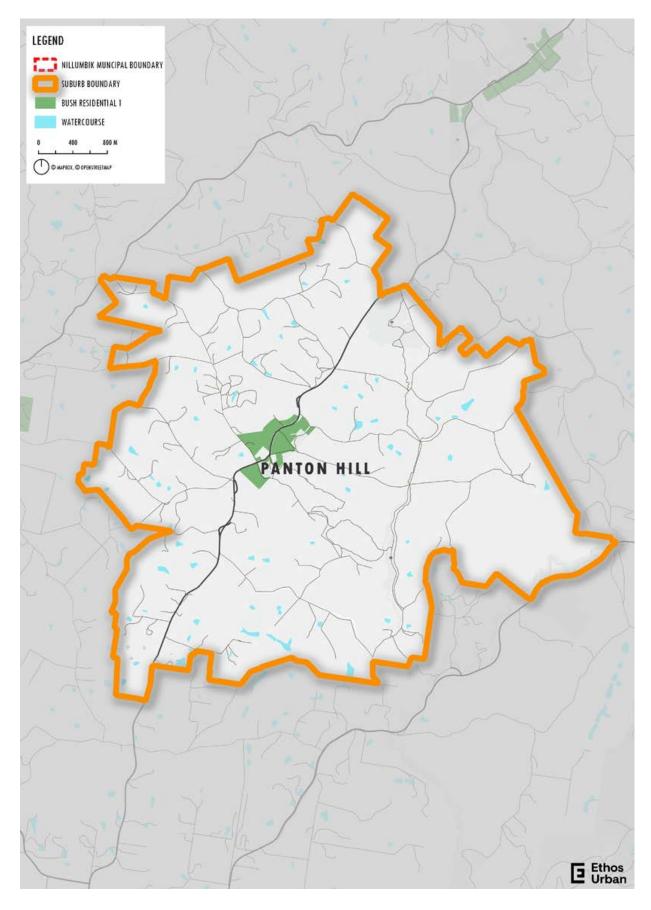


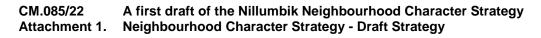


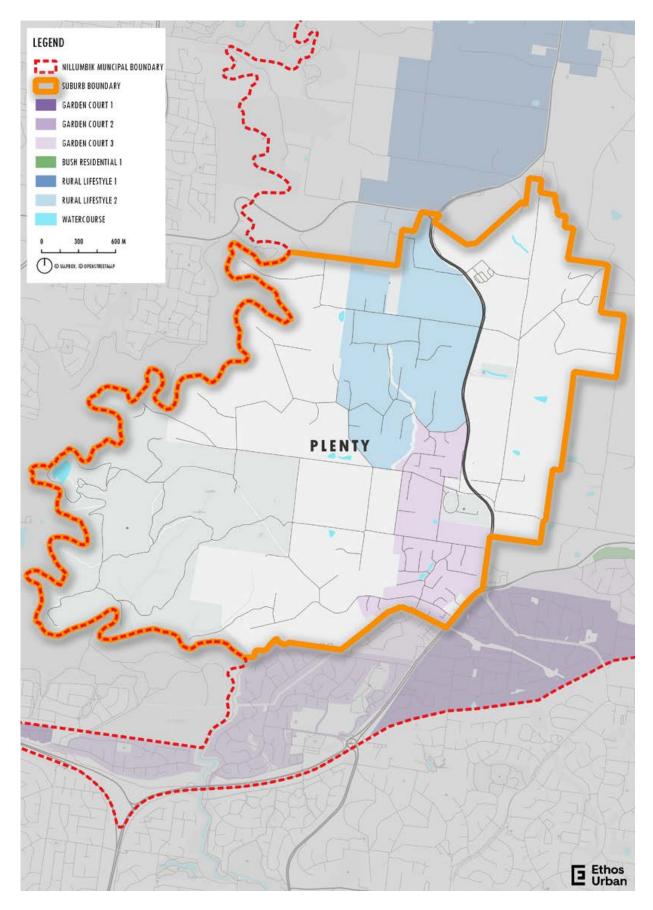


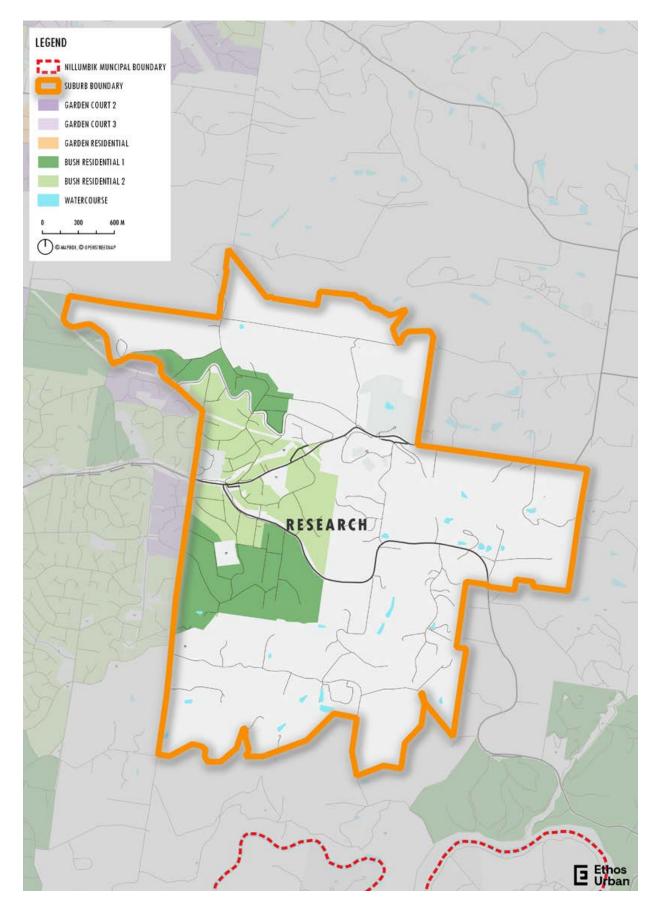


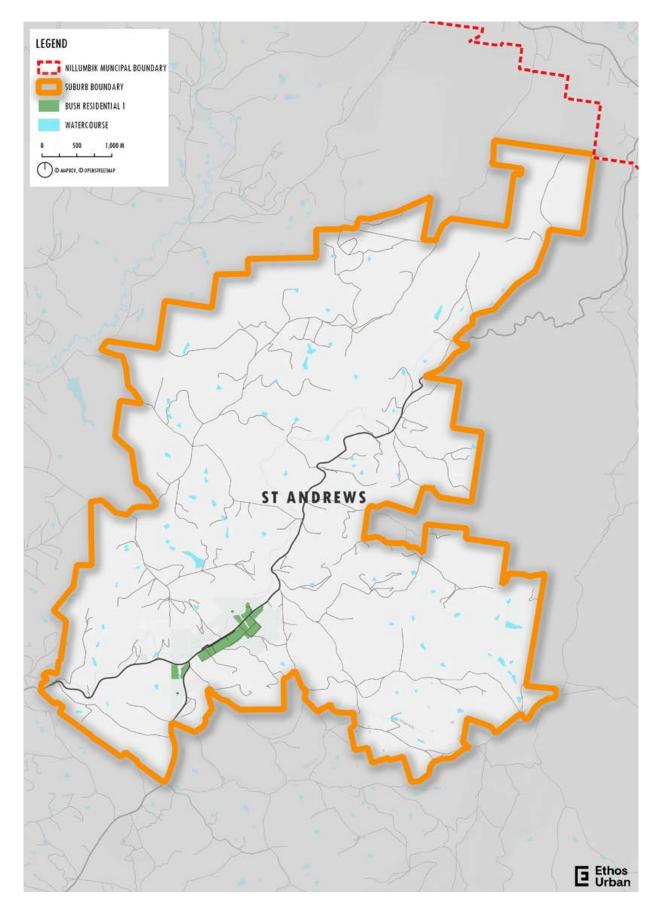


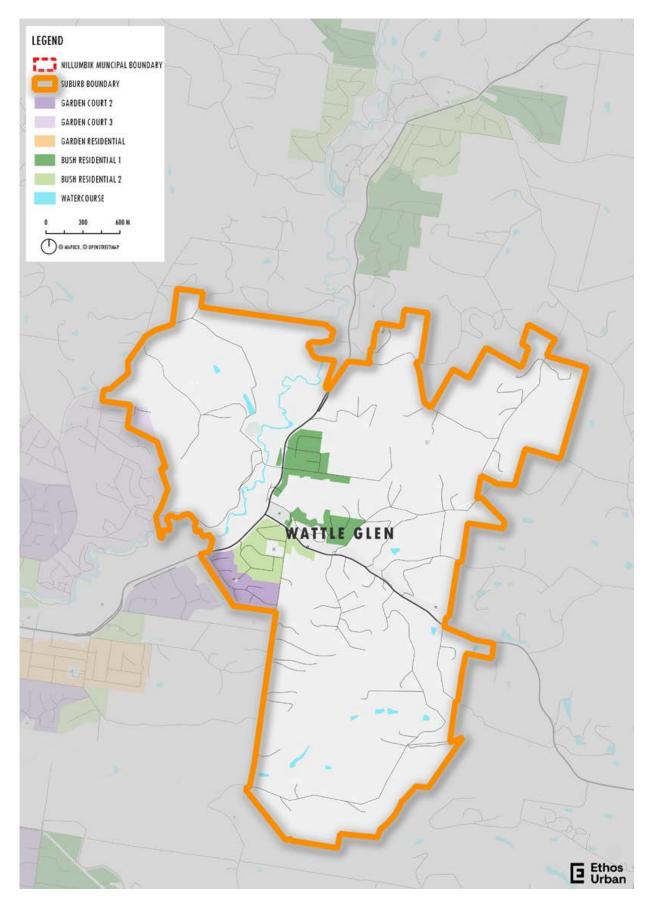














Attachment 1



Nillumbik Regional Art Gallery Feasibility Study Report

5 June 2019





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DISCLAIMER

This report is a confidential document prepared by the Outside the Square Creative Consulting Nillumbik Shire Council. OTSCC has undertaken this analysis within the scope and subject to the terms associated with the independent contractor agreement between Nillumbik Shire Council and Outside the Square Creative Consulting.

OTSCC has used the information provided through consultation, sought through industry benchmarking processes and industry experience to prepare this report. OTSCC accepts no responsibility for any differences in the financial estimates provided and current or future market conditions. We accept no liability for any loss suffered in connection with the use of this information.

Executive Summary

The purpose of the Nillumbik Regional Gallery feasibility study is to determine the feasibility of a regional gallery in Nillumbik Shire. This executive summary provides a brief overview of the key feasibility study findings.

Is a Nillumbik Regional Gallery feasible?

At the end of a comprehensive research and consultation process, **it has been concluded that a Nillumbik Regional Gallery is feasible** on the basis that:

- It is staffed by qualified and sufficiently senior and experienced staff
- There is ongoing commitment to and funding for high quality programming
- Council is prepared to provide ongoing operational subsidy
- Council is prepared to invest in the capital development and/or attract external funding for the development of the Regional Gallery

This study has confirmed that there is both a shortfall in the provision of professional quality exhibition and cultural venue facilities, and, strong, long standing community support for it to be provided in Nillumbik Shire. There is indication from the consultation and experience of other galleries that a Regional Gallery in Nillumbik will be well attended.

In addition to this:

- Review of Nillumbik Shires demographic profile finds a population with a high requirement for access to an active, cultural and sustainable lifestyle that is affordable and easily locally accessible. Such a lifestyle requires access to appropriate, fit for purpose facilities. Visual and performing arts facilities is an expectation.
- A number of Nillumbik core strategic documents identify the need for or support the development of a Regional Gallery
- There is compelling research evidence of the social, cultural, environmental and economic benefits of investment in cultural facilities
- The trend for increasing community attendance at and participation in visual and performing arts activities has been recorded by Australia Council for the Arts Third National Arts Participation Survey 2017.
- Consultation with and research about neighbouring municipality galleries and other public regional galleries indicates that all require financial subsidy to operate. None ran at a profit; however, their economic benefit was realised through (in some key cases) substantially increased area visitation and secondary spend on food, accommodation and other activities in the area.
- A preliminary economic impact assessment prepared by Nillumbik Shire Council shows that the development of the Nillumbik Regional Gallery is viable, with analysis of gallery's economic benefits (NPV* Benefits [net present value]) showing that the most significant areas of contribution are:
 - Exhibition entry fees (excluding block buster exhibitions) 29.4% (\$51,194,853 over a 30year period)
 - Donations and sponsorship 21.7% (\$37,781,783 over a 30-year period)
 - Visitor (Victorian) expenditure (restaurants, cafes and retail) 30.6% (\$53,341,989 over a 30-year period)

Site selection

A set of site assessment criteria has been developed to determine which of the identified potential sites is most suitable for the proposed gallery.

The site that is assessed as most suitable and therefore the preferred site for a Regional Gallery is 895 Main Road, Eltham.

The sites assessed and the scores they received, based on the assessment criteria, are:

No.	Site	Score
1.	3 Tulong Street, Hurstbridge (Tulong Res)	21
2.	34-38 Graysharps Road, Hurstbridge	32
3.	50/50A Challenger Street, Diamond Creek	33
4.	109-115 Yan Yean Road, Plenty	6
5.	895 Main Road, Eltham	59
6.	Montsalvat, 7 Hillcrest Avenue, Eltham	30

Component schedule

A component brief has been prepared for the Nillumbik Regional Gallery. It reflects the findings from project consultation, other venue benchmarking and industry best practice in terms of facility components required for a significant Regional Gallery and Cultural Centre.

The component brief details the vision, mission, design principles and the priority facility components that have been established to guide future facility layout plans.

The overarching (draft) vision for the Regional Gallery is:

Nillumbik Gallery is a living and interactive new art museum that reflects, nurtures, sustains and promotes a precious region that has an important association with working artists.

The key components recommended for inclusion into the facility are:

- Entrance foyer/gathering place
- Gallery/exhibition spaces (connection to entrance)
- Flexible multi-media and/or performance space with 250 300 seat retractable seating
- Rehearsal/studio space
- Retail area/s
- Café/restaurant
- Outdoor sculpture garden, plaza and/or gathering/performance area
- Artist studios

Preliminary capital cost plan

Quantity surveyors Turner and Townsend prepared a capital cost estimate for the proposed Regional Art Gallery.

The cost plan provides early and conservative cost estimates for all of the components identified in the component brief above. It is based on a generic site and is therefore subject to change on receipt of actual site information.

The preliminary capital cost estimate for a regional gallery that includes the range of components outlined in the component brief is estimated to be \$49,057,400.

Indicative operational modelling

An indicative operational budget has been prepared based on industry benchmarks and consultation. This indicates that the operational cost of the Regional Gallery over its first three years of operation will be:

Year 1: \$1,194,746 Year 2: \$1,174,033 Year 3: \$1,141,837

1.Introduction

Nillumbik Shire has a rich arts and cultural heritage with the area having a long-standing history of being home to many prominent artists and the location of a number of significant artist colonies.

Nillumbik Shire Council has committed to investing in the arts through strategic objective 2 of its Council Plan 2017-2021 whereby active lifestyles and artistic expression are fostered through participation and innovation.

This strategic objective is expanded by the Arts and Cultural Plan 2018-2022 which similarly works to the same objective through three goals:

- Public and participatory arts as an everyday experience
- Develop and grow creative and cultural industries
- Support and promote arts and cultural activities that maximise access

The Regional Art Gallery Feasibility Study is a key action within the Arts and Cultural Plan 2018-2022 and the Council Plan 2017-2021.

In late 2018, Council commissioned this study with the intention that it will position the organisation to undertake master planning, and subsequently attract state and federal funding for major capital works. The study considers:

- Use and demand for a Regional Art Gallery
- Assessment of appropriate locations
- Potential for co-location with other cultural infrastructure (such as pre-existing libraries, and performing arts spaces and theatres not currently in existence)
- Civil infrastructure necessities (such as roads, car parking, public transport)
- Ongoing operating costs required for a regional gallery
- Cost benefits, such as direct and indirect employment generation

1.1. Project methodology

The following details the methodology used to undertake the Nillumbik Regional Gallery Feasibility Study.

Stage	Tasks				
Situation Analysis	 Internal officer discussion Key document and relevant research review Demographic review Industry trends and case study review 				
Consultation	 Regional Gallery Community Summits Industry consultation interviews Stakeholder interviews 				
Strategic Planning	 Research and consultation synthesis and analysis Site assessment criteria development Sites assessment Vision and Mission confirmation Indicative operational cost assessment QS Cost Plan 				
Feasibility Report	 Draft report Review and feedback Final report 				

1.2. What is a Regional Gallery?

For the purpose of this study, a Regional Gallery is defined as follows:

A regional gallery is a vibrant, cohesive and inclusive not-for-profit public organisation that delivers inspiring visual art experiences which are relevant and accessible to the whole community.

Regional galleries aim to deliver valuable cultural, social and economic returns to diverse communities. They offer a welcoming environment in which art and art-making reflect the cultural experiences of the region and the nation; and inspires, stimulates and challenges visitors.

The primary functions of a regional gallery include to:

- collect and preserve works of art related to the region
- initiate major exhibitions, events and special programs
- host temporary touring exhibitions and displays
- provide engaging and education art-related experiences through appropriate, safe and wellmaintained facilities, programs, and publications and merchandise supporting the collection and local artists

The primary characteristics of a public library, museum or art gallery

- It is either:
 - a charity registered with Australian Charities and Not-for-profits Commission (ACNC), or operated by a registered charity
 - an Australian government agency (or operated by an Australian government agency).
- It has <u>public ownership agency</u>
- Its collection is made <u>available to the public</u>
- It is constituted as a <u>library, museum or art gallery</u>, other people recognise it as such, and it conducts itself in the ways that are consistent with such a character.
- It is an <u>institution</u>*

*Definition of Institution

A public library, museum or art gallery will be either a:

- separate legal entity, such as a corporation, unincorporated association or trust
- part of a legal entity where that part has a separate institutional character

For a part of an organisation to be a public library, museum or art gallery, it will be necessary that all the following apply:

- The affairs of the library, museum or art gallery are separate from the general affairs of the organisation
- The public can readily distinguish the library, museum or art gallery from the rest of the organisation
- The collection is readily identifiable to the public as the collection of a library, museum or art gallery
- The accounts of the library, museum or art gallery are separate from those of the rest of the organisation
- Any gifts made to the library, museum or art gallery will be used only for library, museum or art gallery purposes

2.Nillumbik profile

2.1. Resident profile

Nillumbik Shire is located on Melbourne's north eastern outskirts. The Shire has a total land area of about 432 square kilometres and includes urban and rural areas, rural townships, and is about 25 kilometres from Melbourne's CBD.

It is bounded by Murrindindi Shire in the north, the Yarra Ranges Council area in the east, the Manningham City Council area and the City of Banyule in the south, and the City of Whittlesea in the west.

Nillumbik Shire includes the suburbs and localities of Arthurs Creek, Bend of Islands, Christmas Hills, Cottles Bridge, Diamond Creek, Doreen (part), Eltham, Eltham North (part), Greensborough (part), Hurstbridge, Kangaroo Ground, Kinglake (part), Kinglake West (part), North Warrandyte, Nutfield, Panton Hill, Plenty, Research, Smiths Gully, St Andrews, Strathewen, Watsons Creek, Wattle Glen, Yan Yean (part) and Yarrambat.

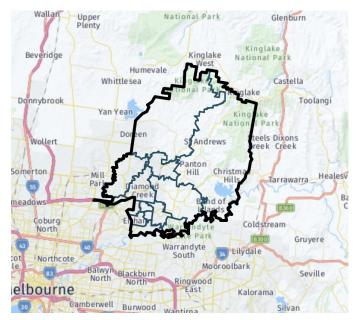


Figure 1: Shire of Nillumbik. Source - Profile ID, Nillumbik Shire Council website

2.2. Demographic review

A review of the demographic profile of the Nillumbik Shire area was undertaken based on information obtained from Nillumbik Shire Council's website that uses information provided by .id, an online demographic-based consulting company, that provides population expertise and demographic information.

Some of the key features of the shire's current and projected demographics that will impact or should be considered in planning arts and cultural facilities are provided below.

They characterise a population with a high requirement for access to an active, cultural and sustainable lifestyle that is affordable and easily locally accessible. Such a lifestyle requires access to appropriate, fit for purpose facilities. Visual and performing arts facilities are typically an expectation.

2.2.1. Population

The Nillumbik Shire had an estimated resident population in 2016 of 61,273 and the population forecast for 2018 is 64,493. The population is projected to grow to 70,391 by 2036, an increase of 9.14%. The Shire's actual and projected growth are lower than Victorian averages.

Almost half (49.40%) of the population were aged between 35 and 69 years of age in 2016. The largest group in the population were between 35 and 49 years representing 21.5% of the population. This was followed by 16% in the 49 to 59 age group and 11.9% in the 60 to 69-year age group.

As with Greater Melbourne, there are slightly more males than females within the population.

In 2016, 47.0% of households were made up of couples with children, compared with 33.5% in Greater Melbourne. The number of couples with children households in Nillumbik Shire decreased between 2001 and 2016 by 168 households. The next largest groups were couples without children at 24.7% and lone person households at 13.8% of the population.

2.2.2. Diversity

In 2016 15% of Nillumbik Shire residents were born overseas and 10.2% have arrived in Australia within the last 5 years, prior to 2016. 41.7% of the non-English speaking population in Nillumbik Shire were born in Australia.

50.6% of recent overseas arrivals spoke English only, and 48.9% spoke a non-English language, compared with 18.8% and 80.8% respectively for Greater Melbourne.

The most common languages spoken at home other than English are Mandarin, spoken by 29.3% of the population, followed by Africaans (7.6%), Persian (excluding Dari) (6.9%), Dutch (4.2%), and Thai (3.8%).

Overall, 65.8% of the overseas born population arrived before 2001, and 10.2% arrived during or after 2006, compared with 47.7% and 23.5% respectively for Greater Melbourne.

2.2.3. Disadvantage and social capital

95.7% of Nillumbik Shire's 34,030-person labour force was employed, and 4.3% unemployed, compared with 93.2% and 6.8% respectively for Greater Melbourne.

Individual weekly income of Nillumbik Shire residents compared to Greater Melbourne in 2016 shows that there was a higher proportion of people earning a high income (those earning \$1,750 per week or more) and a lower proportion of low-income people (those earning less than \$500 per week).

Overall, 16.4% of the population earned a high income, and 33.5% earned a low income, compared with 11.9% and 37.8% respectively for Greater Melbourne.

2.2.4. Arts participation and audience

2.3% of Nillumbik Shires population are employed in the Arts and Recreation sector.

2.2.5. Housing, homelessness and transport

Analysis of the housing tenure of Nillumbik Shire's population in 2016 compared to Greater Melbourne shows that there was a larger proportion of households who owned their dwelling; a larger proportion purchasing their dwelling; and a smaller proportion who were renters.

Overall, 37.6% of the population owned their dwelling; 47.8% were purchasing, 9.3% were renting compared with 29.0%, 34.3%, 2.6% and 25.8% respectively for Greater Melbourne.

74% of households in Nillumbik Shire had access to two or more motor vehicles, compared to 51% in Greater Melbourne.

3. The benefits and importance of Arts and Cultural Venues

3.1. Why are the arts important?

The level of arts and cultural activity within a community is recognised as an indicator of the quality of community life. The availability of arts and cultural activity is increasingly an expectation of modern, thriving places where people want to live and visit. Not everyone will be involved in all or

any arts and cultural activities in their town, but people still expect and want these options to be available.

Australian research indicates that arts and creative initiatives can and do contribute significantly to the economic, environmental, social and cultural development of communities.

In communities, a number of factors have been identified as critical to establishing sustainable local arts and creativity. They include:

- Valuing of local culture, history and heritage, local people, assets and characteristics
- Committed local leadership, positive attitudes, local entrepreneurship and investment
- Government commitment to the value of arts and culture in planning and public policy
- Recognition of the value of local cultural product and practices
- Support for arts in communities, especially through networks of regional arts development officers and assistance for volunteers (including training), and reduction of bureaucratic obstacles

This section looks at some of the key findings from research conducted over the last decade supporting the benefits and importance of Arts and Cultural activity and venues. 'If you don't have an art gallery you don't have a city'

In their endeavours to rethink what an art gallery is and could be, a select number of galleries, museums and other cultural venues throughout Australia have reset the bar on what the cultural sector can achieve and contribute to Australia and the world.

Regional galleries are now recognised as potential community hubs, while local councils harbour ambitions to emulate "The Bendigo Effect". Bendigo Art Gallery is the envy of galleries throughout regional Australia as the generator of \$20 million annually to its local economy. Its success stems from identifying a niche – largely fashion blockbusters – that attracts visitors from around the country. But the gallery doesn't attempt to do everything, says former director Karen Quinlan. According to its own postcode analysis, only 20 per cent of its visitors are locals. (Significantly as programs change, so does the 20 per cent mix.) Indeed Bendigo, with a population of 110,000, a large number of tourist attractions, and more community facilities, doesn't require one institution to do everything.

"Galleries have to think outside their inherited remit from the 19th century," Quinlan says. "You have to have a strong education program and public programming; you have to have cafes and a retail outlet." And exhibitions, of course, that excite a cross-section of people – her big shows have attracted a broad demographic from across the country.

Source: Branding the Arts. Demonstrating Impact – Four case studies of public art museums. November 2013

3.2. Australia Council for the Arts Third National Arts Participation Survey 2017: Impact of Art Gallery Provision

The Australia Council for the Arts *Connecting Australians: National Arts Participation Survey (a landmark series of three survey rounds conducted in 2009, 2013 and 2016)* confirms the significant and increasing personal value Australians place on the impact of the arts, and the ways in which they make our communities stronger and more cohesive.

Data from the survey found that where attending visual arts activities and events was particularly popular among older age groups in the first and second surveys (2009 and 2013), popularity, while remaining strong in older ages groups has grown significantly in the younger age groups in the 2016 survey.





Figure 2 Australians attendance at visual arts and crafts events and activities1

Figure 3 Australians attendance at theatre and dance events and activities²

¹ Australia Council for the Arts Connecting Australians: National Arts Participation Survey results 2009, 2013 and 2016

² Australia Council for the Arts Connecting Australians: National Arts Participation Survey results 2009, 2013 and 2016

CM.086/22 Regional / Municipal Gallery Business Case and Masterplan Attachment 1. Regional Gallery Feasibility Study



Figure 4 Australians attendance at music events and activities³

3.3. The role of arts and culture in livability and competitiveness

In 2007 Arts Victoria in association with Applied Economics prepared a submission to the Victorian Competition and Efficiency Commission's Inquiry into Enhancing Victoria's Livability called 'The Role of Arts and Culture in Livability and Competitiveness.' A submission identified that:

- "Livability is a broad concept which includes a combination of the social, cultural, economic and environmental attributes of a place. These attributes determine the attractiveness of a city or region as a place in which to work, live, invest and raise a family.
- There is increased competition, nationally and internationally, between cities and between
 regions to attract new residents and new businesses.
- Arts and culture contribute directly to the "sense of place" which attracts both residents and investors. There is a merging between the attributes of a city or region that are seen by individuals as offering them a better quality of life, or livability, and those attributes that are seen by investors or businesses as offering them competitive advantage, that is, contributing to the city or region's competitiveness.
- Vibrant and diverse arts and cultural activities are an important contribution to the liveliness and vitality of an urban environment.
- The arts also contribute to well-designed public space making a local environment more attractive and accessible. Engagement with the local community in the development and design of public artworks creates public spaces where people want to meet; enriches urban regeneration projects; and distinctly brands a region or suburb as a destination for new residents, tourists and business.
- Melbourne has a distinctive image as an international centre of innovation, including innovation in arts and culture. Melbourne is well-placed to build further on this sound reputation.
- Outer metropolitan areas and regional cities in Victoria are also investing in cultural infrastructure and activities to create vibrant and diverse local cultural offerings attractive to new residents. In particular, in regional centres, the presence of a diversified lifestyle and cultural choices has been shown to be a key driver of high economic performance."

³ Australia Council for the Arts Connecting Australians: National Arts Participation Survey results 2009, 2013 and 2016

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3.4. The economic impact of Arts and Culture

In 2013, Arts Victoria released its report Economic Impact of Arts and Culture in Victoria - Arts and culture are big business for Victoria (KPMG).

Based on the latest ABS Census data, the report found that the Victorian arts and culture sector generates widespread economic benefits as well as other benefits, such as contributing to livability, providing access to cultural experiences, and promoting innovation and creativity. It found that, in 2010-11:

- The Victorian arts and culture sector added direct value to the economy of \$6.1 billion and employed the equivalent of 68,000 full time workers.
- Taking into account links between the arts and cultural sector with the broader economy and calculating indirect impacts and flow-on effects the total contribution of the arts and sector was estimated as \$11.4 billion of annual Victorian gross state product and 110,000 Victorian full-time equivalent jobs.
- Cultural facilities and activities were an important drawcard for international and interstate visitors with close to 400,000 domestic and international cultural tourists (people who attend three or more cultural attractions during their visit) visiting Victoria in 2011.
- Cultural tourists made significant contribution into the state economy. Cultural tourists
 purchase other local goods and services, such as meals, accommodation, gifts and transport
 in addition to direct expenditure on cultural activities. This expenditure was estimated to be
 almost \$695 million in 2011.
- The economic value of Victoria's cultural sector was comparable to other industry sectors such as mining, electricity, and food and accommodation. It accounted for 3.1 per cent of the State's employment.
- Victorian Government funding of \$580 million is estimated to have stimulated around \$340 million contribution to the Gross State Product and an additional 3,500 full-time equivalent jobs representing a greater return on investment than other areas of Government.

3.5. Adding Value! A report on the economic impact of the cultural infrastructure of the Evocities of NSW

The Adding Value! report by Museums & Galleries of NSW published in 2014, confirms that cultural venues have bolstered regional domestic product and household income – a significant rise from the last survey in 2009.

The study examines the economic impact of cultural facilities operated by the Evocities of NSW. The Evocities are a partnership between Albury City Council, Armidale Dumaresq Council, Bathurst Regional Council, Dubbo City Council, Orange City Council, Tamworth Regional Council and Wagga Wagga City Council. The study was limited to economic impacts and did not take into account any of the social or artistic benefit that is derived from facility operations and their extensive public programs.

The study found that:

- Once the flow effects are taken into consideration the facilities provide a positive return on investment from Local, State and Federal government funding.
- There is a positive economic impact on the local and regional economies from the operations of the facilities, capital expenditure related to the facilities, and non-local (tourist) visitation in the financial year ending June 2013.
- There is a positive impact on employment and volunteering at the facilities on the local and regional economies

When flow on effects are taken into account, the 26 cultural facilities of the Evocities generate:

- An additional \$23.84 million from an initial impact of \$37.96 million dollars to create a total
 of \$61.81 million in goods and services at the last stage of production where they are ready
 for consumption. This total derived from operations (\$41.44 million), capital expenditure
 (\$2.43 million) and the impact of tourist visitation (\$17.93 million).
- An additional \$10.76 million from an initial impact of \$21.59 million to create a \$32.35 million in net value that is added to the regional gross economies. This is derived from operations (\$24.37 million), capital expenditure (\$820,000) and the impact of tourist visitation (\$7.16 million). This represents 0.24% of the combined Evocities' gross regional product.
- An additional \$4.86 million dollars from an initial impact of \$10.54 million to create \$15.40 million in income to households across the Evocities regions. This is derived from operations (\$11.35 million) capital expenditure (\$420,000) and the impact of tourist visitation (\$3.62 million). This represents 0.24% of regional household income of the combined Evocities
- An additional 8.5 full time equivalent positions for every 10 fulltime equivalent positions. This results in a total of 293 full time equivalent jobs which represents 0.27% of the total full-time equivalent employment for the seven Evocities. This is derived from economic impact of operations (210 FTE), capital expenditure (7 FTE) and the impact of tourist visitation (76 FTE).
- An average return on investment by Local, State and Federal government of 69%.
- Over 500 volunteers were engaged across the 26 facilities providing a combined contribution of almost 25,000 working hours conservatively valued at over \$500,000.

4. Strategic review

4.1. Previous Nillumbik studies, plans, documents and research

The feasibility of developing the Nillumbik Regional Gallery needs to be considered within the current local and regional strategic planning environment. As identified, one of the key principles underpinning this project is to support and where possible, further existing strategic visions and development plans.

Eight strategic documents with particular importance to Nillumbik, its local cultural, social and economic development and/or economic/cultural tourism development have been identified and reviewed for this project.

They are:

- Nillumbik Shire Council Plan 2017-2021, Living in the Landscape
- Nillumbik Arts and Cultural Plan 2018-2022, Celebrating Nillumbik's heARTbeat
- Draft Nillumbik Arts and Cultural Plan 2018-2022 and Discussion Paper, endorsed 14 November 2017
- Arts and Cultural Plan development survey 2017
- Nillumbik Shire Art Collection Policy 2014-2017
- Nillumbik Health and Wellbeing Plan 2017-2021
- Nillumbik Economic Development Strategy 2011-2016
- Nillumbik Destination Management Plan, November 2015

These documents contain visions, goals, strategies, priorities, recommendations and/or research that support or are supported by the Nillumbik Regional Gallery Feasibility Study.

The development of a regional gallery in Nillumbik is specifically identified as a priority in the Council Plan 2017-2021, the Arts and Cultural Plan 2018-2022 and the Nillumbik Economic Development Strategy 2011-2016:

- 1. Council Plan
 - Priority Action 2.2.4: Seek government funding for the development of a public art gallery
 of regional significance
- 2. Arts and Cultural Plan
 - Goal 2 Output: Development of gallery and theatre Master Plan

3. Economic Development Strategy

 Priority Action: Undertake a study to assess the feasibility of establishing a regional art gallery in the municipality, including potential opportunities to support the role of Monsalvat.

4. Nillumbik Arts and Cultural Plan 2018 – 2022 survey

The survey of Nillumbik residents conducted for development of the Arts and Cultural Plan 2018 – 2022 provided a number of significant indicators of the importance of and support for local exhibition space. A snapshot of this information is:

- People were asked to rate, on a scale of o (lowest) to 10 (greatest), in Nillumbik, what is the importance of the following arts and cultural programs and opportunities. The highest rated option was exhibition spaces with 44.14% of people rating as 10. 84.13% gave it a rating of 7 or higher.
- People were asked what the gaps in Arts and Cultural service provision/opportunities in Nillumbik were. Of the 37 individual comments made in relation to facility gaps:
 - o 24 identified gallery/exhibition space
 - 11 identified performing arts space
 - \circ $\$ 10 identified artist studio, workshop and/community art centre facilities

A review of the key strategic documents, showing where the project supports or is supported by these documents, has been summarised and can be found in Appendix 1.

5. Existing Nillumbik facilities stocktake

The Nillumbik Shire Council currently has five main opportunities to display and view the Nillumbik Art Collection and for the display and exhibition of the visual arts in the Shire.

Curated displays of the Nillumbik Art Collection can be viewed in person in both the foyer of the Shire Offices and the Civic Exhibition Space - access is via reception.

Rotating displays are presented in Eltham and Greensborough Libraries and the Eltham Community Reception Centre.

Larger exhibitions such as the Nillumbik Art Prize are presented at Montsalvat studios and gallery, Eltham.

5.1. Exhibition and Display

Nillumbik Council Offices and Foyer, Greensborough

Nillumbik Council Offices and Foyer is the primary venue for the display of the Art Collection. The entrance foyer(s) and surrounding staff areas and offices receive a changing rostrum of artworks, ranging from paintings, photography and drawing through to sculpture and ceramics. Short change over periods maximise access to the Art Collection and minimize exposure to the potentially harmful effects of light and changes in temperature and humidity.

In addition to the display of the main Art Collection, there are an additional 16 public sculptures and installations by recent and contemporary artists scattered at various locations around the Shire.

Eltham Community and Reception Centre

Larger 2-d works are displayed on a rotational basis in the refurbished Eltham Community and Reception Centre, on walls in the function space.

Yarra Plenty Regional Libraries

Works from the Council Art Collection are displayed on a rotational shared basis at the Regional Libraries at Eltham and Greensborough, on designated art walls and display cabinets. The display areas feature changing displays of the work of local artists, community groups and festivals.

The Eltham Library Community Gallery provides a dedicated art makers space which hosts changing exhibitions of artists and groups such as the Nillumbik Artists Open Studios. Collection works are not displayed in the Eltham Library Community Gallery as it is a hire/programmed space for artists in the community.

Bendigo Bank

The Bendigo Community Bank in Diamond Creek is another place to display 3D works (in a secure lockable cabinet), this is further way of displaying the Collection to community and building corporate relationships for future sponsorship.

Montsalvat

Montsalvat is a not-for-profit arts organisation that offers studio space and a commercial exhibition venue for artists and arts organisations, including the Barn Gallery, Long Gallery and Residents Gallery, and the Boulevard@Montsalvat.

In 2016 and 2018, Montsalvat hosted the Nillumbik Art Prize, a Council sponsored and run event, a biannual Collection based exhibition is also run biennially.

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The following table provides a summary of the facilities provided by the range of Nillumbik exhibition and display venues.

Table 1: Current Nillumbik exhibition and display facilities

Venue	Total Floor Area (sq. metres)	Total Wall Length (running metres)	Temp- erature Controls	Relative Humidity Controls	Low UV Emission Lighting	Access
Civic Exhibition Space, Civic Centre, Greensborough	30 sq. metres	12 metres	Yes	No	No	Office Hours and by appointment
Foyer, Civic Centre <i>Greensborough</i>	120 sq. metres	6 metres	Yes	No	No	Office Hours
Diamond Valley Library Greensborough	3 Cabinets 200cm x 60cm x 60cm	8 metres (back wall)	Yes	No	No	Library Hours
Eltham Library	Cabinets x 5 8ocm x 5ocm x 5ocm	6 metres (scattered around the Library)	Yes	No	No	Library Hours
Eltham Community and Recreation Centre	Walter Withers Gallery: 187.5 sq. metres Dorian Hall: 231 sq. metres	Walter Withers Gallery: 454 metres Dorian Hall: 50 metres	Yes	No	No	Venue Hours
Bendigo Community Bank Diamond Creek	Cabinet 16ocm x 12ocm x 5ocm	N/A	Yes	No	No	Bank Hours
Hurstbridge Community Hub	150 sq. metres Nakervis room: 2D works display only	10 metres	Yes No No		Venue Hours	
Art Storage Civic Centre Greensborough	15-20 sq. metres	N/A	Yes	No	No	Office hours and by appointment
Montsalvat Eltham (Collection exhibitions bi-annual)	275 sq. metres	55 metres	Yes	No	Yes	Venue/ Exhibition hours

5.1.1. Storage

The Nillumbik Art Collection has over 400 works of art including 16 sculptures in public places throughout the Shire. Artworks are sourced through the Nillumbik Art Award, donations from community groups and Shire Presidents and Mayors who have donated a work at the end of their term. The visual art collection includes two and three-dimensional contemporary and historical visual artworks of excellence, of traditional and non-traditional mediums, by emerging, mid-career and established artists.

Storage of the Nillumbik Art Collection ('the Art Collection') is shared with Council archives in a section of a basement at the Civic Offices in Greensborough. The allocated area measures approximately 32m² and contains some metal shelving.

Temperature control is the relevant building's air conditioning system, which is adjusted to cater for staff. There is no Relative Humidity Control system in the buildings and lighting is designed for energy efficiency, rather than specifically low UV.

The Collection (visual art, public art and civic memorabilia) was valued in 2016 for \$2.5 million.

6. Surrounding municipalities review

6.1. Neighbouring council and region venues and interviews

Local government makes up the largest single public agency for the exhibition and collection of both historical and contemporary visual arts in Victoria. There are currently 35 separate local government entities that collect, exhibit and interpret art.

Within a short reach of Nillumbik there are seven other local government owned and operated art collections and galleries.

- Hatch Contemporary Art Space, to be superseded by Ivanhoe Library and Cultural Hub, Banyule
- Bundoora Homestead Art Centre, Darebin
- Burrinja, Yarra Ranges
- Manningham Art Gallery, Manningham
- ArtSpace REALM/Maroondah Access Gallery, Maroondah
- Whitehorse Artspace, Whitehorse
- Marysville Information and Regional Artspace, Murrindindi Shire Council

Each of these Councils manage permanent collections and run dedicated exhibition spaces. The two are generally entwined – with the Collections activated through distinctive programming and collection policies. Most Councils see their collections as representing a significant community, cultural and educational asset.

In addition, there are three main private or independently operated venues in the region, including: Monsalvat, Eltham; Heide Museum of Modern Art, Bulleen; and Tarrawarra Art Museum, Healesville.

Interviews were undertaken with each of these galleries as part of this project.

6.1.1. Venues in surrounding municipalities

Banyule

Hatch Contemporary Arts Space is Banyule's premiere art gallery, however with the development of the Ivanhoe Library and Cultural Hub it is scheduled to close.

Currently, Hatch is a creative space to present a range of temporary exhibitions, performances, workshops and poetry readings, and more. Throughout the year Hatch also showcases the Banyule Art Collection, as well as providing a resource for local artists. The redevelopment of the former town hall in 2018 provides a purpose-built/adapted exhibition gallery suitable for Collection displays and temporary exhibitions.

There will be five dedicated arts components in the new Ivanhoe Library and Cultural Hub.

- The Main Gallery: the home for Banyule's Art Collection as well as quarterly exhibitions curated by Banyule's Art Curator. It will be designed to meet museum accreditation standards with regards to air management and security and thus be able to host touring exhibitions. It is situated in a prominent position adjacent to the main entrance of the new building.
- Community Access Gallery: will be a flexible space designed to meet the needs of Banyule's many artistic and cultural organisations. It will be used primarily for community exhibitions and will also have the capacity to host demonstrations, workshops and artist talks.
- Arts Studio and Workshop: is both a feature of the architecture as well as an active making space hosting: artist in residence programs, professional development activities for artists,

art classes and more – with a direct connection to the library's 'makers space' the studio will be the vibrant, creative heart of the new facility.

- Informal Theatrette: designed to be flexible and meet a range of needs for both the library
 and the performing arts community, it will be an acoustically dynamic space which will
 support a range of experiences, including, but not limited to author's talks, small musical
 ensemble, spoken word, children's and comedy performances. It also features an operable
 wall which creates an indoor / outdoor connection to the landscaped outdoor courtyard.
- Arts Storage: a purpose built and designed facility which is climate controlled and provides the storage equipment and space to ensure the security and longevity of Banyule's collection.

Darebin

Built in 1900, Bundoora Homestead is a Queen Anne style Federation mansion operating as a historic house, art gallery and café, registered by Heritage Victoria and certified by the National Trust. Bundoora Homestead Art Centre is the public art gallery for the City of Darebin hosting contemporary visual arts and craft exhibitions, a public education program including artist talks, workshops and events, and the biennial Darebin Art Prize. It comprises nine adjoining exhibition spaces.

Whittlesea

Whittlesea supports local artists by regularly exhibiting their artwork at community facilities and offering art programs through local neighbourhood and community houses. Each year they hold an art exhibition to showcase and celebrate the work of artists who live, work or are connected to the City of Whittlesea. There is no permanent exhibition gallery.

Manningham

Manningham Art Gallery presents an eclectic program of contemporary art exhibitions that includes curated group exhibitions, shows by emerging and mid-career Victorian artists and touring exhibitions from interstate and state galleries. The gallery regularly hosts exhibitions of work by celebrated Australian ceramic artists as well as the biennial Manningham Victorian Ceramic Art Award. It operates from a dedicated exhibition space.

Maroondah

Realm is Maroondah City Council's new library, cultural, knowledge and innovation centre, and home to the contemporary ArtSpace. The curated ArtSpace features contemporary exhibitions by leading artists and hosts a range of events, performances, workshops and artist-in-residence programs to engage community members and visitors to the municipality. In addition, Maroondah runs the Federation Estate Gallery, a space dedicated to community exhibitions and annual exhibitions from the permanent collection.

Yarra Ranges

Yarra Ranges Regional Museum opened in 2011. The museum features three exhibition spaces that present a range of historic and present-day exhibitions, a resource library, museum shop and café. In addition Yarra Ranges Shire operate Burrinja at Upwey, a multi-platform entertainment venue that comprises a theatre, dedicated gallery and café.

Murrindindi Shire Council

MiRA (Marysville Information + Regional Artspace) comprises a tourist information centre, a gallery, the Phoenix Museum as well as a retail space stocking locally made artisan wares and produce.

6.2. Dunmoochin and Montsalvat

Site visits and discussions were conducted with management at both Dunmoochin and Montsalvat. A summary of feedback from those meetings is recorded in the following sections.

6.2.1. Montsalvat

Montsalvat management provided the following background.

Montsalvat:

- Is Australia's oldest artists' community, set amid unique grounds and buildings, a place where art is made, taught, exhibited, performed and celebrated
- Was founded by Justus Jörgensen in 1934
- Throughout its history, has nurtured the creation of art in all its forms painting, drawing, sculpture, photography, film, jewellery, ceramics, glass, textiles, poetry and literature, drama, musical composition, performance and musical instrument making
- Is classified by the National Trust of Australia (Victoria)
- Is self-supporting. It receives no ongoing funding from state or federal governments.
- Is located in Eltham, thirty-five minutes from central Melbourne, at the entrance of the Yarra Valley
- Welcomes the local community and visitors to its exhibitions and performances. All visitors can enjoy its unique buildings, restaurant, extensive gardens and rich cultural history

In relation to potential development of a Regional Art Gallery in Nillumbik, management identified the following:

- Development of another gallery is on the agenda for Montsalvat
- The opportunity to develop the Nillumbik Regional Gallery on the grounds of Montsalvat would enable the gallery to take advantage of an already established reputation and visitor base
- Montsalvat is an iconic location. An estimated 50,000 people visit annually
- Entry/Exit is a problem. Hillcrest Avenue needs upgrade/improvement
- The vision for a new gallery at Monsalvat includes the gallery being on the hillside overlooking the cemetery. Ideally it will be underground. The overall development will include accommodation
- Monsalvat feel that their potential management of the Regional Gallery could ensure the independence of its operation
- The board has not yet developed feasibility or business planning solidifying the scope or intent of the gallery space at Montsalvat, however management believe there is a good opportunity to combine Council's community driven vision for a gallery, with Monsalvat's early vision work

6.2.2. The Dunmoochin Collection and Foundation

Dunmoochin derives its cultural and artistic heritage from the collaborative efforts of a group of artists who purchased land in Cottles Bridge in the early 1950's. These artists pioneered one of the first artistic communes in Australia and created a lasting vision of how a community can gain knowledge and inspiration from living in a close relationship with nature.

One of these artists, Clifton Pugh, achieved national and international recognition during his lifetime and in 1989 he established the Dunmoochin Foundation. Upon his death in 1990 he left an art collection and extensive properties within the Dunmoochin area, to be developed and maintained by the Dunmoochin Foundation.

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By preserving its natural and cultural heritage and providing access to its residential properties, studios and art collection, the Dunmoochin Foundation attracts Australian and international artists, environmentalists and scholars and promotes an understanding and appreciation of Australia's unique bushland and culture.

La Trobe University is the custodian for the Dunmoochin Foundation Art Collection. There are some three hundred works of art by Pugh and his artist friends who spent time at his Cottles Bridge property 'Dunmoochin'. The collection includes examples of Pugh's formal and intimate portraits, as well as works dealing with environmental issues and the artist's limited-edition prints. Among the friends whose works are in the collection are Rick Amor, John Brack, Frank Hodgkinson and John Olsen.

The Collection is currently stored at La Trobe University, exhibited in travelling exhibitions and included in displays around the University. However, while the Dunmoochin Foundation Collection has been in the university's custody since 1992 it is not legally owned by La Trobe University. At various times discussions have been held about returning it to the owners. Valued at several million dollars the Collection would however be put at risk if returned to the Foundation due to the ever-present threat of bushfire and other natural occurrences.

The opportunity for the Dunmoochin Collection, currently on loan to La Trobe University, to be loaned or donated to Nillumbik Council should a suitably equipped regional gallery be developed, should be further discussed with the collection owner. This has been reinforced by the Operational Manger of Dunmoochin, Barbara Joyce, who noted 'The Foundation has a significant art collection currently held through an Agreement with Latrobe University. It would be great to have various works displayed at a regional gallery. This is Australia's artistic heritage and the people should be able to view it.'

There was indication during consultation that there are at least two collections of art owned by local benefactors who may consider donating their works to a new regional gallery.

Collection Development Opportunities

Since its inception in the mid-nineteenth century, Victoria's premier network of regional galleries has benefited greatly from the generosity of local art collectors and patrons. Such patrons and collectors have established the core collections of galleries as well as played an ongoing role in their financial well-being.

As a region closely associated with many of Australia's most revered artists and artist-run galleries, studios and communities, the establishment of Nillumbik Regional Gallery would make it well-placed to capitalise on the association and goodwill of artists and collectors in its region. Several prominent arts identities and collectors have already made significant verbal commitments along these lines.

The acceptance of gifted artworks would potentially strengthen the Nillumbik collection, both through the donation of established collections as well as gifts of individual works by well-known artists. There is also the potential to gain significant financial advantages both in the formation period and once the Gallery is established.

6.3. Benchmarking

In addition to the exhibition spaces in adjoining municipalities, there are a range of larger municipal galleries within easy reach of Nillumbik, as well as private and predominantly state funded galleries which include Tarrawarra and Heide Museum of Modern Art.

Gallery	Description/Commentary				
 Town Hall Gallery, Boroondara Exhibition Space: 378m² Running Space: 112 lineal metres Back of House: 166m² approx. 	The Town Hall Gallery opened in late 2013 following a major refurbishment of the Hawthorn Town Hall. The Gallery hosts a range of touring exhibitions and curated exhibitions and is responsible for the storage and display of the Boroondara Art Council Collection. The Gallery consists of three interconnecting spaces. In addition				
	to the main gallery spaces there is a Community Project Wall. Back of house consists of collection store, curator's rooms and a loading bay.				
 Monash Gallery of Art, Wheelers Hill Exhibition Space: 468m² Running Space: 165 lineal metres Back of House: 100m² approx. 	Monash specialises in the collection of Australian photography. It has a permanent collection comprising over 1,700 works and the Gallery mounts around 20 exhibitions a year in the three spaces. The Gallery forms part of a building that includes the regional library and cafe, as well as about one hectare of surrounding landscaped open space.				
 Mornington Peninsula Regional Gallery, Mornington Exhibition Space: 441m² Running Space: 125 lineal metres Back of House: 100m² approx. 	The Gallery was established in 1971 and presents a changing program of exhibitions, workshops and events, including the biennial acquisitive National Works on Paper. In addition, it hosts touring exhibitions from galleries and organisations across the country and in 2013/14 hosted the Archibald Prize. The gallery has a permanent collection of around 2,000 works that focuses on works of cultural significance to the Mornington Peninsula and contemporary works on paper. Back of house includes a store and workspace as well as loading bay/crate store. Set in a 8-hectare civic reserve that houses the Shires main				
 Glen Eira Gallery Exhibition Space: 400m² Running Space: 130 lineal metres Back of House: 28m² approx. 	leisure centre, plans are underway to significantly increase the amount of exhibition and back of house space. The gallery was opened in 1975 and occupies the ground floor of the former Glen Eira town hall. It displays curated and touring exhibitions as well as displays the Glen Eira Collection of approximately 1,200 works. Spaces are available for hire, subject to availability, and the Gallery can be divided into one-third, half, or a flexible full-size gallery.				
 Tarrawarra Museum of Art, Healesville Exhibition Space: 534 m² Running Space: 152 lineal metres Back of House: 350 m² approx. 	The Tarrawarra Museum was founded by Eva and Marc Besen and opened in 2003. It was the first privately funded, significant visual arts museum and houses the Besen collection, and hosts a range of touring and curated exhibitions. Measurements included the three main gallery spaces, there is also a Vista Walk space that is occasionally used and provides an additional 73.5 running metres of exhibition space. Storage and delivery run the length of the building and is situated in the basement. The gallery is linked to a Tarrawarra restaurant via an outdoor courtyard and surrounded by vineyards and landscaped gardens.				

7.Case studies

7.1. Gallery examples

Public galleries and museums today endeavor to offer a multitude of experiences, roles and benefits that differ from a traditional 'white cube' approach.

They are 'not just a gallery' but meeting places that bring together like-minded people in new ways.

The new museums are:

- dynamic and inspiring incubators of visual arts practice and ideas
- reflective of diverse community aspirations and make-up
- welcoming meeting places
- sources of community pride
- an iconic building
- tourist attractions
- places to dine and sample regional fare
- where artists make, exhibit and sell their work
- environmentally and economically sustainable
- generate jobs
- a focus for the visual arts in the region

Throughout Australia and overseas there are an increasing number of older, redeveloped and newly built public art galleries that have responded to the challenges of the 21st century by developing state of the art facilities that provide for the future needs of its artists and engage with wider communities. The new gallery/museum model often includes a cluster of supportive facilities, spaces and retail opportunities.

A sample of four such galleries is presented in the following:

- Bunjil Place Gallery, City of Casey, Victoria
- Shepparton Art Museum (SAM), Victoria
- Museum of Murray Albury, (MAMA), Albury, NSW
- Tweed River Art Gallery and Margaret Olley Centre, Murwillumbah South, NSW
- Heide Museum of Modern Art

Bunjil Place Gallery, City of Casey, Victoria



Bunjil Art Gallery forms part of a larger purpose-built arts and civic precinct in Melbourne's south east that was developed and funded by the City of Casey in 2017. This multi-awarding building, designed by Francis-Jones Morehen and Thorp, is built in the form of an eagle landing on the plains and encompasses a regional gallery, multi-purpose black box studio, 800 seat theatre, three level regional library, Council offices, function room, café and outdoor plaza with a large digital screen.

Bunjil Place Gallery's exhibition program aims to present and promote the best Australian and international art that engages, challenges and inspires local audiences. The Gallery is driven by vibrant artistic programming, contemporary visitor experience and community engagement. The Gallery is built to international museum standards, includes fully digital and wi-fi capabilities and has a range of supporting back of house spaces, including: a separate storage room, workshop, offices, undercover loading bay, and access to the adjacent Black Box studio. The Gallery features four self-curated exhibitions and publications a year and uses the adjacent Black Box Theatre for talks and lectures, VCE student exhibitions and artists performances.

Since opening in late 2017, Bunjil Place has attracted over one million visitors with 50,000 people visiting the gallery in its first four months of operation. Bunjil Place Gallery will acquire significant Australian and international works of art through commissioning, donations and bequests that will be of benefit to the community of the City of Casey. In its entirety, Bunjil Place cost \$125 million to build with \$20 million coming from state and federal governments.

Crossovers with Nillumbik

- Responded to long-held community-perceived need for a dynamic cultural centre that included provision of spaces to meet, dine, view exhibitions, participate in theatre and enjoy the natural and built amenity of the area
- Links the main gallery space (one room of 340m²) with the adjoining Black Box Studio
- Cross-programming opportunities with library, theatre and restaurant/café
- Capacity for digital programming throughout building and incorporation of external large screen into adjacent amphitheatre
- Provision of flexible spaces suitable for student and community exhibitions
- An iconic and award-building that brings kudos to the region and promotes Casey worldwide

Shepparton Art Museum (SAM), Victoria



Shepparton Art Museum is one of Australia's leading art museums located in Greater Shepparton and the north central corridor of Victoria. Its purpose is to present great art to local and national audiences, through the development and care of collections, research, the curation of exhibitions and programs, the growth of digital strategies, and by playing a leading role within a thriving arts and cultural sector in Greater Shepparton.

Their vision is for a thriving visual arts community in which SAM plays a key role, and where it is celebrated for exciting exhibitions and programs, as part of a prosperous, resilient Greater Shepparton. As part of this strategy the new Shepparton Art Museum (SAM) building (currently under development at a cost of \$37m) will be an outstanding example of exciting, best-practice contemporary museum architecture, designed by internationally renowned architects Denton Corker Marshall. It will be a five-storey building housing the Museum, Visitor Centre, and the Kaiela Art Gallery and Studio. The 5,300m² building also houses a café and event space, with a rooftop viewing deck.

A 33m x 33m cube like form, the new Museum is located on the south-eastern corner of Victoria Park Lake to maximise SAM's greatest asset, the park setting. Four L-shaped plates, each of different heights, make up the building's façade. Each plate is of a different metallic finish: low sheen zinc on the southern approach; matt soft charcoal above the entry to SAM on Wyndham Street; metallic mid-grey facing the park; and rich ochre-red corten steel facing the lake and river plain.

Crossovers with Nillumbik

- An integrated cultural hub that brings together art, food and entertainment into one precinct
- A focus for visual arts in the region, a welcoming meeting place and an economic driver for the Shire
- An environmentally sustainable building that responds to its site and makes full use of the surrounding natural amenity
- An iconic building and cultural tourism destination
- Large spaces suitable for the display of the permanent collection, large touring and selfcurated exhibitions and ongoing local artist and community involvement

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Museum of Murray Albury, (MAMA), Albury, NSW



Murray Art Museum Albury (MAMA) is a contemporary art museum located in Albury, Australia. Formerly known as the Albury Regional Art Gallery, it was renamed as part of a \$11.3 million refurbishment which included renovations to the former gallery building, the neighbouring Burrows House and the extensions linking and extending both buildings into QEII Square. Space in MAMA has extended from 832m² to 2,036m² and has 10 gallery spaces over two levels. The building was designed by architect firm NBRS and Partners.

In its own words, MAMA has tried to reimagine what a gallery can be. It balances international touring exhibitions with connections to the surrounding regional area and cultural identity. Along with an emphasis on innovative, self-curated exhibitions, MAMA features a 24-hour 'art skin', interactive workshops and immersive cultural experiences.

In terms of economic performance, the first year (2015/2016) forecast impact of MAMA was a \$9.66M boost to the visitor economy, growing to \$12.2M after five years. In 2015/2016 given the results that had been achieved since reopening, the actual combined economic impact of the facility in its first year of operation was estimated to be in excess of \$20M.

An initial target \$1.05M of philanthropic support was identified as being required toward the capital cost of the facility. This was achieved and by 2016 had been exceeded with more than \$2M in donations or pledges received. Additionally, in the first nine months of operation, artwork valued at over \$750,000 had been donated to MAMA.

Crossovers with Nillumbik

- An integrated cultural hub that has reenergized the Albury City centre and become a source of community pride and activation
- Combines art displays with broadcasting and workshop studios, along with retail and commercial opportunities

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Tweed River Art Gallery and Margaret Olley Centre, Murwillumbah South NSW

Surrounded by beautiful gardens and lawns and offering panoramic views of the Tweed River, the Tweed Regional Gallery is an inspiring setting in which to view exhibitions, share lunch or visit the new Margaret Olley Centre nearby.

The Gallery's six exhibition spaces host a vibrant program of historical and contemporary touring exhibitions of national significance, alongside curated exhibitions of established national and regional artists. The program includes the Olive Cotton Award for photographic portraiture. The Gallery's collection includes a world class collection of portraits representing Australians from all walks of life.

Visitors can participate in the Gallery's variety of programs including public events, concerts, exhibition openings, artists' talks, demonstrations and workshops which cater for all ages. The Gallery also offers a workshop and education area, Gallery Café with indoor and outdoor seating, Gallery Shop and research library.

The Margaret Olley Art Centre (MOAC) is the third and final stage of the Tweed Regional Gallery. MOAC celebrates the career, life and legacy of its namesake, Margaret Olley – Australia's most celebrated painter of still life and interiors. It combines exhibitions of paintings and objects, an interactive multi-media drawing activity, research library and education workshop, and is complemented by the Nancy Fairfax Artist in Residence Studio.

Crossovers with Nillumbik

- Strong links with region known for its natural amenity and sympathetic built environment and built in direct response to the surrounding landscape
- Successfully combines passive and active artmaking and appreciation
- Tourist attraction and key economic driver

Heide Museum of Modern Art



Heide Museum of Modern Art is one of Australia's most important cultural institutions

Soon after purchasing it as their home in 1934, John and Sunday Reed opened it up to like-minded individuals such as artists Sidney Nolan, Albert Tucker, Joy Hester, John Perceval and Danila Vassilieff.

In the mid-1950s the Reeds established the Gallery of Contemporary Art and in 1958, with the assistance of friend and entrepreneur Georges Mora, they re-launched the gallery as the Museum of Modern Art of Australia. This eventually led to the formal establishment of the museum.

They accumulated a substantial collection of contemporary art and outgrew their original farmhouse, now known as Heide I. In 1964 they commissioned David McGlashan to construct a 'gallery to be lived in' (now known as Heidi II) which eventually opened as a public art museum in November 1981 following its purchase by the Victorian State Government.

The original Heide III building was designed by Andrew Andersons of Peddle Thorp Architects as a series of gallery spaces adjoining the Heide II building. O'Connor + Houle Architecture redeveloped Heide III in 2005–06, adding the Albert and Barbara Tucker Gallery, the Tucker Study Centre and Kerry Gardner and Andrew Myer Project Gallery; and designing renovations to the Central Galleries and Heide Store; and new amenities for storage and staff accommodation.

Heide is a not-for-profit entity formed in 1981 for the purposes of operating and managing the assets of Heide when it was purchased by the State Government. It derives its income from a range of sources including government grants, philanthropic and commercial activities and it operates with the support of over two hundred volunteers who work in Visitor Services, Education, Public Programs and the gardens.

Heide charges admission that covers entry to all three buildings and current exhibitions (there are no separate tickets for the different parts of the museum), but it has a membership program which is a once yearly payment that allows free entry into all exhibitions.

Open to the public all year round, Heide's gardens incorporate a sculpture park and several of the original gardens, which are now heritage listed. The café at Heide (Café Heide) focusses on providing great coffee, simple, fresh food that uses seasonal produce from the Heide I kitchen garden.

Crossovers with Nillumbik

- A culturally significant location and architecture and a cultural tourism destination
- Large spaces suitable for the display of the permanent collection, large touring and selfcurated exhibitions
- Successfully combines passive and active artmaking and appreciation

8. Consultation

8.1. Consultation findings overview

The consultation undertaken to inform the Nillumbik Regional Gallery Feasibility Report was comprehensive and included engagement with: community members, artists, arts and community organisations, schools, libraries, business and tourism associations, local businesses, relevant galleries and museums, and neighbouring local government authorities.

Following is an overview of the consultation methodology:

- Community Summits two summits were held and attracted approximately 60 participants
- Community Summit Surveys summit participants were also invited to complete a shortwritten survey and 48 people took the opportunity to complete the survey
- Online Survey 29 people completed the online survey
- Key Stakeholders a range of key stakeholders were engaged through interviews/discussions in person, by email and/or telephone (over 20), they included: local artists, community organisations, traders' associations, business and tourism associations, schools, libraries, arts and cultural businesses
- Discussions with Shire of Nillumbik relevant staff, and neighbouring Councils (3): Banyule, Yarra Ranges and Whittlesea
- Discussions with relevant galleries/museums (5)

A range of themes emerged from the consultation undertaken for the Nillumbik Regional Gallery Feasibility Study Report, these are outlined as follows:

1. A Cultural Precinct

There is a widely held view that Nillumbik needs a gallery and a clear understanding that the gallery needs to be, and can be, more than a traditional 'white cube'. The synergies created by bringing together art, environment, heritage and architecture are well understood, especially given the rich heritage of Nillumbik. There is a desire to create an iconic cultural precinct that is boldly contemporary and founded on Nillumbik's arts heritage.

2. The Arts Experience

There are high expectations for the gallery program to be contemporary and challenging, dynamic and diverse, featuring work of local artists, as well national and international, emerging and established artists. There is a desire for the program to have a comprehensive exhibition program, which includes touring and blockbuster shows, and encompasses Aboriginal art, new media and multimedia, and is interactive.

For the exhibition program to be enhanced and supported by public and education programs, as well as offering workshops for artists, a performing arts program - music, theatre, dance, film, concerts, and outdoor activities.

It is well understood that the visitor's arts experience is enhanced and complemented by incorporating a café or restaurant and a retail outlet into the cultural precinct, as well as complementary outdoor spaces.

3. Iconic Architecture

There is a desire and expectation that the architecture of the gallery will be iconic and contemporary, while referencing Nillumbik's unique and distinctive architectural heritage and relating strongly to the natural environment and landscape.

4. Cultural and Social Benefits

It is perceived that the gallery will create significant cultural and social benefits for Nillumbik, strengthening community identity and sense of belonging, creating a cultural hub, contributing to community wellbeing, community connections and community cohesiveness.

5. Accessible and All-Inclusive

It is a high priority for the Nillumbik community that the gallery is accessible and allinclusive. It is very important that the location and design of the gallery and its surrounds enables easy access regardless of ability. Easy access to public transport, ample parking for cars and buses, highly visible, inviting and accessible to passing traffic, including pedestrians – these are all important features.

There is a strong desire and commitment by the Nillumbik community for the gallery and its program to be all-inclusive, catering for all artists, the broader community, tourists and visitors, students and arts professionals.

6. Financial sustainability

The gallery is not expected to make a profit and there is a strong emphasis on valuing a gallery beyond an economic model with an emphasis on cultural, social, health and wellbeing value.

However, it is recognised that sound long-term business and financial planning is important for the success of the gallery and there are a range of strategies that could contribute to offsetting operational costs. It is understood that establishing and operating a gallery requires a significant investment and it is expected that Council will contribute and other sources of funding and sponsorship will be sought.

7. Independent and Professional

There is a preference for the gallery to be managed by an independent board with broad expertise and extensive experience, including artist representation. For the gallery to be run by professional staff with suitable qualifications, expertise and experience, and that they receive appropriate remuneration. Also, there is a need for a well-managed and resourced volunteer program to fulfill roles such as exhibition guides.

8. The Local Economy and Tourism

It is widely believed that a gallery will generate important economic benefits for Nillumbik through increased tourism and greater opportunities for the arts community, increasing demand in the service and hospitality sectors – local accommodation, cafes, restaurants, etc., and creating employment.

9. Sustainability

It is important to the Nillumbik community that the development and operation of the gallery is ecologically sustainable, that the gallery's design and the type of technologies used enable it to be very energy efficient and so more sustainable. There is an expectation the gallery will incorporate new 'green' technologies, be a leader.

10. Caring for and Appreciating the Shire Art Collection

The Nillumbik community has a long-held desire for the highly regarded Shire Art Collection to have a suitable home, to be well managed, accessible and to have the opportunity to grow. There is a high expectation that a Nillumbik gallery will achieve this.

11. The Gallery Facilities

To achieve the vision for the gallery it is well understood that the gallery needs to incorporate suitable and adequate facilities. Foremost multiple flexible exhibition spaces that have the capacity to accommodate contemporary art, including digital media, as well as a performance space or black box, and artists' studios and workshop spaces.

For these core spaces to be serviced by appropriate back-of-house facilities and infrastructure, including: staff offices, artwork storage, art conservation and preparation area, loading dock/s, climate control, state-of-the-art lighting, IT / AV / digital, and security.

Importantly a restaurant or café and a retail space, as well as outdoor spaces creating the essential indoor/outdoor connection, such as: deck/s, courtyard/s, community space, event space, amphitheater, relaxation contemplation space, sculpture park and gardens.

Greater detail of the consultation key findings can be found in Appendix 2.

9. Site selection

One of the key requirements of this project is to determine which, if any buildings/sites available are suitable for development of a significant gallery, and, if there is more than one, determine the preferred option.

A set of site assessment criteria has been developed to determine how suitable for the proposed gallery, each site is. The assessment criteria take into consideration all that has been learned through the consultation and research for this project, as well as from previous gallery planning and development projects undertaken by members of the consultant team, about the features that should be considered when developing such a space.

Council's strategic planning team undertook an initial scan to identify sites that could deliver on the site selection criteria. The sites initially identified were:

- 1. 3 Tulong Street, Hurstbridge (Tulong Res)
- 2. 34-38 Graysharps Road, Hurstbridge
- 3. 50/50A Challenger Street, Diamond Ck
- 4. 109-115 Yan Yean Road, Plenty
- 5. 895 Main Road, Eltham
- 6. Montsalvat, 7 Hillcrest Avenue, Eltham
- 7. 270 Christian Road, Cottles Bridge 3099
- 8. 550 Eltham-Yarra Glen Road, Kangaroo Ground 3097
- 9. 3 Tulong Street, Hurstbridge 3099
- 10. 4A Doowi Court, Greensborough 3088
- 11. 23 Knowle Grove, Hurstbridge 3099
- 12. 15 Treetop Terrace, Plenty 3090
- 13. 1 Antoinette Boulevard, Eltham 3095

Of the sites identified in the initial sweep, only sites 1 through to 6 were considered to provide enough of the site selection criteria to warrant a detailed review.

The various site criteria, as well as a 'scoring' system has been developed into a site assessment score card. The summary score card showing the final assessment results for each site/facility assessed, follows.

The detailed assessment for each site is provided in Appendix 3.

CM.086/22Regional / Municipal Gallery Business Case and MasterplanAttachment 1.Regional Gallery Feasibility Study

9.1. Site Assessment Scorecard - summary

			Available	Assessed Sites					
			score	3 Tulong	34-38	50/50A	109-115	895 Main	Montsalvat
		Highly Desirable	(5)best,	Street,	Graysharps	Challenger	Yan Yean	Road,	7 Hillcrest
Assessment		or Desirable	(1)worst	Hurstbridge	Road,	Street,	Road,	Eltham	Avenue,
Criteria	Components	Feature	Yes/No	(Tulong Res)	Hurstbridge	Diamond Ck	Plenty		Eltham
Proximity to Activity Centre	Location close to passing people traffic	Highly Desirable	Yes/No	N	N	N	N	Y	N
	Location close to local schools	Highly Desirable	Yes/No	N	Y	Y	N	Y	N
	Location close to shops, offices, pubs, restaurants	Highly Desirable	Yes/No	N	N	N	N	Y	N
	Location close public transport (bus, train)	Highly Desirable	Yes/No	N	Y	N	N	Y	N
	Location has adequate public car parking	Highly Desirable	Yes/No	N	Y	N	N	N	N
Site size	Capacity to fit the proposed scale of facility and all its components?	Highly Desirable	Yes/No	Y	N	Y	N	Y	N
	Capacity to accommodate associated outdoor events/activities?	Highly Desirable	Yes/No	Y	N	Y	N	N	Y
	Capacity for the building to be expanded and/or additional facilities to be developed on the site?	Highly Desirable	Yes/No	N	N	Y	N	N	N
View, orientation and topography	Is the site attractive/conducive to a gallery?	Highly Desirable	Yes/No	N	N	Y	N	Y	Y
	ls the site's zoning/planning conducive to development of a Regional Gallery?	Desirable	1-5	2	4	1	1	5	1
	Will the site require significant roads/footpaths upgrades?	Highly Desirable	Yes/No	N	N	N	N	Y	Y
Planning/Zoning	Will development impact any potential commercial development potential for the site?	Desirable	1-5	1	3	1	1	3	2
	Will the site be likely to increase development capital cost?	Desirable	1-5	1	3	3	1	5	3
	Is there any positive or negative impact on current site users?	Desirable	1-5	1	1	1	1	5	5
Community impact	Will there be any positive or negative impact on neighbours?	Desirable	1-5	1	5	1	1	5	1
	Is the site compatible with pre-existing industry reputation/brand?	Desirable	1-5	5	1	1	1	1	3
Mandatory score				10	15	25	0	35	15
Desirable score				11	17	8	6	24	15
TOTAL SCORE				21	32	33	6	59	30

9.2. Other site options

Although no other sites were identified during this project, the potential for a local winery as an option came up during project discussions. This is a model that has been successful in other localities and it was suggested that this may provide an opportunity for a public/private partnership development. The downside of a partnership with a winery is that this will provide a very similar experience to Tarrawarra Gallery which is within the broader region. Ideally, a new gallery in the region will provide a different experience from one already on offer.

10. Economic impact assessment

A preliminary economic impact assessment prepared by Nillumbik Shire Council has shown that the development of the Nillumbik Regional Gallery is viable.

This analysis has indicated a favourable benefit-cost ratio (BCR) of 1.74 (a project with a ratio greater than 1 is expected to deliver a positive net present value).

The analysis of gallery's economic benefits (NPV* Benefits [net present value]) shows that the most significant areas of contribution are:

- Exhibition entry fees (excluding block buster exhibitions) 29.4% (\$51,194,853**)
- Donations and sponsorship 21.7% (\$37,781,783**)
- Visitor (Victorian) expenditure (restaurants, cafes and retail) 30.6% (\$53,341,989**)

While it is also worth noting that volunteering contributes 4.5% (\$7,889,598**) and public and education programs 2.7% (\$4,672,126**).

It is estimated that initially nearly 27 full time equivalent positions (FTE) will be created by gallery visitor expenditure (restaurants, cafes and retail) in Nillumbik, and 9.5 full time equivalent positions will be created during the construction phase of the gallery (approximately 20,000 people are employed in Nillumbik).

The expenditure multiplier is 1.2.

* NPV (net present value) represents the difference between the present value of cash inflows and the present value of cash outflows over a period of time.

** Over a 30-year period

Assumptions and Sources of Data

The economic impact assessment is based on the following assumptions:

- The NRG will cost approximately \$30M to build#
- The NRG will cost approximately \$3.8M to operate annually (current)

It is based on building a gallery of similar size to Heide Museum of Modern Art and with a similar annual visitation, 133,000 in 2017 (comprising of 30% local, 63% non-local (Victorian), 7% interstate and international).

It is important to note that while Heide provides a valuable aspirational comparison for long term financial planning, there may also be benefit in a comparison with other similar galleries such as Shepparton Art Museum or Mornington Peninsula Regional Gallery. Heide has several different operational features to the Nilliumbik Gallery, it is a well-established gallery with a high national profile and a significant and diverse heritage on which to draw, and Heide charges entry fees to all exhibitions while it is proposed that Nillumbik will only charge for blockbuster shows (based on consultation findings).

The economic impact assessment for the feasibility of the NRG is based on information that was collected during the consultation phase of the project. Data was specifically drawn from a written survey distributed at the two community summits, 48 people completed this survey.

The economic impact assessment also draws on information available from the 2018-19 Victorian Budget, Tourism Australia, Victoria in the Future 2016 and ID Forecast.

Note: The Economic Impact Assessment was prepared before the preliminary capital cost plan was completed. The preliminary cost plan prepared by quantity surveyors Turner and Townsend estimates the Nillumbik Gallery will cost approximately \$50M.

11. Nillumbik Regional Gallery Feasibility

11.1. Is a Nillumbik Regional Gallery Feasible?

This study has confirmed that there is both a shortfall in the provision of professional quality exhibition and cultural venue facilities, and, strong, long standing community support for it to be provided in Nillumbik Shire. There is an indication from the consultation and experience of other galleries that a Regional Gallery in Nillumbik will be well attended.

In addition to this:

- Review of Nillumbik Shires demographic profile found a population with a high requirement for access to an active, cultural and sustainable lifestyle that is affordable and easily locally accessible. Such a lifestyle requires access to appropriate, fit for purpose facilities. Visual and performing arts facilities are an expectation.
- A number of Nillumbik core strategic documents identify the need for or support the development of a Regional Gallery
- There is compelling research evidence of the social, cultural, environmental and economic benefits of investment in cultural facilities
- The trend for increasing community attendance at and participation in visual and performing arts activities was recorded by Australia Council for the Arts Third National Arts Participation Survey 2017
- Consultation with and research about neighbouring municipality galleries and other public regional galleries indicates that all require financial subsidy to operate. None ran at a profit; however, their economic benefit was realised through (in some key cases) substantially increased area visitation and secondary spend on food, accommodation and other activities in the area

It is concluded that the development of the proposed Nillumbik Regional Gallery is feasible, providing the gallery is:

- Staffed by qualified and sufficiently senior and experienced staff
- There is ongoing commitment to and funding for high quality programming
- Council is prepared to provide ongoing operational subsidy and
- Council is prepared to invest in the capital development and/or attract external funding for the development of the Regional Gallery

11.2. Nillumbik Regional Gallery components

A component brief has been prepared for the Nillumbik Regional Gallery. The brief reflects the findings from project consultation, other venue benchmarking and industry best practice in terms of the facility components required for a significant Regional Gallery and Cultural Centre.

The component brief (refer following page) details the vision, mission, design principles and the priority facility components that have been established to guide future facility layout plans.

11.2.1. Draft component schedule

Vision

Nillumbik Gallery is a living and interactive new art museum that reflects, nurtures, sustains and promotes a precious region that has an important association with working artists.

Mission

Nillumbik Gallery delves into the region's strong artistic heritage but has its eye firmly focused on the present and future. It will be a state-of-the-art, best practice, expertly curated gallery and arts space complex that delivers a challenging, dynamic and highly professional program of exhibitions and events. Together these will build Nillumbik's reputation as an important and distinctive arts region and tourist destination. It will:

- Be a leader. It will push the boundaries and challenge conventions while being warm, friendly, open and welcoming to all
- Be a place for important conversations, respect, education and expanding ideas
- Engage with its local and regional community at the same time as providing a conduit to a broader national and international audience
- Care for and celebrate the past but look to the horizon....push into the new and evolving artistic future....support, encourage and promote the new
- Be an active, doing place where interaction with artists and arts workers will be an integral part of the experience
- Be the home for the Nillumbik Shire art collection and encourage its future growth and development
- Showcase, celebrate and promote established and emerging artists from the region, as well
 as making accessible national and international artists and arts movements
- Integrate art, environment and sustainable living both in its built form and its programming
- Be a building that is activated and living and breathing 24 hours a day

Design Principles

The priority design elements identified include sustainability, open spaces and iconic design.

The Nillumbik Gallery must:

- Be 'lconic' a drawcard to the area
- Be a showpiece in environmental sustainability and design
- Have `scale'
- Enable arts practice and management to be seen and not be behind closed doors
- Enable work in development to be seen by having open or viewing areas into:
 - the exhibition preparation areas
 - studio/workshop/development space
- Be integrated into and connect with the environment. The flow between the internal and external has to be open and seamless
- Have an easy flow between spaces that is intuitive, comfortable and accessible to all
- Be universally accessible to all with the design based on 'universal access design principles'
- Be inclusive of both quiet and peaceful, as well as potentially loud, active spaces

- Have capacity for different spaces to be open while others remain closed and secure
- Embrace landscape and nature within the building
- Have capacity for low scale performance in a non-traditional performance space
- Enable artwork to be seen from the outside even when closed
- Accommodate eating areas and retail areas (shops) that take advantage of the natural amenity of the area
- Incorporate art work/s into the building fabric

Key components

- Entrance foyer/gathering place
- Gallery/exhibition spaces (connection to entrance)
- Flexible multi-media and/or performance space with 250 300 seat retractable seating
- Rehearsal/studio space
- Retail area/s
- Café/restaurant
- Outdoor sculpture garden, plaza and/or gathering/performance area
- Artist studios

Area	Components	Area	Area Schedules
Entrance Foyer	 Reception Desk Shared zone with presentation space Open space/display and/or gathering area Break-out space during performance or presentation A welcoming entry area that allows users to relax, orientate and socialise before entering main gallery or activity areas 	540m²	 Reception/ Box Office function Area for 2 points of sale Provide relay (audio/visual of the show in the theatre) Large open space foyer area Display and visual arts/ gallery space to allow for arts displays
	Gallery Shop Administration/ Front of House office Public Toilets	-	Office 25m ² Storage Unisex accessible toilet and cubicles and standard male and
	Members Lounge	-	female amenities Needs to connect back of house areas
Gallery Spaces	Foyer/Makers Gallery	Within the foyer	 Approx. 30 liner metres wall hanging space Moveable panels can be used for flexible exhibition purposes Capacity for digital projection Ceiling height minimum 4.3m to 6m
	Collections Galleries	375m²	 Climate control (museum standard) Capacity to be partitioned to create two smaller spaces to enable at least two collection exhibitions at one time Consider inclusion of movable/operable walls Capacity for digital projection Ceiling height minimum 4.3m
	Artist/Temporary Exhibition Gallery	550m²	 Climate control (museum standard) Capacity to be partitioned to create two smaller spaces to enable at least two collection exhibitions at one time Consider inclusion of movable/operable walls Capacity for digital projection Ceiling height minimum 4.3m
	Digital Wall	8om²	 Envisaged as an external wall/walls of the building Potential to also project internally Ceiling height minimum 6m
Gallery Support Areas	Internal/External Sculpture Courtyard Education Studio	200m ² 150m ²	 Strong connection to/be visible from internal spaces Classroom and gathering space for visiting schools and/or large groups Must be in close proximity to foyer/front of house Ideally accessible from building exterior, but not though the front entrance, to minimise crowding at front entrance/foyer area
	Exhibition Preparation Area Artwork Conservation Area	100m ² 120m ²	Climate control (museum standard)

Area	Components	Area	Area Schedules
	Collection Storage/Open Display Area	200M ²	 All or some of this area will be visible from gallery and/or
	Crate Storage General Storage	60m ² 30m ²	 other public areas of the venue Work tables
	General Storage	30111	 Storage racks
	Loading Bay (including undercover space for reticulated vehicle	120M²	 Dock doors to be 3m wide and 6m high and enter into backstage space Allow 20m² for dock and 10m² for rear access area Must have truck access into back of stage area, good sight lines Must be back of venue rear access NOTE: ideally this and the black box dock (below) will be the same
			dock
	Plant Room/s	40m2	May be one or two plant rooms as necessary
Offices and	Directors Office	100m2	Includes desks
Meeting	Curators Office		Storage
Rooms	4 x hot desks Meeting Room	32 m²	 Table, chairs, multi-media projection/connection
	Toilets	32 m 30m2	
	SUB TOTAL SPACE:	2,727M ²	
Blackbox	Flexible multi-media and/or	450m ²	 250 seat retractable seating structure
Studio	performance space		
Blackbox	Dressing Rooms	80m²	Changing area with lockers, mirrors and closet space
Studio			 2 X smaller rooms (up to 4 people each)
Support	Comment		1 X larger room (up to 20 people)
Spaces	Greenroom	50m²	 Must be in close proximity to stage and dressing rooms and include support amenities i.e. kitchenette
- pucco	Blackbox Studio Storage	20M ²	Doors allow access to studio space
			 Shelving
			 Lighting and sound equipment - caged area/racking
	Hirers Equipment Store	20M ²	Separate secure store for hirers equipment
	Technical Workshop	20M ²	 Area for technical and back stage staff Workbench, maintenance area
			 Easy access to backstage and exterior doors
			 Can be shared with lighting and sound storage if
			secured/caged areas are provided
	Lighting Equipment Store	20M ²	 Central secured/caged area located at stage level with
	Cound Environment Chang	2	functional racking for lighting equipment
	Sound Equipment Store	20M ²	 Central secured/caged area located at stage level with functional racking for sound equipment
	Scenic Dock	30m²	 For back stage staff and hirers.
			 Adjacent to the stage and ideally with workbench, area
	Blackbox Studio Loading Dock	20M ²	 used for scenic storage and assembly Dock doors to be 3m wide and 6m high and enter into backstage space Allow 20m² for dock and 10m² for rear access area Must have truck access into back of stage area with good sight lines
			 Must be back of venue rear access
	General Store	20M ²	
Multi-Use Rooms	Rehearsal/Multi-Purpose Studio	175m²	 Timber floor and wall mirrors on one side (same dimensions as stage) Soundproofed Simple lighting rig Audio visual system – wireless technology Sound Note: Connect to theatre for ensemble/chorus overflow change. Ideally also connect to change rooms to use toilets/shower without need for double up of services.
Other Back- of-House Areas	Cleaners Store	10M ²	Allowance
	SUB TOTAL SPACE:	935M²	
Makers Space	3 X Artist Studios	120M²	 Suitable working space for artists in residence who may also make use of other studio/workshop spaces Must include secure storage and high-speed broadband access
	SUB TOTAL SPACE:	120M ²	
Hospitality	Seating for up to 150 Kitchen and Back of House Bar External terrace	600m²	Subject to business case review

Area	Components	Area	Area Schedules
Commercial	4 x commercially leased `shops'	640m²	 Subject to business case review
Shop Lease	Based on 160 m ² per shop		
Public	Sufficient for seating numbers above	45m2	 Must include DDA compliant and male and female facilities
Amenities			
	SUB TOTAL SPACE:	1,285M²	
Carparking	To suit size, design and function of	2,100m²	 Subject to building/planning code requirements
	building	(approx.)	 Surrounding space or underneath/under-croft building
Outdoor	Designed art garden with sculptures	1,000m²	 Consider inclusion of amphitheatre style space to
space	Consider capacity for events and		accommodate performance
space	activities		 Consider capacity for at least one internal space to be fully
			opened to this space to support performing arts activities
	SUB TOTAL SPACE:	3,200M2	
	TOTAL:	8,267M2	

11.2.2. Nillumbik Regional Art Gallery capital cost estimate

Quantity surveyors Turner and Townsend have prepared a capital cost estimate for the proposed Regional Art Gallery.

The cost plan provides early and conservative cost estimates for all of the components identified in the component brief above. It is based on a generic site and is therefore subject to change on receipt of actual site information.

The costs are provided in 2019 dollars. Cost escalation has been included for the project to April 2020. A summary of the cost estimates follows:

•	Building Works	\$25,778,400
•	External Works and Services	\$4,122,000
•	Design/Construction Contingency	\$6,280,000
•	Prof. Fees (Design/Planning), Furniture and Equipment Allowances	\$10,554,000
•	Cost Escalation (assume 12months to tender)	\$2,323,000
	TOTAL	\$49,057,400

The full cost plan can be found in Appendix 4.

11.2.3. Capital Funding Models

The question of how to fund the capital cost is a significant one.

These types of projects are generally funded through a combination of several funding sources. The following real-life examples provide an indication of the range of funding combinations that are possible.

Bunjil Place (City of Casey)

Total Cost: \$125,750,000

- Casey City Council: \$115M
- Federal Government: \$10M
- State Government (tied to the Library): \$750K

Shepparton Art Museum (SAM), Victoria

Total Cost Stage 1: \$47.4m (excluding GST)

Total Cost Stage 2: \$2.5m (excluding GST)

- \$15,000,000 Local Government
- \$10,000,000- State (regional development)
- \$15,000,000 Fed Govt (National Stronger Regions Fund (NSRF).)
- \$12.5M private giving and philanthropy, made up of \$6.5M for the build, and \$6M for an endowment, whose interest would contribute to operational costs

 Further \$2.5 sourced from State governments, and identification of grants and opportunities continues.

Museum of Murray Albury, (MAMA), Albury, NSW

Total Cost: \$11.3 million

- Local Government: \$6.3M
- Australian Government: \$3.5M
- Philanthropic contributions: \$1.5M

Tweed River Art Gallery and Margaret Olley Centre, Murwillumbah South NSW

Stage I: Tweed River Art Gallery redevelopment

- Land Donation: Doug and Margot Anthony
- Community Contributions: \$2M +
- Other contributions not known

Stage II: Margaret Olley Centre project 2013

Total Cost: \$4+ million

- Federal Government Community Infrastructure Grants Program: \$1M
- NSW State Government: \$200,000
- Local Government: \$1.1M
- Margaret Olley Art Trust: \$1M
- Tweed River Art Gallery Foundation Ltd: \$850,000
- Tweed River Art Gallery Foundation Ltd: \$620,000
- Friends of the Tweed River Gallery Inc. \$80,000

Heidi Museum of Modern Art

2005 – 2006 redevelopment Funding Model:

Contributors included:

- Victorian State Government through the Community Support Fund
- Australian Government through the Federation Cultural and Heritage Projects Program
- Sidney Myer Fund
- Helen Macpherson Smith Trust
- Australian Government under its Regional Partnerships Program
- Australian Government through the Department of the Environment and Heritage
- Victorian State Government through the Creating Better Places Program

MC2

Total Cost: \$38 million

- \$15 million private sector
- \$11 million government grants (including Australian Government Regional and Local Community Infrastructure Program, Australian Government - Green Precincts Program and Sustainability Victoria - SmartEnergy Zones Program).
- \$12 million MCC

Banyule Library and Cultural Hub (due for completion 2020)

Total Cost: \$29.34million

Banyule City Council: \$29.34M

11.3. Indicative operational modelling

This project did not include the preparation of a full business plan and operational budget, however based the scale of facility proposed by the component schedule, industry research and operational experience of the consultant team, an indicative operational budget has been prepared.

Industry experience suggests it normally takes up to three years to establish new arts cultural venue usage and business. The financial modelling therefore assumes third year as the first year of 'average' operation with years one and two gradually building as the business grows.

A base management and staffing structure have been assumed based on industry benchmarks.

Table 2: Nillumbik Regional Gallery Operational Model

Three Year Plan - Operation	onal Modelling			
	First Year	Second Year	Third Year	
Annual Visitation	70,000	90,000	110,000	
GENERATED REVENUE				
Special exhibition entry tickets	\$126,000	\$162,000	\$198,000	Based on 15% paying customer at average of \$12 per ticket
Education	\$17,500	\$22,500	\$27,500	Based on 5% of visitation x \$ 5 (Schools, unemployed etc)
Public programs	\$18,000	\$23,000	\$26,000	Based on similar size venues
Commercial operations (artists' studios/small gift shop/restaurant or café)	\$200,000	\$200,000	\$200,000	Annual rent for 3 shops (40K per annum) plus rent for restaurant (\$80,000)
EXTERNAL REVENUE				
Government Sponsorship	\$60,000	\$75,000	\$100,000	
Private sponsorship	\$60,000	\$70,000	\$85,000	
TOTAL REVENUE	\$481,500	\$552,500	\$636,500	
EXPENDITURE				Based on 3% CPI increase per year
Wages	\$544,136	\$560,460	\$577,273	
Operating Costs	\$507,110	\$522,323	\$537,992	
Exhibition/Collection Program costs	\$300,000	\$309,000	\$318,270	
Education	\$30,000	\$30,900	\$31,837	
Public programs	\$20,000	\$20,600	\$21,218	
Commercial	\$25,000	\$25,750	\$26,522	
Security/Cleaning/Pest Control/Maintenance	\$100,000	\$103,000	\$106,090	
Miscellaneous 10%	\$150,000	\$154,500	\$159,135	
TOTAL EXPENDITURE	\$1,676,246	\$1,726,533	\$1,778,337	
Operating expenses	\$1,194,746	\$1,174,033	\$1,141,837	

12. Appendices

Appendix 1: Strategic Document Review

A review of key strategic documents, showing where the development of a Nillumbik Regional Gallery supports or is supported by these documents, has been summarised in the following.

The documents are:

- Nillumbik Shire Council Plan 2017-2021, Living in the Landscape
- Nillumbik Arts and Cultural Plan 2018-2022, Celebrating Nillumbik's heARTbeat
- Draft Nillumbik Arts and Cultural Plan 2018-2022 and Discussion Paper, endorsed 14 November 2017
- Nillumbik Shire Art Collection Policy 2014-2017
- Nillumbik Health and Wellbeing Plan 2017-2021
- Nillumbik Economic Development Strategy 2011-2016
- Nillumbik Destination Management Plan, November 2015

Council Plan 2017-2021

The development of a regional gallery in Nillumbik is identified as a priority in the Council Plan 2017-2021, specifically in Strategic Objective 2 - Active and Creative People: active lifestyles and artistic expression are fostered through participation and innovation.

Strategy 2.2: Create and activate places and spaces that have good connectivity, provide needed infrastructure and promote social interaction

Priority Action 2.2.4: Seek government funding for the development of a public art gallery of regional significance

This action has the capacity to address several of the Strategic Indicators for this Strategic Objective:

- Increase community satisfaction with arts and cultural activities
- Increase participation rates in arts and culture programs

The development of a gallery is also supported by or clearly relates to several other priority actions connected to this strategy:

- 2.2.1 Develop and implement an Arts and Culture Plan that builds on Nillumbik's rich artistic, cultural and Green Wedge heritage
- 2.2.2 Review the Artist in Residence Program and Art Acquisition Policy
- 2.2.3 Review and extend Council's policy for attractions, events and festivals
- 2.2.5 Recognise and support opportunities which develop and grow creative and cultural industries positioning Nillumbik – the Green Wedge Shire, as a key destination
- 2.2.6 Support and promote arts and culture activities that maximise access across the Shire
- 2.2.7 Recognise performing arts through facilitation and promotion throughout the Shire

In addition, the development of a regional gallery will contribute to achieving Strategic Objective 4 - A Prosperous Economy: A strong local economy that supports business growth, jobs and community wealth. Particularly through the following priority actions:

- 4.2 Develop and market the tourism industry in Nillumbik
 - 4.2.1 Implement the actions in the Destination Management Plan and Marketing Plan to facilitate the development of new tourism accommodation
 - 4.2.2 Support and promote the Artisan Hills businesses and destinations
 - o 4.2.3 Continue to work collaboratively with the Nillumbik Tourism Association

Arts and Cultural Plan 2018-2022

The Nillumbik Arts and Cultural Plan supports the development of a gallery, specifically the 'development of gallery and theatre Master Plan' (Goal 2 Output). More broadly the three goals of the plan support the development of a gallery and likewise the development of a gallery would support achieving these goals:

- 1. Natural Environment: Public and participatory arts as an everyday experience
- 2. Artistic Heritage: Develop and grow creative and cultural industries
 - Output development of gallery and theatre Master Plan
 - Output innovative opportunities for engagement with the Nillumbik Shire Art Collection, alongside major bi-annual exhibitions
- Community Connectedness: Support and promote arts and cultural activities that maximise access

Draft Nillumbik Arts and Cultural Plan 2018-2022 and Discussion Paper

The development of the Nillumbik Arts and Cultural Plan 2018-2022 was informed by extensive community engagement, namely the *Travelling Teapot* focus groups. A number of themes recurred during this consultation and the development of a gallery has the capacity to address many of them. It is also important to note that there is a strong consistency with the themes that emerged from the Nillumbik Regional Gallery Feasibility Study consultation.

Themes:

- Indigenous heritage
- Green Wedge and the natural environment
- Access to space
- Access to the Nillumbik Shire Art Collection
- Contemporary arts
- Placemaking
- Non-Eltham-centric
- Community cultural development
- Networking and mentoring
- Youth
- Access to information
- Laughing Waters Artist Residency

Nillumbik Shire Art Collection Policy 2014-2017

The development of a gallery in Nillumbik will enhance Council's ability to manage the Nillumbik Shire Art Collection, particularly the Visual Art category, and make it more accessible to the community. As such a gallery will support the Art Collection Policy to achieve a number of its goals and purpose, specifically:

- Goal (f): Public accessibility of the Collection through exhibitions programs so as to educate, challenge and engage the community.
- Collection Purpose:

Nillumbik Shire Council highly values the Nillumbik Shire Art Collection and is the custodian on behalf of Nillumbik's residents. The collection is an important Shire asset, not only in monetary value, but also for the public outcomes in:

- o Fostering understanding, enjoyment and appreciation of the visual and public arts
- Enhancement of public spaces of the Shire of Nillumbik and development of community wellbeing and place making through the arts

- o Engaging with the widest possible audience
- Supporting economic development and the creative economy within the local art community and contemporary art practice
- Collection Display, Exhibition and Conservation:

The collection is intended to be accessible to the community and to enhance awareness, understanding and appreciation of art through exhibition and display at publicly accessible spaces in Council buildings.

Nillumbik Health and Wellbeing Plan 2017-2021

The development of a gallery in Nillumbik has the capacity to contribute to addressing the priorities nominated in the Health and Wellbeing Plan:

- promote healthy eating and sustainable food
- encourage active living
- enhance mental wellbeing
- advance gender equality and respectful relationships
- prevent harm from alcohol, other drugs and gambling
- improve sexual and reproductive health
- support healthy ageing

Nillumbik Economic Development Strategy 2011-2016

The Nillumbik Economic Development Strategy nominates the Arts as one of the strategy's five inter-linked themes to work towards achieving a 'vibrant local economy':

 Arts – celebrate our creative heritage: Capitalise on the creative heritage of our Shire and position it as a continuing centre for the arts.

One of the strategy's priority actions relate directly to establishing a regional gallery, as well as the arts more broadly:

- Undertake a study to assess the feasibility of establishing a regional art gallery in the municipality, including potential opportunities to support the role of Monsalvat.
- Explore funding opportunities that are available to develop tourism, the arts, and agribusiness on a local and regional basis, including potential marketing alliances with adjoining municipalities and regional organisations.

The strategy identifies a number of issues and opportunities including one relating to the need for a gallery:

A number of local people have made the observation that there is no serious permanent showcase or gallery for the work of local artists. This is a missing link in an area which has a reputation outside the municipality as a place of arts and culture.

Nillumbik Destination Management Plan, November 2015

The Destination Management Plan identifies the arts, heritage and culture as one of five Product Strengths:

Authentic Arts, Heritage, and Culture. The most well-developed product in Nillumbik is the arts and cultural offer. Montsalvat is an icon that represents this multi layered experience unlike any other product. Nillumbik's arts and cultural offer differs from many other regions that only have static art galleries, with many artists hosted in throughout the Shire. Nillumbik has a 'living' arts and cultural experience.

Key Findings include: Key tourism product and experiences of Nillumbik include nature-based tourism, heritage tourism and the arts.

Key visitor markets for the Nillumbik include:

- Lifestyle Leaders (including older adult couples and mid-life middle class family groups);
- Traditional Family Life (family groups).

The activity and experience preferences of these markets are well matched to the product offer in the Nillumbik (food and wine, arts and culture, nature-based, recreation, and agri-tourism). Although data is not available on the size of these markets currently visiting the Nillumbik, they represent over 70% of visitor trips in Victoria.

Appendix 2: Consultation

The consultation undertaken to inform the Nillumbik Regional Gallery Feasibility Report included the following engagement:

- Community Summits (2)
- Community Summit Surveys (48)
- Online Survey (29)
- Key Stakeholder engagement (over 20)
- Discussions with Nillumbik Councillor's and staff and neighbouring Councils (3)
- Discussions with relevant galleries/museums (5)

Following is an overview of the key findings for the consultation undertaken for the Nillumbik Regional Gallery Feasibility Study Report.

Gallery Summits

Approximately 60 people participated in the two Gallery Summits, one was held at the Eltham Community and Reception Centre and the other at the Hurstbridge Community Hub. Participants discussed a range of topics and questions in small groups that related to the feasibility of developing a gallery in the Shire of Nillumbik. Following is a summary of the key findings from the Summit's.

1. Most liked galleries

Heide Museum of Modern Art, Bendigo Art Gallery, NGV International and Australia and TarraWarra Museum of Art are the most liked galleries. Other popular galleries include: Victorian regional galleries Benalla Art Gallery, Shepparton Art Museum and Art Gallery of Ballarat; also, Manningham Art Gallery and Montsalvat, and MONA (Museum of Old and New Art).

These galleries are most liked because of the synergies created by bringing together art, environment, heritage and architecture; as well as exhibition programming for all ages: children, teenagers and adults; the mix/variety of exhibitions, both touring and from permanent collections, local, national and international; mix of free and paid entry to exhibitions; and galleries that are a destination.

'Tarrawarra - setting in landscape, storage and flexible space, architecture and window = landscape views.'⁴ 'Heide - contemporary / architecture, history and ecology.' 'Heide - history, setting, space / building, collection.' 'Beautiful relationship with outdoors - Heide, Tarrawarra.'

2. NRG Purpose

Summit participants want the NRG to fulfill a broad purpose and there is significant consistency between discussion groups. Of importance is housing and exhibiting the Shire Art Collection, other purposes include:

- Exhibiting work of local artists and touring shows
- Space for community and artists to interact, participate and engage
- Art education

⁴ All quotes in this section are from the Community Summits (in italics).

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- Provide a performing arts space, be multipurpose and multifunctional 'Space to engage different art forms.'
- Reflect and acknowledge Nillumbik's art heritage while featuring contemporary art 'Carry on artistic heritage, context to contemporary artists.' 'Move with the times, support Innovation in the Arts = NEW STUFF!'
 - who with the times, support innovation in the Arts NE
 - Be bold; internationally relevant and locally unique
 - 'Bold, pushing the boundaries, not conservative.'
- Be a tourist destination
- Be accessible and all inclusive; for all artists, broader community, tourists and visitors, students, arts professionals

3. NRG Vision

The Summit participants' visions for the NRG are aspirational, heartfelt, wide-ranging and uniquely 'Nillumbik':

- To be more than a gallery, to be a cultural precinct
- Founded in Nillumbik's arts heritage, but boldly contemporary
- Feature local and international artists
- Iconic architecture that references Nillumbik's unique architectural heritage
 'Be architecturally unique and in harmony with the environment, world-class facility';
 'Smell' mud brick, wood, trees, landscape'
- Sustainable and relates strongly to the natural environment and landscape
 - 'Be energy efficient and sustainable, incorporate new 'green' technologies'

'To be of this place'; 'Immersed with natural environment'

- All inclusive
- Acknowledge and respect Aboriginal history and cultures
- Puts Nillumbik on the map

'Be a place people want to visit and include other attractions such as a cafe, music program, outside gardens with art'; 'Heart of (the) region'

- Educate and entertain
- To be relevant, unique, dynamic, responsive, inspirational and innovative, excellent

4. NRG programming

Summit participants want the NRG program to include:

- Exhibitions collection, local artists, touring, blockbusters
- Public and education programs
- Workshops for artists
- Performing arts, such as: music, theatre, film, concerts, dance
- New media / multimedia / digital
- Aboriginal art
- Interactive
- Outdoor activities, sculpture park

5. NRG benefits

Summit participants identified that the NRG will bring many valuable benefits to the municipality, including:

- Access to high quality art experiences and professional facilities
- Opportunities for local artists to exhibit
- Strengthen Nillumbik's identity and sense of belonging
- Contribute to cultural capital 'Creative hub for locals and wider afield'
- Social benefits: increasing community wellbeing, community connections and community cohesiveness
- Economic benefits
- Preserve and enhance Nillumbik's history

6. NRG building

Summit participants are generally consistent in what they want the NRG building to include:

- Multiple exhibition spaces that are flexible and have the capacity to accommodate contemporary art, including digital media (3 spaces were often nominated)
- Performance space / Black Box
- Artists' studios and workshop spaces
- Restaurant/café
- Retail space
- Back-of-house facilities and infrastructure, such as: staff offices, artwork storage, art conservation and preparation area, loading dock/s, climate control, state-of-the-art lighting, IT / AV / digital, security
- Outdoor spaces amphitheater, deck, courtyard/s, community space, event space, relaxation contemplation space, sculpture park and gardens
- Indoor/outdoor connection
- Parking
- Environmentally sustainable technology and energy
- Capacity to grow and evolve

7. NRG location

Summit participants are largely in agreement about what are the important features for the NRG location / site:

- Accessibility and visibility adequate space for parking, easy access to public transport, capacity to stand out and have a street presence
- Ample space for both indoor and outdoor facilities and activities, as well as growth
- Natural environmental qualities and features, aesthetically pleasing 'Environment / landscape as much of a destination as the gallery' 'WOW factor, beautiful environment'
- Part of a cultural precinct

'allowing progression between activities and experiences' 'site needs to encourage spontaneous visits'

8. NRG management

The preference of Summit participants is for the gallery to be managed by a Board that is independent of Council.

'Board - advisory, knowledgeable, locals with expertise in running a gallery, Indigenous representation'

'Arm's length from Council', 'Independent board with artist representation'

Also, the majority of Summit participants indicated that the gallery needs to be operated by professional staff with suitable qualifications, expertise and experience (including indigenous expertise), and that they receive appropriate remuneration.

Likewise, most Summit participants identified the need for a well-managed and resourced volunteer program to fulfill roles such as exhibition guides.

9. NRG financial sustainability

Summit participants recognise that it costs money to setup and run a gallery and that sound long-term business and financial planning is important and that Council funding is required.

'Make sure initial investment is right' 'Need to acknowledge that there will be costs to community and Council to run a Regional Gallery, benefits outweigh the financial costs'

Summit participants also typically do not expect the gallery to make a profit, but suggested a diverse range of strategies to contribute to offsetting operational costs, such as: paid entry to some exhibitions, for example blockbusters; generating income through the restaurant/café and retail shop; hiring out spaces; volunteer program; membership fees; grants and sponsorship; and the use of sustainable energy.

The majority of Summit participants spoke about the importance of valuing a gallery beyond an economic model and emphasised the cultural, social, health and wellbeing value.

'Cultural value is more important, social value is more important' 'Cultural capital is benefit' 'No not important (to make a profit) as it gives more benefits via health / cultural and social'

Community Survey

The majority of the Community Summit participants, 48 people, took the opportunity to complete a short-written survey at the conclusion of the Summit's. The survey asked questions about gallery attendance, frequency of attendance, preparedness to pay entry fees, and expenditure at associated restaurants, cafes and shops.

Following is a summary of the key survey findings:

- Nearly all would visit NRG at least twice a year (96%) and many more frequently
- The majority of visitors would pay an entry fee to NGR of at least \$5 (67%), of these 42% would be prepared to pay between \$5 and \$10, but a significant proportion expect entry to be free (29%)
- Visitors to NRG special/blockbuster exhibitions would pay an entry fee (96%), over three quarters would pay at least \$10 (77%) and of these 42% would be prepared to pay between \$10 and \$20
- There is a correlation between what people would pay to visit NRG and what they have paid to
 visit other galleries, however typically people are willing to pay more to visit other galleries

particularly for normal entry (i.e. not for a special or block buster exhibition), 96% would pay at least \$5 and 50% would pay between \$5 and \$10

Most gallery visitors spend at the associated restaurants and cafes (92%) and shops (87%), this
is an integral part of the gallery experience for many. It is notable that the majority of gallery
visitors spend more than \$20 at restaurants and cafes (67%) and shops (50%) respectively

Online Survey

29 people responded to the Online Survey. The survey covered the same topics as those discussed at the Community Summit's.

Following is a summary of the key Online Survey findings:

- Need nearly all agree that Nillumbik needs a gallery (86%)
- Who the majority agree that the gallery will be for a range of artists and audiences, including:
 - local artists and audiences (90%)
 - o emerging (83%) and established (79%) artists
 - school students (62%)
 - o visitors/tourists to Nillumbik (90%)
- What respondents want the gallery to provide a wide range of shows and activities, particularly:
 - o local emerging (83%) and established (90%) artists exhibitions
 - o open call for artists to exhibit (62%)
 - curated collection(79%) and major curated shows (72%)
 - touring shows (76%)
 - public programs for adults (e.g. artists/curator talks, workshops) (83%)
 - public programs for children (e.g. exhibition activities, workshops) (69%)
 - o artist in residence (59%)
 - o café (79%),
 - o retail (59%)
 - o outdoor areas (59%) and sculpture garden (72%)
- Gallery rooms and spaces respondents indicated that the gallery needs to have a range of facilities typical of a well-designed gallery complex that has the capacity to provide a breadth of cultural experiences, including:
 - exhibition spaces for temporary exhibitions (90%) and the municipal collection (79%)
 - entry/foyer (83%)
 - o café (76%) and retail (62%)
 - o research library (55%)
 - o artist studio/s (48%)
 - multi-purpose/performance space (45%)
 - o meeting rooms (45%)
 - back-of-house facilities: loading dock (83%); toilets (83%); art preparation areas (79%); storage areas for the municipal collection (76%), other artworks (62%) and equipment (62%); offices (66%); and kitchen (66%)
- Gallery location requirements the most important elements include:
 - accessibility is the highest priority and includes: vehicle access adequate car parking (86%), parking for buses (72%) and loading dock access for trucks (69%); accessible paths (83%) and entrances (83%); close to public transport (79%) and close to passing pedestrian traffic (59%); and close to other services such as shops, offices and pubs (52%)

- as well as adequate space for all the required facilities (69%), café (86%), outdoor events (55%) and expansion overtime (76%)
- attractive site (83%) and visible on site (69%)
- o good access to utility services: power (72%), water (66%), gas (48%)
- potential to landscape (79%)
- Gallery Management preference for the gallery to be Council owned but managed by a Board (66%), to be professionally staffed (79%) and to run a volunteer program (72%)
- **Financial sustainability** many respondents indicated that it is not important for the gallery to be profitable (55%), but a significant number were unsure (28%)

Key Stakeholder Interviews

Of the key stakeholders approached (over 20) a number responded, including: traders associations, business and tourism associations, schools and artists. They were asked two broad questions:

- what benefits and opportunities would the NRG deliver
- what sort of exhibitions and activities does the NRG need to provide to create these benefits and opportunities

Following is an overview of key stakeholders' responses, it is worth noting that all respondents are very supportive of the development of a gallery and that this is consistent with the other consultation findings.

Benefits and opportunities

- a gallery would provide a much-needed space for Nillumbik's 'vibrant community of artists' ⁵ to exhibit and sell their artwork. Currently there very limited opportunities to exhibit artwork
- location of a gallery in one of the townships would greatly improve accessibility to local artists and their artworks, particularly by train rather than relying on private car
- 'a gallery would have significant flow on economic, artistic and community benefits for Nillumbik'
- 'Gallery important part of a tourism strategy, area where there is growth potential'
- 'Gallery would generate jobs and other economic benefit. Needs to be co-located with other activities, not isolated.'
- 'A Regional Art Gallery will act as a cultural hub for the whole community'
- ... 'such a gallery would be a focal point for quality arts activities close to where I live, instead of
 having to travel to the inner-city area. It would mean opportunities for me to interact and socialise
 with other likeminded people in Nillumbik, so strengthening my links to the community around me.'
- useful for VCE Studio Arts studies and STEAM activities (Science, Technology, Engineering, Art and Math)
- opportunities for partnerships and collaboration with schools (19 secondary schools (15,000 students) in the region)
- potential visitors, for example from the inner city, currently driving through area as don't have gallery like Heide or Tarrawarra, would create a destination
- Nillumbik has a lot of successful contemporary artists who are currently showing outside the municipality, need a 'museum quality' gallery

⁵ All quotes in this section are from Key Stakeholders (in italics).

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Exhibitions and activities

All respondents emphasised the need for a diverse and vibrant gallery program to attract and cater for a broad range of visitors: adults, children, families and students; those living locally, as well as from wider Melbourne and beyond.

To feature local, as well as national and international artists, offering a wide range of activities such as: curated shows – solo, group and participatory themed exhibitions, art prizes, a biennale, an education focus, family activities and immersive experiences – make/do/engage.

Appendix 3: Detailed Site Assessments

Detailed site assessment: 3 Tulong Street, Hurstbridge (Tulong Res)



		Mandatory or Desirable feature	Available score (5)best, (1)worst Yes/No		
Assessment Criteria	Components			Score	Score Rationale
	Location close to passing people traffic	Mandatory	Yes/No	N	This site is bushland within a low population residential street. There would be virtually no passing traffic.
Proximity to Activity	Location close to local schools	Mandatory	Yes/No	N	Not close to schools
Centre	Location close to shops, offices, pubs, restaurants	Mandatory	Yes/No	N	Not within walking distance of shops/activity centre
Centre	Location close public transport (bus, train)	Mandatory	Yes/No	N	No public transport within walking distance. Approximately 25mins walk from Hurstbridge Train Station.
	Location has adequate public car parking	Mandatory	Yes/No	N	No
Size of the site	Capacity to fit the proposed scale of facility and all its components?	Mandatory	Yes/No	Y	Property area size is 62684m ^{2,} the proposed facility is 7,670m ² A reduced facility scale would be required to fit on this site. Facility would fit on the site, but would need to be multi- storey and would be effectively 'tucked away'. Unlikely that local residents would approve.
	Capacity to accommodate associated outdoor events/activities?	Mandatory	Yes/No	Y	There would be some capacity for outdoor event/activities but this would be limited by residential setting on fence line.
	Capacity for the building to be expanded and/or additional facilities to be developed on the site?	Mandatory	Yes/No	N	There would not be capacity for expansion.
View, orientation and topography	Is the site attractive/conducive to a gallery?	Mandatory	Yes/No	N	No
	Is the site's zoning/planning conducive to development of a Regional Gallery?	Desirable	1-5	2	Planning zones and overlays: RCZ3, BMO
	Will the site require significant roads/footpaths upgrades?	Mandatory	Yes/No	N	
Planning/Zoning	Will development impact any potential commercial development potential for the site?	Desirable	1-5	1	Unlikely that the development would impact the commercial potential of the site
	Will the site be likely to increase development capital cost?	Desirable	1-5	1	
Impact on current users	Is there any positive or negative impact on current site users?	Desirable	1-5	1	There are limited current site users.
Neighbourhood impact	Will there be any positive or negative impact on neighbours?	Desirable	1-5	1	There will be impact on neighbours who are located on the fence line. The site is residential
Compatible use	Is the site compatible with pre-existing industry reputation?	Desirable	1-5	5	The site is not compatible with a gallery function
Mandatory score				10	
Desirable score				11	
Total score				21	

Detailed site assessment: 34-38 Graysharps Road, Hurstbridge



Assessment Criteria	Components	Mandatory or Desirable feature	Available score (5)best, (1)worst Yes/No	Score	Score Rationale
	Location close to passing people traffic	Mandatory	Yes/No	N	Site is part of activity/recreation hub, but there would be limited passing traffic
	Location close to local schools	Mandatory	Yes/No	Y	
Proximity to Activity	Location close to shops, offices, pubs, restaurants	Mandatory	Yes/No	N	Hurstbridge township located across railway lines. Would be possible to walk
	Location close public transport (bus, train)	Mandatory	Yes/No	Y	Close to railway station
Centre	Location has adequate public car parking	Mandatory	Yes/No	Y	There is carparking, but there are a number of other recreation and community service venues in this location that use the existing carparking. It is assumed that the current provision would not be sufficient to accommodate a new facility.
	Capacity to fit the proposed scale of facility and all its components?	Mandatory	Yes/No	N	Property area size is 62684m ^{2,} the proposed facility is 7,670m ² A reduced facility scale would be required to fit on this site.
Size of the site	Capacity to accommodate associated outdoor events/activities?	Mandatory	Yes/No	N	There would be capacity for outdoor events/activities perhaps by using other components of the overall recreation/community service site.

		Mandatory or Desirable feature	Available score (5)best, (1)worst Yes/No		
Assessment Criteria	Components			Score	Score Rationale
	Capacity for the building to be expanded and/or additional facilities to be developed on the site?	Mandatory	Yes/No	N	There would not be capacity for expansion unless another part of the overall site could be utilised.
View, orientation and topography	Is the site attractive/conducive to a gallery?	Mandatory	Yes/No	N	The site is attractive with good bushland views. The range of other recreation and community service venues could be conducive to the 'makers/hand's on' aspect of the proposed venue.
	Is the site's zoning/planning conducive to development of a Regional Gallery?	Desirable	1-5	4	It is conducive for recreation purposes but would not be suited to commercial retail functions. Planning zones and overlays: RCZ3, PPRZ, HO57, HO260, LSIO, BMO, ESO1, ESO4 and I in 100 Flood zone
Planning/Zoning	Will the site require significant roads/footpaths upgrades?	Mandatory	Yes/No	N	
	Will development impact any potential commercial development potential for the site?	Desirable	1-5	3	It is unlikely.
	Will the site be likely to increase development capital cost?	Desirable	1-5	3	No
	Is there any positive or negative impact on current site users?	Desirable	1-5	1	Increased traffic into the site may cause some inconvenience for other site users
	Will there be positive or negative impact on neighbours?	Desirable	1-5	5	It is not envisaged that there would be significant impact.
Community Impact	Is the image of a Regional Gallery compatible with pre- existing industry reputation/brand?	Desirable	1-5	1	The site is not an obvious choice for a Regional Gallery and this site would limit some of the opportunity for commercial activity, but it is compatible to the extent that it is part of a recreation and community facility activity precinct.
Mandatory score				15	
Desirable score				17	
Total score				32	

Detailed site assessment: 50/50A Challenger Street, Diamond Creek





Assessment Criteria	Components	Mandatory or Desirable feature	Available score (5)best, (1)worst Yes/No	Score	Score Rationale
Proximity to Activity	Location close to passing people traffic	Mandatory	Yes/No	Ν	This site is bushland within a low population residential street. There would be virtually no passing traffic.
Centre	Location close to local schools	Mandatory	Yes/No	Y	Not close to schools
	Location close to shops, offices, pubs, restaurants	Mandatory	Yes/No	Ν	Not within walking distance of shops/activity centre

	Location close public transport (bus, train)	Mandatory	Yes/No	N	No public transport within walking distance. It's an approximately 15-minute walk from the Bus Stop.
	Location has adequate public car parking	Mandatory	Yes/No	N	It would be possible to develop sufficient carparking on site, but this is not currently available.
Size of the site	Capacity to fit the proposed scale of facility and all its components?	Mandatory	Yes/No	Y	The combined property size of 50 and 50A Challenger Street Diamond Creek is $200,745m^2(174000m^2 + 26745m^2)$ and the size of the proposed Regional Gallery is 7,670m ^{2.} There is sufficient room on this site for the venue to include artist residence in combination with the artist studios if this was desired.
	Capacity to accommodate associated outdoor events/activities?	Mandatory	Yes/No	Y	Yes
	Capacity for the building to be expanded and/or additional facilities to be developed on the site?	Mandatory	Yes/No	Y	Yes
View, orientation and topography	Is the site attractive/conducive to a gallery?	Mandatory	Yes/No	Y	Yes
Planning/Zoning	Is the site's zoning/planning conducive to development of a Regional Gallery?	Desirable	1-5	1	The site is within a General Residential Zone and so is not particularly geared to a Regional Gallery complex, however it could work on this site. The various planning zones and overlays that apply across the combined sites are: PPRZ, ESO1, ESO4, HO25, HO24, LSIO, UFZ, GRZ1, ESO1 and I in 100 flood zone.
5. 5	Will the site require significant roads/footpaths upgrades?	Mandatory	Yes/No	N	
	Will development impact any potential commercial development potential for the site?	Desirable	1-5	1	Unlikely to have any impact on commercial development.
	Will the site be likely to increase development capital cost?	Desirable	1-5	3	No
	Is there any positive or negative impact on current site users?	Desirable	1-5	1	Current site users are limited. Probably only dog walkers.
Community impact	Will there be positive or negative impact on neighbours?	Desirable	1-5	1	There may be impact for residential neighbours as cars would have to access through residential streets and any development would be visibly to neighbouring properties. Most of these have been developed to take in the view. It may be argued that a Regional Gallery would interrupt that view.
	Is the site compatible with pre-existing industry reputation/brand?	Desirable	1-5	1	The image of the site would be compatible with a gallery that had a 'makers' focus. Commercial aspects of a gallery facility (e.g. retail shop/s, café etc.) would be difficult in this location.
Mandatory score				25	
Desirable score				8	
Total score				33	

Detailed site assessment: 109-115 Yan Yean Road, Plenty





Assessment Criteria	Components	Mandatory or Desirable feature	Available score (5)best, (1)worst Yes/No	Score	Score Rationale
	Location close to passing people traffic	Mandatory	Yes/No	N	No
Proximity to Activity	Location close to local schools	Mandatory	Yes/No	N	No
Centre	Location close to shops, offices, pubs, restaurants	Mandatory	Yes/No	N	No
	Location close public transport (bus, train)	Mandatory	Yes/No	N	There is a bus stop
	Location has adequate car parking	Mandatory	Yes/No	N	No
	Capacity to fit the proposed scale of facility and all its components?	Mandatory	Yes/No	N	The proposed facility would not fit on this site. Property area size: 0.081ha (810 m²), the size of the proposed Regional Gallery is 7,670m ^{2.}
Size of the site	Capacity to accommodate associated outdoor events/activities?	Mandatory	Yes/No	N	No
	Capacity for the building to be expanded and/or additional facilities to be developed on the site?	Mandatory	Yes/No	N	No
View, orientation and topography	Is the site attractive/conducive to a gallery?	Mandatory	Yes/No	N	No
	Is the site's zoning/planning conducive to development of a Regional Gallery?	Desirable	1-5	1	The site is not conducive to development of a Regional Gallery. The site is within a neighbourhood residential zone. Planning zones and overlays: PPRZ, NRZ1, RDZ1, DDO3, BMO, HO248, HO249
Planning/Zoning	Will the site require significant roads/footpaths upgrades?	Mandatory	Yes/No	N	
	Will development impact any potential commercial development potential for the site?	Desirable	1-5	1	No
	Will the site be likely to increase development capital cost?	Desirable	1-5	1	No
	Is there any positive or negative impact on current site users?	Desirable	1-5	1	Site has a number of recreation and community activity facilities located on it. Addition of another facility would have an impact although there would likely be very little overlap in activity between the venues.
Community Impact	Will there be positive or negative impact on neighbours?	Desirable	1-5	1	There may be impact on residential neighbours who are used to looking out on trees. Use of this site would require significant tree removal
	Is the site compatible with pre-existing industry reputation/brand?	Desirable	1-5	1	No
Mandatory score				0	
Desirable score				6	
Total score				6	

Detailed site assessment: 895 Main Road, Eltham





Assessment Criteria	Components	Mandatory or Desirable feature	Available score (5)best, (1)worst Yes/No	Score	Score Rationale
	Location close to passing people traffic	Mandatory	Yes/No	Y	Site is in main shopping/activity centre and next to the library
Proximity to	Location close to local schools	Mandatory	Yes/No	Y	There is a school directly across the road. Other schools in close proximity
Activity Centre	Location close to shops, offices, pubs, restaurants	Mandatory	Yes/No	Y	Site is in main activity centre and all associated amenities
	Location close public transport (bus, train)	Mandatory	Yes/No	Y	Site is close to train station
	Location has adequate public car parking	Mandatory	Yes/No	N	
Size of the site	Capacity to fit the proposed scale of facility and all its components?	Mandatory	Yes/No	Y	Property area size: 5967 m2 the size of the proposed Regional Gallery is 7,670m ² . In terms of ground footprint, this scale of facility would not fit, however it would be possible to develop the facility across a number of levels (the site would require this anyway) or, some aspects of the facility could be left out.
	Capacity to accommodate associated outdoor events/activities?	Mandatory	Yes/No	N	There would be some capacity for outdoor event/activities within the facility brief footprint.
	Capacity for the building to be expanded and/or additional facilities to be developed on the site?	Mandatory	Yes/No	N	This is a limited footprint. Potential to expand beyond the original brief would be more limited than other sites reviewed.
View, orientation and topography	Is the site attractive/conducive to a gallery?	Mandatory	Yes/No	Y	The site is conducive to a gallery
	Is the site's zoning/planning conducive to development of a Regional Gallery?	Desirable	1-5	5	The site is subject to the following planning zones and overlays: ACZ1 (Activity Centre Zone), ESO1 (Environmental Significance overlay), SLO1 (significant landscape overlay), HO230 (Heritage overlay), PO1 (Parking overlay)
Planning/Zoning	Will the site require significant roads/footpaths upgrades?	Mandatory	Yes/No	Y	
· ····································	Will development impact any potential commercial development potential for the site?	Desirable	1-5	3	It would limit the use of the site for pure commercial purposes however this site would also enable the facility to have some more commercial aspects to it.
	Will the site be likely to increase development capital cost?	Desirable	1-5	5	There would be some impact from building over multiple levels.
	Is there any positive or negative impact on current site users?	Desirable	1-5	5	There are no current site users
Community Impact	Will there be positive or negative impact on neighbours?	Desirable	1-5	5	It is within an activity centre zone. It will increase traffic and parking requirements however, it will provide another drawcard to the area and should benefit the other facilities/services that are adjacent to it.
	Is the site compatible with pre-existing industry reputation/brand?	Desirable	1-5	1	Yes
Mandatory score				35	
Desirable score				24	
Total score				59	

Detailed site assessment: Montsalvat, 7 Hillcrest Avenue, Eltham



Assessment Criteria	Components	Mandatory	Available	Score	Score Rationale
		or	score		
		Desirable feature	(5)best, (1)worst Yes/No		
	Location close to passing people traffic	Mandatory	Yes/No	N	Passing traffic aside from the current Montsalvat visitors, would be limited. Montsalvat has an annual visitation of approximately 8700 people (based on 2011/2012 annual report figures).
Proximity to Activity	Location close to local schools	Mandatory	Yes/No	Ν	The closest school is Eltham Primary School which is 1.1kms away.
Centre	Location close to shops, offices, pubs, restaurants	Mandatory	Yes/No	Ν	No
	Location close public transport (bus, train)	Mandatory	Yes/No	Ν	It is a 15-minute walk from the nearest bus stop.
	Location has adequate public car parking	Mandatory	Yes/No	Ν	The site would need additional carparking
Size of the site	Capacity to fit the proposed scale of facility and all its components?	Mandatory	Yes/No	Z	The estimated size of the available proposed Montsalvat size is approximately 2500m2. The size of the proposed Regional Gallery is 7,670m ² . The site footprint is not large enough to accommodate the proposed facility. Even if the facility were reduced to the core gallery, support facilities and carparking, the required size would be 3,740m ² .
	Capacity to accommodate associated outdoor events/activities?	Mandatory	Yes/No	Y	There is good capacity
	Capacity for the building to be expanded and/or additional facilities to be developed on the site?	Mandatory	Yes/No	N	The is no capacity on the proposed site.
View, orientation and topography	Is the site attractive/conducive to a gallery	Mandatory	Yes/No	Y	Yes, although proximity to neighbours may need to be considered.
Planning/Zoning	Is the site's zoning/planning conducive to development of a Regional Gallery?	Desirable	1-5	1	The site is subject to the following planning zones and overlays: Bushfire Management Overlay (BMO) and Heritage Overlay (HO82).

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	Will the site require significant roads/footpaths upgrades?	Mandatory	Yes/No	Y	
	Will development impact any potential commercial development potential for the site?	Desirable	1-5	2	No
	Will the site be likely to increase development capital cost?	Desirable	1-5	3	Building on the slope or into the hill would increase the capital cost.
	Is there any positive or negative impact on current site users?	Desirable	1-5	5	The impact for current site users would be positive as it would increase the visitation offering of the site.
Community Impact	Will there be positive or negative impact on neighbours?	Desirable	1-5	1	There are neighbours that would potentially overlook the proposed development. The impact would need to be further explored.
	Is the site compatible with pre-existing industry reputation/brand?	Desirable	1-5	3	Yes
Mandatory score				15	
Desirable score				15	
Total score				30	

Appendix 4: Quantity Surveyor (Turner & Townsend) Cost Plan

Preliminary Cost Plan QS REF: me Date: 6/04/2019					
Function	area m2		rate \$/m2		cost \$
	1112		9/111 <u>2</u>		*
Entrance / Foyer Entry / Foyer	515	\$	3,200	\$	1,648,000
- Extra for Reception / Box office	Allow	-		\$	40,000
- Allow for office	25	\$	2,800	\$	70,000
 Extra for public toilets Extra for members lounge 	Allow			\$ \$	100,000 30,000
Gallery Spaces	741011			*	50,000
Foyer / Makers gallery	30 lm			\$	75,000
Collections galleries Artis / Temporary Exhibition Gallery	375 550	\$ \$	5,700 5,700	\$ \$	2,137,500 3,135,000
Digital wall	80	ې \$	5,700	⇒ \$	456,000
Internal / external sculpture courtyard	200	\$	750	\$	150,000
Gallery Support Areas Education Studio	150		4,200	ŝ	630,000
Exhibition preparation area	100	\$ \$	4,200	> \$	480,000
Artwork conservation area	120	\$	4,800	\$	576,000
Collection storage / open display area	200	\$	4,200 3,300	\$	840,000 198,000
Crate storage General storage	60 30	\$ \$	3,300 3,300	\$ \$	198,000 99,000
Loading bay	120	\$	4,200	\$	504,000
Plant rooms	40	\$	2,400	\$	96,000
Offices and Meeting Rooms Directors / Curators / hot desks	100	\$	2,800	\$	280,000
Meeting rooms	32	ې \$	3,200	ې \$	102,400
Toilets	30	\$	3,300	\$	99,000
Blackbox Studio			E 20/		
Flexible multi media / performance space - extra for retractable seating [250 seat]	450 Allow	\$	5,700	\$ \$	2,565
- extra for theatre equipment	PROVISIONAL S			\$	600,000
Dressing rooms	80	\$	3,000	\$	240,020
Blackbox Studio Support spaces Green room	50	\$	3,800	. 4	.190.000
Blackbox studio storage	20	\$	3,300,	\$	66,000
Hirers Equipment store	20	\$	3,300		66,000
Technical Workshop	20	\$	3 300	\$	76,000
Lighting equipment store Sound equipment store	20 20	ş s	3,00)	66,000 66,000
Scenic dock	30	5	4.200	\$	126,000
Blackbox studio loading dock	20	Ň	4,200	\$	84,000
General storage Multi-use Rooms	20	\$	300	\$	66,000
Rehearsal / multi purpose studio	- 15	\$	5,700	\$	997,500
Other Back-of-house areas) _		-	
Cleaners store Makers Space	10	\$	2,600	\$	26,000
Artist studios [3 no]	20	\$	4,200	\$	504,000
Hospitality			,		
Kitchen and BoH, seating for 150 ppl, Bar and terrace	600	\$	3,100	\$	1,860,000
- Allow for kitchen equipment [assume commercial type for functions] Commercial Shop Lease	Allow			\$	300,000
Commercial Shop Lease Commercial Shop [4 no] - shell only	640	\$	2,200	\$	1,408,000
Public Amenities				Ι.	
Public Amenities	45	\$	3,300	\$	148,500
Allowance for plant rooms / plant platforms	Allow			\$	150,000
Extra for piled or bored pier foundations	Allow			\$	1,521,000
Extra for security system	Allow			\$	150,000
Allowance for signage - building / branding Allowance for entrance canopy	Allow			\$ \$	150,000 100,000
Allowance for ESD initiatives	Allow		10%	⇒ \$	2,344,000
			E 000	-	DE 770 400
Total Building Works	5,06	7\$	5,088	\$	25,778,400
External Works & Services					
Site Preparation	Allow			\$	166,000
Earthworks Carpark	Allow 2100			\$ \$	373,000 420,000
Fencing and gates	Allow			ې \$	100,000
Footpaths / paved area to entry Design art garden with sculptures	Allow 1000			\$	100,000 450,000
Design art garden with sculptures Allowance for external services	1000			ş	450,000
 Stormwater including onsite detention 	Allow			\$	913,000
- Sewer - Water	Allow			\$	330,000
- Water - Gas	Allow			\$ \$	203,000 203,000
- Gas - Fire	Allow			> \$	153,000
- Light and Power	Allow			\$	609,000
- Communications	Allow			\$	102,000
Total External Works & Services				\$	4,122,000
				÷	
Construction Cost					29,900,400
Design Contingency	10% 10%			\$ \$	2,991,000 3,289,000
Construction Contingency					
Construction Contingency				*	6 300 000
Construction Contingency Sub Total	1			\$	6,280,000
Construction Contingency	10%			\$ \$	6,280,000 3,619,000
Construction Contingency Sub Total	I	m			

Nillumbik Shire Council **Nillumbik Regional Gallery**



Preliminary Cost Plan QS REF: me

Function	area	rate		cost
	m2	\$/m2	_	\$
Board Establishment	Allow		s	150,000
Authority Fees & Charges	Allow		ŝ	200,000
Contribution to new authority substation	Allow		\$	50,000
Loose Furniture Fittings and Equipment (FF&E)	Allow		\$	1,197,000
 Extra for exhibition equipment / items 	Allow		\$	1,197,000
ICT equipment / AV / Digital systems / PABX and telephone equipment	Allow		\$	2,991,00
Sub Total			\$	10,554,000
Cost Escalation [assume 12mths to tender]	3% pa		\$	2,323,00
Total Project Cost (Ex GST)			\$	49,057,400

Exclusions:	
SST	Cost Escalation beyond April 2019
Exhibition displays, frames, lighting etc	Office Equipment costs
Roadworks	Public Art
and, legal, marketing and finance costs	Asbestos & other hazardous materials removal
Relocation / Decanting Costs	Council internal costs
Staging Costs	No allowance for lifts / hoists
Adverse soil conditions incl. excavation in rock, contaminated soil, soft spot	
Jpgrade or provision of authority services infrastructure external to the site	
Diversion / relocation of existing in ground services	Demolition Works
NOTE: This cost plan is based on a generic site and is therefore subject to ch	hange on receipt of actual site information.
ore. This cost plan is based on a generic site and is therefore subject to ch	ange on receipt of actual site mormation.
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F:\mlb\CM\100 Projects\110 Current\mexxxxx Nillumbik Gallery\2000 Cost Plan\2200 Cost Plans\2210 Indicative CP\20190403_Nillumbik Gallery

Attachment 2 Participate Nillumbik Report Type: Form Results Summary Date Range: 28-06-2019 - 19-07-2019 Exported: 24-07-2019 11:50:38 Closed Regional Gallery Feasibility Study feedback 110 104 Regional Gallery Feasibility Study Contributors Contributions **Contribution Summary** 1. Have we got the gallery purpose and components right? Radio Buttons | Skipped: 4 | Answered: 106 (96.4%) Yes No Partially

Answer choices	Percent	Count
Yes	58.49%	62
No	12.26%	13
Partially	29.25%	31
Total	100.00%	106

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Participate Nillumbik - Form Results Summary (28 Jun 2019 to 19 Jul 2019)

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2. Do you have any comments? Long Text | Skipped: 40 | Answered: 70 (63.6%) Have you thought about the risks of building an art gallery with unique collections in an area that is regarded as being of high risk in bushfires? Is the town centre of Eltham excluded from that risk? So if built in Eltham it should be designed to withst... Contribution 70 of 70 | 19 July, 2019 I believe Eltham could have an arts precinct as well as a stand alone Regional Gallery. We have an extensive, and almost contiguous corridor of community owned land and buildings, stretching from the southern end of Main Road to Research. There are many u... Contribution 69 of 70 | 19 July, 2019 I would like to see a plan of the proposed gallery building, particularly how it would be placed on the old shire block. Retail components are mentioned in the report, more detail on aspects of this would be interesting to know. The plan for a region... Contribution 68 of 70 | 19 July, 2019 With the Nillumbik communities rich history and love of the natural environment and the arts, I feel it is important that the natural environment and love of the arts are equally considered when determining the location and size/area for a gallery. Having.. Contribution 67 of 70 | 19 July, 2019 Think it would be a great idea, so close to Eltham shops and railway. Contribution 66 of 70 | 19 July, 2019 An art gallery is a great idea in principle but without community consultation at this early stage the project is not likely to be accepted by the community, particularly considering the estimated cost of development. The Council voted recently not to pr... Contribution 65 of 70 | 19 July, 2019 A valuable project but use existing facilities and develop: eg Montsalvat or the existing mud brick community complex in Main Rd. Eltham. Not necessary to develop new complexes! Contribution 64 of 70 | 19 July, 2019 Its desperately needed for the arts and cultural lifeblood of Nillumbik. Contribution 63 of 70 | 19 July, 2019 To expensive Contribution 62 of 70 | 19 July, 2019 An art gallery shares requirements of a community bushfire refuge (solidity, air control, navigable interior design, interior protection against accident, fire etc., provision for public use, secure storage and administration facilities) and combining th... Contribution 61 of 70 | 19 July, 2019 More than anything else I want to see an environmental impact study. Just considering Main Road Eltham, I see this gallery as yet another project of overdevelopment in Eltham. Of course, the current Nillumbik Council is hell-bent to destroy the uniq... Contribution 60 of 70 | 19 July, 2019



Participate Nillumbik - Form Results Summary (28 Jun 2019 to 19 Jul 2019)

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There are already plenty of cafes in and around Nillumbik and Eltham. Transparency of costings and where funds have been spent and any future related spendings must be made public. Contribution 59 of 70 | 19 July, 2019

The complex must be of a size that does not overshadow, literally or figuratively, the I brary. It must have space for meaningful landscaping around it and not block the views from Main Road across to the canopy across the railway line to the west. Space/... Contribution 58 of 70 | 19 July, 2019

This is a great idea to showcase the wonderful arts heritage of the area. Contribution 57 of 70 | 19 July, 2019

We have enough art areas in Eltham, and looking at the cost of past 'art' works - the yellow mattress, the pheasant eggs at ratepayers expense - how much of ratepayer's money will be going to pay for friends so-called art works? The money \$49 million coul... Contribution 56 of 70 | 19 July, 2019

Security has not been mentioned as long term cost, Eltham, Main Road site therefore is only appropriate site for such a major reason. Which ever site is chosen there are not enough Police throughout Nillumbik, therefore cost of hiring Security staff is a... Contribution 55 of 70 | 19 July, 2019

PREFER MAIN RD SITE BUT CAN'T DRAG AND DROP 8 Contribution 54 of 70 | 19 July, 2019

FANTASTIC!!!! Contribution 53 of 70 | 19 July, 2019

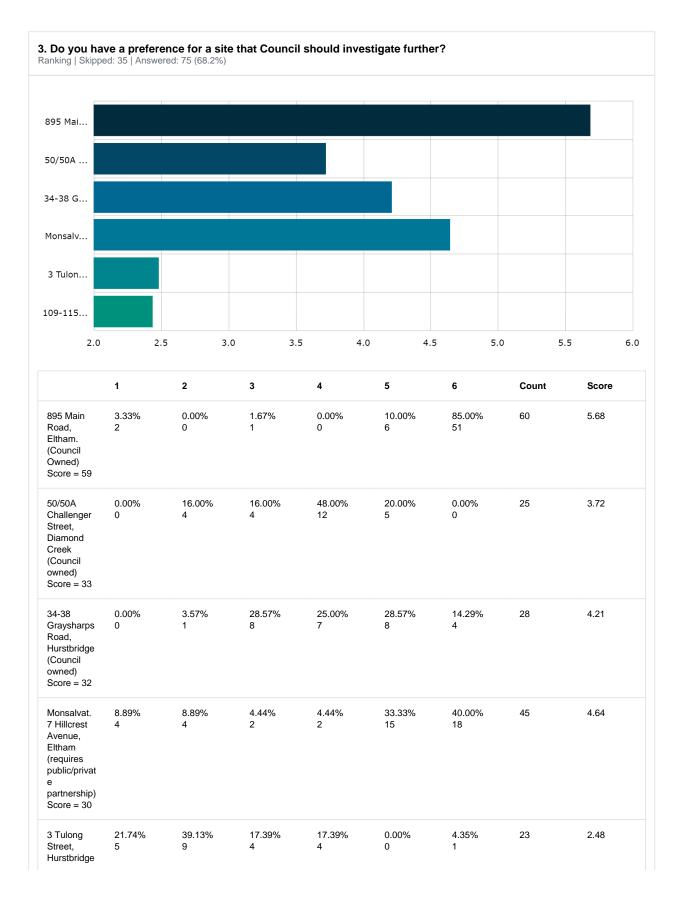
it would be good to see Eltham get back a little of the old "artist" area feel it once had Anything is better than more high rise rubbish builds destroying any ambient feel for living in a community

Contribution 52 of 70 | 19 July, 2019

Too early to answer above but in principle an excellent fit for the Shire and the Eltham Activity Centre Structure Plan worked on during previous council terms envisaged this possibility on the old shire office site amongst other community uses. Contribution 51 of 70 | 19 July, 2019

Showing 20 latest contr butions only. Please see the data results for all contributions to this question.





Participate Nillumbik - Form Results Summary (28 Jun 2019 to 19 Jul 2019)

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CM.086/22	Regional / Municipal Gallery Business Case and Masterplan
Attachment 1.	Regional Gallery Feasibility Study

(Council owned) Score = 21								
109-115 Yan Yean Road, Plenty (Council owned) Score = 6	43.48% 10	17.39% 4	17.39% 4	0.00% 0	17.39% 4	4.35% 1	23	2.43



4. What are the reasons for your preference? Long Text | Skipped: 14 | Answered: 96 (87.3%) Eltham is synonymous with art. It is on the main tourist road to the Yarra Valley. Contribution 96 of 96 | 19 July, 2019 895 Main Road is an ideal, high profile, council owned vacant site, positioned in close proximity to the award wining library. Montsalvat is a poor second as it is not Council owned and has it's own unique style which would not lend itself easily as a sit... Contribution 95 of 96 | 19 July, 2019 Monsalvat is already the Arts Hub of our Shire and I understand that it is willing to persue the possibility of having a regional Gallery on its large site. Contribution 94 of 96 | 19 July, 2019 Montsalvat is already the centre of arts in our shire and I understand that they are keen to have the regional gallery on its existing site. Contribution 93 of 96 | 19 July, 2019 The land is close to the Eltham Centre. The land is owned by Council (the community) It is close to public transport, the bike track and is easy for pedestrian access A Gallery complex would be part of the 'suite' of Council owned, community facilities al... Contribution 92 of 96 | 19 July, 2019 Montsalvat is interested in pursuing the possibility of a Regional Gallery on its site. I believe the Shire and community should support Montsalvat which is the heart of arts in Nillumb k. Contribution 91 of 96 | 19 July, 2019 1- 34-38 Graysharps Road, Hurstbridge - 1 still accessible by train and transport in a natural bush setting. Near a Main Road, but not as busy as Eltham. 2 - 3 Tulong Street, Hurstbridge - natural setting 3 - Monsalvat, 7 Hillcrest Avenue, Eltham - natura... Contribution 90 of 96 | 19 July, 2019 I live in Eltham. Contribution 89 of 96 | 19 July, 2019 Montsalvat in Hillcrest Avenue, Eltham already has an long standing excellent reputation when it comes to the provision and development of the arts and has the capacity and expertise to provide support for a gallery of this type provided the Nillumbik Shi... Contribution 88 of 96 | 19 July, 2019 Montsalvat is already a wonderful tourist attraction, a lovely location with parking, caf etc., so an upgrade or special gallery building would enhance the whole complex. Won't cost too many millions to develop either. SAVE the Eltham Main Rd site f... Contribution 87 of 96 | 19 July, 2019 Unsure of sites but listed preferences on the basis of imagined revenue that would flow to local businesses. Contribution 86 of 96 | 19 July, 2019



Participate Nillumbik - Form Results Summary (28 Jun 2019 to 19 Jul 2019)

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Already there Contribution 85 of 96 | 19 July, 2019

My preference pertains only to an in-ground design as referred to above. It is desirable to keep the spacious aspect into the park rather than crowd a large building onto that site. It also assumes preservation and continued community access to the War Me... Contribution 84 of 96 | 19 July, 2019

Easy access for public. Its in the centre of a town. Close to train station and bus lines. Eltham has a culture to appreciate this concept. Perfect location.

Contribution 83 of 96 | 19 July, 2019

I have no preference for any site without an thorough environmental impact study Contribution 82 of 96 | 19 July, 2019

Bushfire risk exposure is the least at 895 Main Road Eltham. Ditto re security risk exposure, i.e. not tucked away in some backblock. Ditto re floodplain risk exposure, the Eltham Main road site is well up on hill. Security has not been mentioned. It se... Contribution 81 of 96 | 19 July, 2019

Its history as the site of the former Eltham Shire offices. It is a site to which the community holds strong attachments, The community believes it should be used and kept as a community asset for all. It is in close proximity to current 'arts' build... Contribution 80 of 96 | 19 July, 2019

Council owns this land, easily accessible, high profile for visitors, very central Contribution 79 of 96 | 19 July, 2019

Refer to above Comment box re flood plains and security, plus need to eliminate bushfire risk, surely, also. Therefore Option 1 has lowest risk issues associated. There are too many feral youths out and about after dark, zero parental control, and way ... Contribution 78 of 96 | 19 July, 2019

PREFER MAIN RD WHICH IS CLOSE TO SHOPPING AREA Contribution 77 of 96 | 19 July, 2019

Showing 20 latest contributions only. Please see the data results for all contributions to this question.



Sho	s there another site option that we have not considered? t Text Skipped: 67 Answered: 43 (39.1%)
	n space should not be sacrificed for big buildings. ribution 43 of 43 19 July, 2019
that	only other site that I feel is high profile enough for a regional Gallery is the paddock beside Edendale Farm, on Walttletree Road, but I believe access might be difficult. ribution 42 of 43 19 July, 2019
purs	am Community and Conference Centre was originally designated as a poss ble Artist Hub and the possibilty of developing this should be ued. ribution 41 of 43 19 July, 2019
exte	am Community Arts and Reception Centre. As an artist I would prefer this site. Originally the building was designed so that it could be utilised inded and developes as an Art Hub. ribution 40 of 43 19 July, 2019
No Con	ribution 39 of 43 19 July, 2019
amp	am Community and Reception Centre was always meant to be a COMMUNITY ARTS PRECINCT and not a Reception Centre. The Centre ha le land and already has parking. ribution 38 of 43 19 July, 2019
	d Gully Reserve, Diamond Creek ribution 37 of 43 19 July, 2019
No. Con	ribution 36 of 43 19 July, 2019
	brick hall/theatre complex Community centre in Eltham. Heaps of parking, great locationdevelop / extend it, add cafe. ribution 35 of 43 19 July, 2019
	e are as acceptable as Main Rd Eltham ribution 34 of 43 19 July, 2019
no Con	ribution 33 of 43 19 July, 2019
	ere is, it needs to be bushfire, flood and vandel risk free. Any site need to be 'public' and transparent, as opposed to 'public/private partnership



Contribution 32 of 43 | 19 July, 2019

The city

Contribution 31 of 43 | 19 July, 2019

Cant think of any.

Contribution 30 of 43 | 19 July, 2019

Eltham Community Centre 737 Main Rd, AND old KG tip site Contribution 29 of 43 | 19 July, 2019

The beautiful Eltham Community Centre on Main Road May be able to be developed and promoted to meet most of the. goals. Contribution 28 of 43 | 19 July, 2019

No

Contribution 27 of 43 | 19 July, 2019

no Contribution 26 of 43 | 19 July, 2019

Yes - somewhere in Banyule. Contribution 25 of 43 | 19 July, 2019

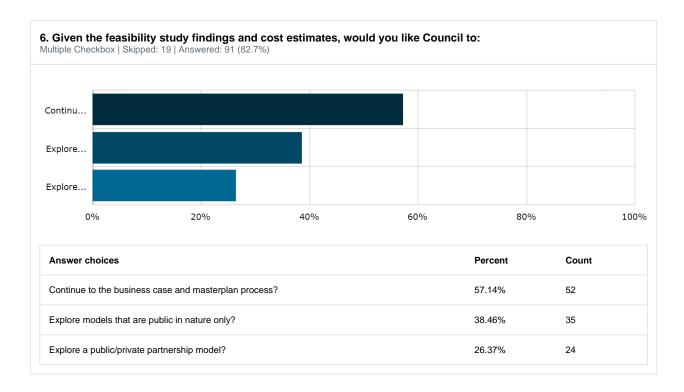
Edendale farm Contribution 24 of 43 | 18 July, 2019

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Participate Nillumbik - Form Results Summary (28 Jun 2019 to 19 Jul 2019)

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7. Do you have any other suggestions or views that you would like to share with us? Long Text | Skipped: 58 | Answered: 52 (47.3%)

Hope business case looks at the I kely impact on Montsalvat which is an existing arts attraction. Does Council currently pay anything towards Montsalvat? - if so, would the new scheme divert any of those funds at the expense of Montsalvat? An art gallery... Contribution 52 of 52 | 19 July. 2019

I think it is imperative to preserve the character and community ownership of our green gateway precinct. Any development should embrace Nillumbik's intrinsic built form and compliment our love of our indigenous vegetation and our creative style. Contribution 51 of 52 | 19 July, 2019

Also explore Montsalvat/public partnership model. Contribution 50 of 52 | 19 July, 2019

I do have many concerns with the project as currently proposed - these are concerns - not to be taken as criticisms of the project - I consider this is a positive direction for Council. -The lack of long term committment to a Plan B, in case the outside f... Contribution 49 of 52 | 19 July, 2019

Not sure if Montsalvat would be considered public/private partnership if so this should be explored. Contribution 48 of 52 | 19 July, 2019

With the large population of young families in the area, who move to the area for the natural bush setting. The visitors that come to Nillumbik for the trees and clean air, it is imperative that any gallery reflects this. Not just in design but in where it... Contribution 47 of 52 | 19 July, 2019

Would need to have extra parking space. Contribution 46 of 52 | 19 July, 2019

As previously mentioned further consultation for a regional gallery should take place with neighbouring surrounding Municipalities. Further discussions and consultation with Montsalvat as the preferred location should also be pursued. Funding of a \$49 m... Contribution 45 of 52 | 19 July, 2019

The expense of creating a new complex is unnecessary when existing buildings in Eltham can be added to or repurposed. Do not waste our dollars! Three generations of our family live and attend local primary and high schools in Eltham currently (my husban... Contribution 44 of 52 | 19 July, 2019

Uncertain of what the public/private means exactly. I look at Tarrawarra Museum of Art as a model for a contemporary gallery space. As long as the gallery is not enclosed in a hotel or complex. Contribution 43 of 52 | 19 July, 2019

could keep open gallerys at existing artists more promotion... Contribution 42 of 52 | 19 July, 2019

Participate Nillumbik - Form Results Summary (28 Jun 2019 to 19 Jul 2019)

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Architectural credibility is key. We already have the inspired library design and the small scale vernacular designs of the other buildings. A large corporate style structure will not be loved in Eltham (reference the previous Shire Offices on that site). Contribution 41 of 52 | 19 July, 2019

I cannot repeat it often enough: we are at the crossroads, 5 minutes before midnight, if we want to avoid an environmental collapse. We need to do a U-turn, need a paradigm shift, in regards to the obsession with economic and population growth. Contribution 40 of 52 | 19 July, 2019

Costings and monies spent need to be transparent and delivered to rate payers throughout, with further options for feedback. Also the 3 building to the North of 895 Main Road Eltham must be left as an integral part of the real community. Council got thos... Contribution 39 of 52 | 19 July, 2019

The land and the gallery complex should remain in council/community ownership. This inevitably is not poss ble in a private public partnership model. Without knowing more details it is not poss ble to agree to continuing to a business case or masterplan ... Contribution 38 of 52 | 19 July, 2019

We have grave misgivings regarding what the developers within Nillumbik councillors are actually proposing for the 895 Main Road Eltham site. So an Art Gallery is poss bly the least worst option. We are still a Green wedge Shire and that fact needs to b... Contribution 37 of 52 | 19 July, 2019

Really important to include rehearsal spaces. And include community in all aspects of the process. This survey for example - has it been widely circulated? I personally would like to be involved in the planning process. As to what is included. T... Contribution 36 of 52 | 19 July, 2019

Heide apparently make a significant percentage of their income through sales in "gift shop". This has not been mentionned. I propose council staff watch the episode of HOLLOWMEN titled EDIFICE COMPLEX which predicts the process of building a monument ... Contribution 35 of 52 | 19 July, 2019

I am concerned that broader community views are not taken into account when private partnerships are entered into. It can be difficult to find information regarding decision making processes. I found it difficult when reading the Feasibility study to und... Contribution 34 of 52 | 19 July, 2019

Many in the community think this site should not have a commercial aspect, and should be purely community based. I think the cafe at the library works well. I tink this ratio works well. But ultimately, on such a sensitive site, the communities will shoul... Contribution 33 of 52 | 19 July, 2019

Showing 20 latest contr butions only. Please see the data results for all contributions to this question.



8. If you would you like to receive a confirmation email with a copy of your contribution, please provide your email address. Email Skipped: 69 Answered: 41 (37.3%)
Contribution 41 of 41 19 July, 2019
Contribution 40 of 41 19 July, 2019
Contribution 39 of 41 19 July, 2019
Contribution 38 of 41 19 July, 2019
Contribution 37 of 41 19 July, 2019
Contribution 36 of 41 19 July, 2019
Contribution 35 of 41 19 July, 2019
Contribution 34 of 41 19 July, 2019
Contribution 33 of 41 19 July, 2019
Contribution 32 of 41 19 July, 2019
Contribution 31 of 41 19 July, 2019
Contribution 30 of 41 19 July, 2019

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Contribution 29 of 41 | 19 July, 2019

Contribution 28 of 41 | 19 July, 2019

Contribution 27 of 41 | 19 July, 2019

Contribution 26 of 41 | 19 July, 2019

Contribution 25 of 41 | 18 July, 2019

Contribution 24 of 41 | 18 July, 2019

Contribution 23 of 41 | 18 July, 2019

Contribution 22 of 41 | 18 July, 2019

Showing 20 latest contributions only. Please see the data results for all contributions to this question.



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1	ID	Officer Feedback
2	Submission Code	
3	6751	 Partial support noted. Support for the gallery at 895 Main Road, Eltham noted. Car parking is a key component within the design principals of a site and is considered in relation to existing and need as well as vicinity to public transport. Parking is also considered in relation to the size, design and function of the building and subject to building/planning code requirements. Consultation with neighbouring municipality galleries and other public regional galleries suggested a diverse range of strategies to contribute to offsetting operational costs. It is envisioned that a diverse and vibrant exhibition, public and education program will be presented and delivered by local, national and international creatives to cater for a broad range of visitors. The purpose of the Nillumbik Regional Gallery Feasibility Study is to determine the feasibility of a regional gallery in Nillumbik. Concerns with recycling and roads is best addressed by Council's Environmental Services and Infrastructure department respectively. Preference for public/private partnership noted.
4	6776	 Partial support noted. Support for the gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Continue through to a business case and masterplan noted.
5	6778	 Partial support noted. Support for the gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Continue through to a business case and masterplan noted.
6	6784	 Study not supported noted. The Eltham Community Reception centre underwent extensive renovations in 2017. It is currently a venue with specific objectives and modes of operation that differ from the primary function and objectives of a public gallery. Wire grass and the Jenni Mitchell galleries were commercial businesses that differed from the primary function and objectives of a public gallery.

7	6804	 Support noted. Support for the gallery at 895 Main Road, Eltham noted. Feedback regarding Kangaroo Ground and Research has been noted and will be considered in relation to amenity, accessibility, utility, visibility and functionality. Continue through to a business case and masterplan noted.
8	6807	 Support noted. Support for the gallery at 895 Main Road, Eltham noted. Accessibility and visibility of 895 Main Road, Eltham noted. Continue through to a business case and masterplan noted.
9	6859	 No regional gallery for Nillumbik noted. The development of a public art gallery of regional significance in Nillumbik is specifically identified as a priority in the Council Plan 2017-2021, the Arts and Cultural Plan 2018-2022 and the Nillumbik Economic Development Strategy 2011-2016. The study has found there is both a shortfall in the provision of professional quality exhibition and cultural venue facilities and strong long standing community support for it to be provided in the Shire. The Nillumbik community has a long-held desire for the highly regarded Shire Art Collection to have a suitable home, to be well managed, accessible and to have the opportunity to grow. A Nillumbik public gallery has the potential to achieve this. Eltham Community Reception Centre, The Eltham Library Community Gallery, the Living and Learning Centre (Eltham) and the Diamond Valley Library are venues with specific objectives and modes of operation, that differ from the primary function and objectives of a public gallery. Concerns with childcare and public housing are best addressed in Council by Community Services
10	6863	 Support noted. Support for the gallery at 895 Main Road, Eltham noted. In support of public/private partnership model noted.

11	6871	 Support noted. Preference for the gallery at 895 Main Road, Eltham noted. Accessibility and visibility of 895 Main Road, Eltham noted. Feedback regarding administration space within the design component of a gallery has been noted and will be considered. Continue through to a business case and masterplan noted.
12	6879	 Support noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Feedback regarding the building's design has been noted and will be considered. The gallery/exhibition program has the potential to be contemporary and challenging, dynamic and diverse, featuring work of local artists, as well as national and international emerging and established artists. Also for the gallery/exhibition program to be enhanced and supported by public and education programs as well as offering workshops, performing arts and music, theatre, dance, film and outdoor activities for a diverse range of audiences and participants. Child care programming and facilities is best addressed by Community Services in Council. Feedback regarding alternative sites has been noted and will be considered in relation to amenity, accessibility, utility, visibility and functionality. Continue through to a business case and masterplan noted. Concerns regarding public/private partnership noted.
13	6972	 Partial support noted. Preference for the gallery at Montsalvat, Eltham because of artistic history noted. In support of a public/private partnership model noted.
14	Email submission	 Study and a gallery not supported. Noted. The purpose of the Regional Gallery Feasibility Study is to determine the feasibility of a regional gallery in Nillumbik, not a local gallery. Site visits and discussions were conducted with management at both Dunmoochin and Montsalvat. In addition to the exhibition spaces in adjoining municipalities benchmarking was done with a range of larger municipal galleries within easy reach of the Shire. The development of a public art gallery of regional significance in Nillumbik is specifically identified as a priority in the Council Plan 2017-2021, the Arts and Cultural Plan 2018-2022 and the Nillumbik Economic

15	6974	 Development Strategy 2011-2016. The consultation undertaken to inform the Nillumbik Regional Gallery Feasibility study included: Community summits (2 in 2018) Community Summit surveys Online survey Key stakeholder engagement Discussions with Nillumbik Council staff and neighbouring councils Discussions with relevant galleries/museums The community summits for the Regional Gallery Feasibility Study were held at the Eltham Community and Reception Centre and the Hurstbridge Hub. Participants discussed a range of topics and questions in small groups that related to the feasibility of developing a gallery in the Shire of Nillumbik. To generate community feedback for the Regional Gallery Feasibility Study, a Communications Plan was implemented. The communication mechanisms employed included a media release, posts on multiple social media platforms, electronic newsletters, listing on Council's website, and direct invitations through the Arts Advisory Committee, relevant regional/community groups and associations. A discussion with the consultants to get an updated economic assessment will be undertaken. An indicative operational budget has been prepared based on industry benchmarking and consultation. Consultation with neighbouring municipality galleries and other public regional galleries also suggested a diverse range of strategies and income to contribute to offsetting operational costs such as entry fees for 'blockbuster' exhibition program has the potential to be contemporary and challenging, dynamic and diverse, featuring work of local artists, as well as national and international emerging and established artists. Also for the gallery/exhibition program to be enhanced and supported by public and education programs as well as offering workshops, performing arts and music, theatre, dance, film and outdoor activities for a diverse range of audiences and participants. Your feedback regarding
16	6975	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Continue through to a business case and masterplan noted.

17	6978	 Support noted. Preference for the gallery at Montsalvat, Eltham noted. Continue through to a business case and masterplan noted.
18	6980	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Continue through to a business case and masterplan noted.
19	6983	 Support noted. Preference for a gallery at Montsalvat, Eltham noted. Artistic heritage and amenity of Montsalvat, Eltham noted. In support of a public/private partnership model noted.
20	6986	 Study not supported. Preference for the gallery at Montsalvat, Eltham noted. Artistic heritage, uniqueness and amenity of Montsalvat, Eltham noted. Montsalvat is not a council owned building or organisation, but an independent body governed by a Board of Directors. It is not a Council responsibility. Sites 1 through to 6 warranted a detailed review and considered in relation to amenity, accessibility, utility, visibility and functionality. Parking is a key component within the design principals of a site and is considered in relation to existing and need as well as vicinity to public transport. Parking is also considered in relation to the size, design and function of the building and subject to building/planning code requirements. In support of a public/private partnership model noted.
21	6990	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Accessibility of 895 Main Road, Eltham noted. Continue through to a business case and masterplan noted. In support of a public/private partnership model noted.

22	6991	 Partial support noted. Preference for a gallery at Montsalvat, Eltham noted. Artistic heritage and surroundings of Montsalvat, Eltham noted.
23	6996	 Support noted. Support for a gallery at 895 Main Road, Eltham and Montsalvat noted. Accessibility of the two sites in Eltham noted. In support of a public only model noted.
24	7001	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Diamond Creek as an alternative noted. Accessibility and amenity of both sites noted. Continue through to a business case and masterplan noted.
25	7003	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. In support of a public only model noted.
26	7004	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Feedback regarding the building's design and surroundings has been noted and will be considered. In support of a public only model noted.
27	7005	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Accessibility of 895 Main Road, Eltham noted. In support of a public only model noted.

28	7008	 Gallery not supported. Noted Eltham Community Reception Centre and The Eltham Library Community Gallery are venues with specific objectives and modes of operation that differ from the primary function and objectives of a public gallery of regional significance. Private galleries are commercial businesses that differ from the primary functions of a public gallery. Your feedback regarding the consultation process has been noted and will be considered for future reference.
29	7009	 Support noted. Preference for the gallery at Montsalvat, Eltham noted. Artistic heritage, uniqueness, performance, reputation, partnerships and amenity of Montsalvat acknowledged and noted. In support of a public/private model noted.
30	7010	 Partial support noted. Preference for a gallery at Montsalvat, Eltham noted. Artistic heritage, reputation and amenity of Montsalvat noted. An indicative operational budget has been prepared based on industry benchmarks and consultation. The gallery/exhibition program has the potential to be contemporary and challenging, dynamic and diverse, featuring work of local artists, as well as national and international emerging and established artists. Also for the gallery/exhibition program to be enhanced and supported by public and education programs as well as offering workshops, performing arts and music, theatre, dance, film and outdoor activities for a diverse range of audiences and participants for a diverse range of audiences and participants for a diverse range of audiences and participants. In support of a public/private model noted.
31	7012	 Support of a regional gallery at 895 Main Rd, Eltham noted. Site selection in the study included considerations regarding amenity, accessibility, utility, visibility and functionality. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. Feedback regarding the building's design, its' surroundings and retaining the heritage listed Shillinglaw trees has been noted and will be considered. In support of a public only model noted. Continue with the business case and masterplan noted.

32	7013	 Support noted. Support of a gallery at 895 Main Rd, Eltham noted. Accessibility of 895 Main Road, Eltham noted. Consultation with neighbouring municipality galleries and other public regional galleries suggested a diverse range of strategies to contribute to offsetting operational costs, such as paid entry to 'blockbuster' exhibitions. The gallery has the potential to generate important economic benefits for the Shire through increased tourism and greater opportunities for the arts community, increasing demand in the service and hospitality sectors. Continue with the business case and masterplan noted.
33	7014	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. In support of a public only model noted.
34	7015	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Continue with the business case and masterplan noted.
35	7016	 Support noted. Feedback regarding alternative sites has been noted and will be considered in relation to amenity, accessibility, utility, visibility and functionality. The gallery has the potential to create significant cultural and social benefits for the Shire, strengthening community identity and sense of belonging, creating a cultural hub, contributing to community wellbeing, community connections and community cohesiveness. A business case and masterplan with details and cost to be delivered once Council considers the impact and influence of all submissions Continue with the business case and masterplan noted.

36	7018	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Continue with the business case and masterplan noted.
37	7020	 Partial support noted. Preference for the gallery at 34-38 Greysharps Road, Hurstbridge noted. Concerns regarding retail space and commercialism has been noted and will be considered. In support of a public only model noted.
38	7021	 Partial support noted. Support for a gallery at 895 Main Road, Eltham noted. Accessibility and visibility of 895 Main Road, Eltham noted. Feedback regarding the building's design, surroundings, function a local history gallery and the Shillinglaw trees has been noted and will be considered. Continue with a business case and masterplan noted. In support of a public only model noted.
39	7022	 Car parking is a key component and consideration within the design principals of a site. Parking is considered in relation to existing and need as well as vicinity to public transport. It is also considered in relation to the size, design and function of the building and subject to building/planning code requirements. Feedback regarding the building's design and surrounding has been noted and will be considered.
40	7023	 Partial support noted. Support for a gallery at 895 Main Road, Eltham noted. Accessibility and visibility of 895 Main Road, Eltham noted. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. Feedback regarding the building's design, surroundings and function has been noted and will be considered. Continue with a business case and masterplan noted. In support of a public only model noted.

41	7024	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Accessibility of 895 Main Road, Eltham noted. Continue with a business case and masterplan noted.
42	7026	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Accessibility of 895 Main Road, Eltham noted. In support of a public only model noted.
43	7027	 Partial noted. Preference for the gallery at 34-35 Graysharps Rd, Hurstbridge noted. Feedback regarding the building's design and surroundings has been noted and will be considered. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. Car parking is a key component within the design principals of a site and is considered in relation to existing and need as well as vicinity to public transport. Parking is also considered in relation to the size, design and function of the building and subject to building/planning code requirements. In support of a public only model noted.
44	7028	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Accessibility of 895 Main Road, Eltham noted. A business case and masterplan with details and cost to be delivered once Council considers the impact and influence of all submissions. In support of a public/private model noted.

45	7029	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Accessibility of 895 Main Road, Eltham noted. Car parking is a key component within the design principals of a site and is considered in relation to existing and need as well as vicinity to public transport. Parking is also considered in relation to the size, design and function of the building and subject to building/planning code requirements. In support of a public only model noted. Continue with a business case and masterplan noted.
46	7030	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Feedback regarding the building's design has been noted and will be considered. Continue with a business case and masterplan noted.
47	7031	 Partial support noted. Support for a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Feedback regarding the building's design and surroundings has been noted and will be considered. A business case and masterplan to be delivered once Council considers the impact and influence of all submissions. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. Car parking is a key component within the design principals of a site and is considered in relation to the size, design and function of the building and subject to building/planning code requirements.
48	7032	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. In support of a public only model noted. Continue with a business case and masterplan noted.

49	7034	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Accessibility of 895 Main Road, Eltham noted. The gallery/exhibition program has the potential to be contemporary and challenging, dynamic and diverse, featuring work of local artists, as well as national and international emerging and established artists. Also for the gallery/exhibition program to be enhanced and supported by public and education programs as well as offering workshops, performing arts and music, theatre, dance, film and outdoor activities for a diverse range of audiences and participants for a diverse range of audiences and participants. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. Feedback regarding alternative site has been noted. Continue with a business case and masterplan noted.
50	7035	 Gallery not supported. Noted. Concerns and/or issues with parking is best addressed by the Infrastructure department in Council.
51	7036	 Support noted. Preference for the gallery at 895 Main Road, Eltham noted. Accessibility and visibility of 895 Main Road, Eltham noted. In support of a public only model noted. Continue with a business case and masterplan noted.
52	7037	 Partial support noted. Feedback regarding the building's surrounding and function has been noted and will be considered. In support of a public only model noted.

53	7038	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. In support of a public only model noted. Continue with a business case and masterplan noted.
54	7039	 Partial support noted. Support for a gallery at Montsalvat, Eltham noted. Amenity, artistic heritage and reputation of Montsalvat noted. Car parking is a key consideration within the design principals of a site and is considered in relation to existing and need as well as vicinity to public transport. Parking is also considered in relation to the size, design and function of the building and subject to building/planning code requirements. The Eltham Community and Reception Centre is a venue with specific objectives and modes of operation that differ to the purpose of a regional Gallery. The proportion of Council's income that comes from rates varies. An indicative operational budget has been prepared based on industry benchmarks and consultation. Consultation with neighbouring municipality galleries and other public regional galleries also suggested a diverse range of strategies and income to contribute to offsetting operational costs. In support of a public only model noted.
55	7040	 Support noted. Preference for a gallery at 895 Main Road, Eltham Continue with a business case and masterplan noted.
56	7041	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Accessibility and visibility of 895 Main Road, Eltham noted. In support of a public/private model noted.

57	7042	 Partial support noted. Preference for gallery at Montsalvat noted. Amenity and artistic heritage of Montsalvat noted. The Nillumbik community has a long-held desire for the highly regarded Shire Art Collection to have a suitable home, to be well managed, accessible and to have the opportunity to grow. There is a high expectation that a Nillumbik gallery will achieve this. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. Car parking is a key component within the design principals of a site and is considered in relation to existing and need as well as vicinity to public transport. Parking is also considered in relation to the size, design and function of the building and subject to building/planning code requirements. The communication mechanisms employed to promote feedback on the Nillumbik Regional Gallery Feasibility Study included a media release, posts on multiple social media platforms, electronic newsletters, listing on Council's website, and direct invitations through the Arts Advisory Committee, relevant regional/community groups and associations. The consultation undertaken to inform the Nillumbik Regional Gallery Feasibility study included: Community Summit surveys Online survey Key stakeholder engagement Discussions with Nillumbik Council staff and neighbouring councils Discussions with relevant galleries/museums A businees case and masterplan with detail and cost to be delivered to attract state and federal funding for major capital works once Council considers the impact and influence of all submissions. Consultants to update the economic impact analysis based on current cost estimates noted. The s
58	7043	 Support noted. Support for a gallery at 895 Main Road, Eltham because of accessibility and visibility noted. Continue with a business case and masterplan noted.

59	7044	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Accessibility and visibility of 895 Main Road, Eltham noted. Continue with a business case and masterplan noted.
60	7046	 Partial support noted. Support for a gallery at 895 Main Road, Eltham noted. Visibility of 895 Main Road, Eltham noted. Feedback regarding the building's design and function has been noted and will be considered. Feedback regarding alternative site has been noted and will be considered in relation to amenity, accessibility, utility, visibility and functionality. Continue with a business case and masterplan noted.
61	7047	 Partial support noted. Preference for a gallery at Montsalvat, Eltham noted. Amenity, utility, visibility and functionality of Montsalvat noted. Car parking is a key consideration within the design principals of a site and will be considered in relation to existing and need as well as vicinity to public transport. Parking will also be considered in relation to the size, design and function of the building and subject to building/planning code requirements. The Eltham Community and Reception Centre is a venue with specific objectives and modes of operation that differ to the purpose of a regional Gallery. In support of a public/private model noted.
62	7048	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Visibility of 895 Main Road, Eltham noted. Continue with a business case and masterplan noted.
63	7049	 Support noted. Preference for a gallery at Montsalvat, Eltham noted. Amenity, utility, visibility and history of Montsalvat noted. In support of a public/private model noted.

64	7050	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Continue with a business case and masterplan noted. In support of a public only model noted.
65	7051	 Support noted. Support for a gallery at 895 Main Road, Eltham noted Information on copyright issues and community art projects is best addressed through Council's Community Grants officers. Continue with a business case and masterplan noted.
66	7052	 Support noted. Support for a gallery at Montsalvat, Eltham noted. Reputation and amenity of Montsalvat noted. In support of a public/private model noted.
67	7053	 Partial support noted. Montsalvat as preferred site for a gallery noted. Artistic history, reputation, amenity, accessibility, utility, visibility and functionality of Montsalvat noted. There is both a shortfall in the provision of professional quality exhibition and cultural venue facilities and strong long standing community support for it to be provided in the Shire. The Eltham Community and Reception Centre and The Eltham Library Community Gallery are venues with specific objectives and modes of operation that differ to the purpose of a regional Gallery. Various sites around the Shire were identified, however only sites 1 through to 6 were considered to provide enough of the site selection criteria to warrant a detailed review. Site selection included considerations regarding amenity, accessibility, utility, visibility and functionality. Feedback regarding the building's design and function has been noted and will be considered. In support of a public/private model noted.

68	7054	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Feedback regarding the building's design and education spaces has been noted and will be considered. Continue with a business case and masterplan noted.
69	7055	 Support noted. Support for a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Feedback regarding the building's design, residency spaces and performaning art areas has been noted and will be considered. Continue with a business case and masterplan noted.
70	7057	 Partial support noted. Support for a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Edendale is an environmental farm with specific objectives and modes of operation that differ to the purpose of a public art Gallery. A business case and masterplan with detail and costings to be delivered once Council considers the impact and influence of all submissions. Both the business case and masterplan is required to attract state, federal or private sector funding for major capital works.
71	7058	 Support noted. In support of public only model noted.
72	7059	 Support noted. Support of a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Continue with a business case and masterplan noted. A business case and masterplan with details and costings to be delivered once Council considers the impact and influence of all submissions. This is required to attract state, federal or private sector funding for major capital works as well as sponsorship.

73	7061	 Study not supported. Noted. Preference for a gallery at Greysharps Rd, Hurstbridge because of employment opportunities and greater exposure noted. Potential sites to be considered in relation to amenity, accessibility, utility, visibility and functionality.
74	7062	 Support noted. Support of a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. Continue with a business case and masterplan noted.
75	7065	 Partial support noted. Montsalvat as preferred site for a gallery noted. Artistic heritage and reputation of Montsalvat noted. Continue with a business case and masterplan noted.
76	7070	 Support noted Support of a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. Continue with a business case and masterplan noted.
77	7071	 Partial support noted. Preference for a gallery at Montsalvat, Eltham noted. The proportion of Council's income that comes from rates varies. An indicative operational budget has been prepared based on industry benchmarking and consultation. Consultation with neighbouring municipality galleries and other public regional galleries also suggested a diverse range of strategies and income to contribute to offsetting operational costs. In support of a public/private partnership model noted.

78	7072	 Study not supported. Noted. The purpose of the Regional Gallery Feasibility Study is to determine the feasibility of a regional gallery in Nillumbik Shire. A business case and masterplan with details and costings to be delivered once Council considers the impact and influence of all submissions.
7	7073	 Gallery not supported. Noted. The Regional Art Gallery Feasibility Study is a key action within the Arts and Cultural Plan 2018-2022 and the Council Plan 2017-2021. Car parking is a key component and consideration within the design principals of a site. Parking will be considered in relation to existing and need as well as vicinity to public transport. It will also be considered in relation to the size, design and function of the building and subject to building/planning code requirements. A business case and masterplan with detail and costings to be delivered once Council considers the impact and influence of all submissions. This is required to attract state, federal or private sector funding for major capital works. The proportion of Council's income that comes from rates varies. An indicative operational budget has been prepared based on industry benchmarks and consultation. Consultation with neighbouring municipality galleries and other public regional galleries also suggested a diverse range of strategies and income to contribute to offsetting operational costs. The most significant areas of revenue contributions are exhibition entry fees, donations and sponsorships as well as visitor expenditure. Feedback regarding alternative sites as well as the building's surrounding has been noted.
80	7074	 Support noted. Preference for a gallery at 895 Main Rd, Eltham Continue with a business case and masterplan noted.
81	7075	 Support noted. Preference for a gallery at 895 Main Road, Eltham noted. Artistic heritage of Eltham noted. In support of a public only model noted.

82	7077	 Support noted. Support for a gallery at 895 Main Rd, Eltham noted. Accessibility and visibility of 895 Main Rd, Eltham noted. Feedback regarding hospitality has been noted and will be considered. Continue with a business case and masterplan noted. In support of a public only model noted.
83	7078	 Study not support. Noted. Montsalvat as preferred site for a gallery noted. Artistic history, amenity and accessibility of Montsalvat noted. In support of a public/private partnership model noted.
84	7079	 Study not support. Noted. The development of a public art gallery of regional significance in Nillumbik is specifically identified as a priority in the Council Plan 2017-2021, the Arts and Cultural Plan 2018-2022 and the Nillumbik Economic Development Strategy 2011-2016. There is both a shortfall in the provision of professional quality exhibition and cultural venue facilities and strong long standing community support for it to be provided in the Shire. Site visits and discussions were conducted with management at both Dunmoochin and Montsalvat. A summary of feedback from those meeting is recorded in the study. Eltham Community and Reception Centre is a venue with specific objectives and modes of operation that differ to the purpose of a regional Gallery. It is widely believed that a gallery will generate important economic benefits for Nillumbik through increased tourism and greater opportunities for the arts community, increasing demand in the service and hospitality sectors, local accommodation, cafes restaurants and creating employment.

ifically identified as a Nillumbik Economic Collection to have a There is a high ral venue facilities and

86	7081	 Support noted. Preference for a gallery at 34-38 Graysharps Road, Hurstbridge is noted. A regional gallery is feasible if it is staffed by qualified and sufficiently senior and experienced staff. Eltham Community and Reception Centre is a venue with specific objectives and modes of operation that differ to the purpose of a public Gallery. Feedback regarding alternative sites has been noted and will be considered in relation to amenity, accessibility, utility, visibility and functionality. Car parking is a key consideration within the design principals of a site and is considered in relation to the size, design and need as well as vicinity to public transport. Parking is also considered in relation to the size, design and function of the building and subject to building/planning code requirements. An indicative operational budget has been prepared based on industry benchmarks and consultation.
		 Consultation with neighbouring municipality galleries and other public regional galleries also suggested a diverse range of strategies and income to contribute to offsetting operational costs. The most significant areas of revenue contributions are exhibition entry fees, donations and sponsorships as well as visitor expenditure. Continue with a business case and masterplan noted. In support of a public only model noted.

87	7082	 Partial support noted. Support for a gallery at 895 Main Rd, Eltham noted. Accessibility and visibility of 895 Main Rd, Eltham noted. A business case and masterplan with detail and costings to be delivered once Council considers the impact and influence of all submissions. This is required to attract state, federal or private sector funding for major capital works. Continue with a business case and masterplan noted. In support of a public only model noted.
88	7086	 Partial support noted. Support for a gallery at 895 Main Rd, Eltham noted.
89	7089	 Support noted. Continue with a business case and masterplan noted.
90	7090	 Support noted. Support for a gallery at 895 Main Rd, Eltham noted. In support of a public only model noted.
91	7091	 Support noted. Support for a gallery at 895 Main Rd, Eltham noted. Accessibility and visibility of 895 Main Rd, Eltham noted. Continue with a business case and masterplan noted. In support of a public only model noted. To generate awareness of the feasibility study, a Communications Plan was implemented. The communication mechanisms employed included a media release, posts on multiple social media platforms, electronic newsletters, listing on Council's website, and direct invitations through the Arts Advisory Committee, relevant regional/community groups and associations. Feedback regarding rehearsal spaces has been noted and will be considered.

92	7092	 Partial support noted. Continue with a business case and masterplan noted. In support of a public only model noted. Support for a gallery at 895 Main Rd, Eltham noted. Accessibility and visibility of 895 Main Rd, Eltham noted.
93	7093	 Support noted. Support for a gallery at 895 Main Rd, Eltham noted. Accessibility and visibility of 895 Main Rd, Eltham noted. Policing is a State Government issue Car parking is a key component within the design principals of a site and will be considered in relation to existing and need as well as vicinity to public transport. Parking will also be considered in relation to the size, design and function of the building and subject to building/planning code requirements. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. A business case and masterplan with detail and costings to be delivered once Council considers the impact and influence of all submissions. Continue with a business case and masterplan noted. In support of a public only model noted.

94	7094	 Partial support noted. The development of a public art gallery of regional significance in Nillumbik is specifically identified as a priority in the Council Plan 2017-2021, the Arts and Cultural Plan 2018-2022 and the Nillumbik Economic Development Strategy 2011-2016. The study has found there is both a shortfall in the provision of professional quality exhibition and cultural venue facilities and strong long standing community support for it to be provided in the Shire. The Nillumbik community has a long-held desire for the highly regarded Shire Art Collection to have a suitable home, to be well managed, accessible and to have the opportunity to grow. There is a high expectation that a Nillumbik gallery will achieve this. There is potential that the gallery will create significant cultural and social benefits for the Shire, strengthening community identity and sense of belonging, creating a cultural hub, contributing to community wellbeing, connections and cohesiveness. There is potential for a gallery to generate important economic benefits of the Shire through increased tourism and greater opportunities for the arts community, increasing demand in the service and hospitality sectors and creating employment.
95	7096	 Support noted. Support of a gallery at 895 Main Rd, Eltham noted. Accessibility and visibility of 895 Main Rd, Eltham noted. In support of public/private partnership noted
96	7097	 Partial support noted Support of a gallery at 895 Main Rd, Eltham noted. Accessibility and visibility of 895 Main Rd, Eltham noted. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. Feedback regarding the building's design, rehearsal rooms, children spaces and outdoor surroundings has been noted and will be considered. A business case and masterplan with more details and costings to be delivered once Council considers the impact and influence of all submissions. In support of a public model only noted.

97	7098	 Partial support noted. Support of a gallery at 895 Main Rd, Eltham noted. Feedback on bushfire, security and flood risks is noted and will be considered going forward in the business case and masterplan to be delivered once Council considers the impact and influence of all submissions. Issues regarding graffiti is best addressed by Council's Environmental department or police. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. Car parking is a key component within the design principals of a site and is considered in relation to existing and need as well as vicinity to public transport. It is also considered in relation to the size, design and function of the building and subject to building/planning code requirements. In support of a public model only noted. Continue with a business case and masterplan noted.
98	7099	 Gallery not supported. Noted. An environmental impact statement will be considered going forward in the business case and masterplan to be delivered once Council considers the impact and influence of all submissions. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building.
99	7101	 Support noted. Support of a gallery at 895 Main Rd, Eltham noted. Accessibility and visibility of 895 Main Rd, Eltham noted. In support of a public model only noted. Continue with a business case and masterplan noted.

100	7102	 Study not supported. Noted. Feedback on bushfire risks and the building's design, surroundings and function has been noted and will be considered. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. In support of a public model only noted.
101	7103	 Gallery not supported. Noted. Preference for a gallery at Montsalvat, Eltham because of amenity. In support of public/private partnership noted.
102	7104	 Support noted. Support for a gallery at 895 Main Rd, Eltham noted In support of public/private partnership noted.
103	7107	 Support noted. Montsalvat, Eltham as preferred site for a regional gallery because of existing amenities noted. In support of public/private partnership noted. Feedback regarding alternative sites has been noted and will be considered regarding amenity, accessibility, utility, visibility and functionality.

104	7108	 Partial support noted. Preference for a gallery at Montsalvat, Eltham noted. The consultation undertaken to inform the Nillumbik Regional Gallery Feasibility study included: Community summits (2 in 2018) Community Summit surveys Online survey Key stakeholder engagement Discussions with Nillumbik Council staff and neighbouring councils Discussions with relevant galleries/museums The community summits for the Regional Gallery Feasibility Study were held at the Eltham Community and Reception Centre and the Hurstbridge Hub. Participants discussed a range of topics and questions in small groups that related to the feasibility of developing a gallery in the Shire of Nillumbik. A business case and masterplan with detail and costings to be delivered once Council considers the impact and influence of all submissions. This is required to attract state, federal or private sector funding for major capital works. Montsalvat is an independent and private cultural organisation which would require a public/private partnership model.
104	7109	 Support noted. Support of a regional gallery at 895 Main Rd, Eltham noted. Accessibility and amenity of site noted. Car parking is a key component and consideration within the design principals of a site. Parking is considered in relation to existing and need as well as vicinity to public transport. It is also considered in relation to the size, design and function of the building and subject to building/planning code requirements. In support of public/private partnership noted.

106	7110	Partial support noted.
		 34-38 Graysharps Road, Hurstbridge as preferred site noted.
		Accessibility of site noted.
		• The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, oper spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building.
		 Feedback regarding alternative sites has been noted and will be considered regarding amenity, accessibility, utility, visibility and functionality.
		 Feedback regarding the building's design, surroundings and function has been noted and will be considered.
		 A business case and masterplan with detail and costings to be delivered once Council considers the impact and influence of all submissions. This is required to attract state, federal or private sector funding for major capital works. In support of a public model only noted.
107	7111	Partial support noted.
		Support of a regional gallery at Montsalvat noted.
		 Montsalvat is an independent and private cultural organisation which would require a public/private partnership model.
		• Eltham Community and Reception Centre is a venue with specific objectives and modes of operation that differ to the purpose of a regional Gallery.
108	7112	Partial support noted.
		 A business case and masterplan to be delivered once Council considers the impact and influence of all submissions.

109	7113	 Partial support noted. Support of a gallery at 895 Main Road, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Road, Eltham noted. In support of a public model only. The preliminary cost plan prepared by quantity surveyors Turner and Townsend estimates the Gallery will cost approximately \$50 million to build and fit out. A business case and masterplan with details and costings to be delivered once Council considers the impact and influence of all submissions.
110	7114	 Partial support noted. Preference for a gallery at Montsalvat noted. Eltham Community and Reception Centre is a venue with specific objectives and modes of operation that differ to the purpose of a regional Gallery.
111	7115	 Partial support noted. Preference for a gallery at Montsalvat noted. Montsalvat is an independent and private cultural organisation which would require a public/private partnership model. Eltham Community and Reception Centre is a venue with specific objectives and modes of operation that differ to the purpose of a regional Gallery.

112	7116	 Support noted. Support for a regional gallery at 895 Main Rd, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Rd, Eltham noted. Feedback regarding alternative sites has been noted and will be considered regarding amenity, accessibility, utility, visibility and functionality. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. Continue to business case and masterplan noted. In support of a public model only noted.
113	7117	 Partial support noted. Support of a regional gallery at 895 Main Rd, Eltham because of artistic heritage noted. Feedback regarding bushfire risks and the building's design, surroundings and function has been noted and will be considered. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. A business case and masterplan to be delivered once Council considers the impact and influence of all submissions.

SUDMISSION	 Partial support noted. Preference for a gallery at Montsalvat noted. Amenity and artistic heritage of Montsalvat noted. Car parking is a key component within the design principals of a site and is considered in relation to existing and need as well as vicinity to public transport. Parking is also considered in relation to the size, design and function of the building and subject to building/planning code requirements. The consultation undertaken to inform the Nillumbik Regional Gallery Feasibility study included: o Community summits (2 in 2018) o Community Summit surveys o Online survey o Key stakeholder engagement o Discussions with Nillumbik Council staff and neighbouring councils o Discussions with relevant galleries/museums The community summits for the Regional Gallery Feasibility Study were held at the Eltham Community and Reception Centre and the Hurstbridge Hub. Participants discussed a range of topics and questions in small
1	submission

115	Email Submission	 Partial support noted. Support of a regional gallery at 895 Main Rd, Eltham noted. Amenity, accessibility, utility, visibility and functionality of 895 Main Rd, Eltham noted. The priority design elements identified in the Regional Gallery Feasibility Study includes sustainability, open spaces and iconic design. The study indicated that the gallery must have the capacity to be integrated into and connect with the environment as well as embrace landscape and nature within the building. Feedback regarding a children's space and programing, the building's design, its' surroundings and function
		 has been noted and will be considered. To generate awareness of the feasibility study, a Communications Plan was implemented. The communication mechanisms employed included a media release, posts on multiple social media platforms, electronic newsletters, listing on Council's website, and direct invitations through the Arts Advisory Committee, relevant regional/community groups and associations. A business case and masterplan with details and costings to be delivered once Council considers the impact and influence of all submissions.

Proposed Flagpole schedule

The following flags are to be flown permanently at Council Offices and/or can be raised to recognise days of significance throughout the year:

Flag name	Cause day	Date/s	Details
Australian Flag	ANZAC Day Remembrance Day Black Saturday	25 April 11 November 7 February	Flag raised at half- mast based on requests from State and Federal Government. Flag raised permanently on all other occasions.
Aboriginal Flag	National Sorry Day Reconciliation Week NAIDOC Week	26 May 27 May – 3 June 8-11 July (dates may vary each year)	Flag raising ceremonies may occur on cause days. Flag may be raised at half-mast based on requests from State and Federal Government. Flag raised permanently on all other occasions.
Torres Strait Islander Flag	National Sorry Day Reconciliation Week NAIDOC Week	26 May 27 May – 3 June 8-11 July (dates may vary each year)	Flag raising ceremonies may occur on cause days. Flag raised permanently on all other occasions.

Flag name	Cause day	Date/s	Details
Progressive	International Day	17 May	Flag raising
Pride Flag	Against Homophobia,		ceremonies may
	Biphobia, Interphobia &		occur on cause
	Transphobia		days. Flag will
	(IDAHOBIT)		come down for
			other cause days
	Midsumma Festival	Occurs mid Feb –	flags (as outlined
		Mid March every	below) and will be
		year	raised permanently
			on all other
	Wear it Purple Day	28 August (dates	occasions.
		may vary each	
		year)	
Transgender	Trans Day of Visibility	31 March	Flag raised for one
Flag			day.
	Trans day of	20 November	Flag raised for one
	Remembrance		day.
			-



Australian Government Department of the Prime Minister and Cabinet

Australian Flags





Foreword

Australian Flags was first published under the auspices of the Department of the Prime Minister and Cabinet in 1995 to provide information about the Australian National Flag, official Australian flags such as the Australian Aboriginal Flag and the Torres Strait Islander Flag, state and territory flags, and other flags flown in Australia. A 2nd edition of Australian Flags was published in 1998.

This 3rd edition of *Australian Flags* has a new structure to make the book easier to read and new illustrations to describe flag protocol:

- Part 1 outlines the elements of the Australian National Flag
- Part 2 explains the protocols for the appropriate use and the flying of the Australian National Flag
- Part 3 details other official flags of Australia
- Part 4 outlines the history of the Australian National Flag.

Australian Flags can be used as an educational resource and a source of general information about the history and proper use of the Australian National Flag and other flags of Australia by the Australian community, flag marshals and visitors to Australia.

A hard copy of *Australian Flags* can be obtained free of charge by contacting the electorate office of your local Senator or Member of the House of Representatives.

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About the Parliamentary and Government Branch

The Parliamentary and Government Branch is part of the Department of the Prime Minister and Cabinet and is responsible for providing advice on flag protocol.

Further information about the Branch's activities is available on our website or by contacting:

Parliamentary and Government Branch

Department of the Prime Minister and Cabinet PO Box 6500 Canberra ACT 2600 Telephone: (02) 6271 5601 Email: nationalsymbols@pmc.gov.au

Commonwealth Flag Network

The Parliamentary and Government Branch is responsible for the administration of the Commonwealth Flag Network.

This free service notifies flag marshals of flag protocol when flying the Australian National Flag on special occasions such as Anzac Day and Australian National Flag Day or occasions when flags should be flown at half-mast. Flag marshals and those interested in flying the Australian National Flag are encouraged to register to become members of the Commonwealth Flag Network.

Free issue of Australian flags

The Australian National Flag, the Australian Aboriginal Flag and the Torres Strait Islander Flag can be obtained free of charge by contacting the electorate office of your local Senator or Member of the House of Representatives.

Who can obtain a flag

The flags are available by contacting the electorate office of your local Senator or Member of the House of Representatives. Schools, local councils, churches and other non-profit or benevolent community organisations, associations and groups that have occasion to display a flag from flagpoles on their premises or that display the flag on special public occasions or in halls or meeting rooms are welcome to access them. Flags are also available to community organisations, exchange students and humanitarian aid workers undertaking official visits or duties overseas.

Acknowledgements

The Parliamentary and Government Branch would like to express its thanks to the people and organisations that contributed their knowledge and expertise to each edition of *Australian Flags*:

- Aboriginal and Torres Strait Islander Commission
- Australian Border Force
- Australian Defence Force
- Australian Federal Police
- Australian Institute of Aboriginal and Torres Strait Islander Studies
- Australian Maritime Safety Authority
- Australian Olympic Committee
- Australian War Memorial
- Ballarat Fine Art Gallery
- Christmas Island Shire Council
- Cocos (Keeling) Islands Shire Council
- Mr Harold Thomas
- Mr John Vaughan, Vexillographer
- National Archives of Australia
- National Library of Australia

- National Indigenous Australians Agency
- Norfolk Island Government
- Office of the Administrator of the Indian Ocean Territories
- Offices of State Governors
- Queen Victoria Museum and Art Gallery, Launceston
- Rigby Ltd
- Sporting Pix Australia
- State and territory government protocol officers

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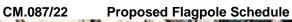
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Part 1 The Australian National Flag

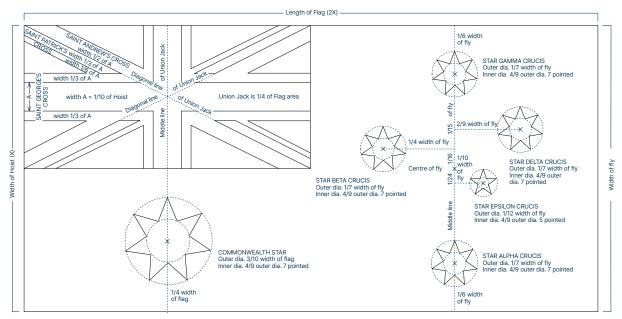


Attachments - 417

CM.087/22 Proposed Flagpole Schedule



The Elements of the Australian National Flag



Flag specifications are as outlined in the Flags Act 1953 (Schedule 1).

The Australian National Flag consists of three elements:

- the Union Jack
- the Commonwealth Star
- the Southern Cross.

Colour references for the Australian National Flag are:

- Blue: PANTONE® 280
- Red: PANTONE® 185.



THE ELEMENTS OF THE AUSTRALIAN NATIONAL FLAG

The Union Jack

The Australian National Flag has the Union Jack in the upper left-hand quarter nearest the flagpole (the 'canton') to acknowledge the history of British settlement in Australia. The rest of the background (the 'field') is coloured dark blue. The Union Jack, the commonly used name for the Union Flag, is the flag of the United Kingdom of Great Britain and Northern Ireland and has its own history.

The first Union Flag, created in 1606, combined the red cross of St George (England) on a white background and the white diagonal cross of St Andrew (Scotland) on a dark blue background. When Ireland became part of the United Kingdom in 1801, the red diagonal cross of St Patrick was added to the Union Jack.

The Commonwealth Star

The Commonwealth Star on the Australian National Flag created in 1901 had six points representing the states (formerly colonies). The seventh point was added in 1908 to represent Commonwealth territories. Another reason for this change was for the star to match the crest of the Commonwealth Coat of Arms, the first version of which was created in 1908. The Commonwealth Star is sometimes referred to as the Federation Star.

The Southern Cross

Four seven-pointed stars arranged in a cross, together with a smaller five-pointed star appear on the right-hand side (the 'fly') of the flag to represent the Southern Cross. The Southern Cross is a constellation that can be easily seen in the night skies of the Southern Hemisphere. It was a common feature of many of the early unofficial Australian flags. The formal name of the Southern Cross is *Crux Australis* and the individual stars are known by the first five letters of the Greek alphabet in order of brightness: (clockwise from the bottom star) *Alpha*, *Beta, Gamma, Delta* and *Epsilon*.

The original competition-winning design had each star with a different number of points, ranging from nine to five, to reflect their brightness. The number of points was simplified and the official drawing in the *Commonwealth of Australia Gazette* on 23 February 1903 showed the four larger stars of the same size with seven points each and one smaller star with five points.

Australian National Flag Day

Australian National Flag Day was proclaimed by the Governor-General on 28 August 1996 and has been observed since 3 September 1996.

Australian National Flag Day acknowledges the first time the flag was officially flown on 3 September 1901.

Australians can celebrate Australian National Flag Day by flying or displaying the Australian National Flag on 3 September each year.





Part 2 The protocols for the appropriate use and the flying of the flag



Flying and use of the Australian National Flag

The Australian National Flag may be flown on every day of the year. It is important to observe correct flag protocol when flying the flag. The following guidelines apply to the Australian National Flag and to flags generally.



Who can fly the Australian National Flag?

Any person may fly the Australian National Flag. However, the flag should be treated with the respect and dignity it deserves as the nation's most important national symbol.

Flag protocol is based on longstanding international and national practice.

Dignity of the flag

The flag should not be allowed to fall or lie on the ground.

The flag should not be used to cover a statue, monument or plaque for an unveiling ceremony; to cover a table or seat; or to mask boxes, barriers or the space between the floor and the ground level on a dais or platform.

The flag should never be flown when in damaged, faded or dilapidated condition. When the material of the flag deteriorates to a point where it is no longer suitable for use, it should be destroyed privately, in a dignified way.

Flying and handling

When flown in Australia or on Australian territory the Australian National Flag takes precedence over all other flags. See the order of precedence when flying the Australian National Flag in company with other flags.

The flag should not be flown in a position inferior to that of any other flag or ensign. The superior position is based on the formation of the flagpoles in the set, not the height of the flag on the flagpole.

The flag should not be smaller than that of any other flag or ensign.

The flag should be raised briskly and lowered with dignity.

The flag should always be flown aloft and free as close as possible to the top of the flag mast, with the rope tightly secured.

Unless all the flags can be raised and lowered simultaneously, the Australian National Flag should be raised first and lowered last when flown with other flags.

When the flag is raised or lowered, or when it is carried in a parade or review, all present should face the flag and remain silent. Those in uniform should salute.

The flag should be raised no earlier than first light and should be lowered no later than dusk.

The flag may only be flown at night when illuminated.

Two flags should not be flown from the same flagpole.

The flag should not be flown upside down, even as a signal of distress.

Disposal of flags

When a flag becomes dilapidated and no longer suitable for use, it should be destroyed privately and in a dignified way. For example, it may be cut into small unrecognisable pieces, placed in an appropriate sealed bag or closed container then disposed of with the normal rubbish collection.

Alternatively you may conduct a flag retirement ceremony for a significant occasion. Further information is available on the Department of the Prime Minister and Cabinet's website.

FLYING AND USE OF THE AUSTRALIAN NATIONAL FLAG



Displaying the Australian National Flag

Whether the flag is displayed flat against a surface (either horizontally or vertically), on a staff, on a flag rope, or suspended vertically in the middle of a street, the canton should be in the uppermost left quarter as viewed by a person facing the flag.

In the case of the Australian National Flag, the Union Jack should be seen in the top left quarter of the flag. 1



Even when the flag is displayed vertically, this rule must be followed, although to the casual observer the flag appears to be back to front. The reason for this is that the canton is the position of honour on the flag.

When the Australian National Flag is displayed alone on a speaker's platform, it should be flat against the wall or on a staff on the right of the speaker as he or she faces the audience. 2



When displayed on a flag rope (a 'halyard'), the flag should be as close as possible to the top, with the flag rope tight.

If the national flag is vertically suspended in an east-west street, the canton should be towards the north. In a north-south street the canton should be towards the east. 3



Use of the flags on conference tables

Should it be decided to place the flags of nations on a conference table, a single flag representative of each nation present should be placed in front of the leader of that country's delegation. 4



Flying the Australian National Flag alone

When the Australian National Flag is flown alone, on top of, or in front of a building with two flagpoles, it should be flown on the flagpole to the left of a person facing the building. 5



When flown alone, on top of, or in front of a building with more than two flagpoles, the Australian National Flag should be flown in the centre or as near as possible to it. 6



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Flying the Australian National Flag with other nations' flags

When the Australian National Flag is flown with the flags of other nations, all the flags should, if possible, be the same size and flown on flagpoles of the same height. According to international practice, no national flag should fly above another in peacetime.

The Australian National Flag must, however, take the position of honour.

When flying with only one other national flag, the Australian National Flag should fly on the left of a person facing the building. 7

When flying the Australian National Flag along with several other national flags, the flags should follow the Australian National Flag in alphabetical order.

The Australian Government's policy in relation to the flying of other nations' flags is to fly only the official flags of nations recognised by Australia.

In a line of several national flags, and where there is an odd number of flags and only one Australian National Flag is available, the Australian National Flag should be flown in the centre. 8



14

FLYING AND USE OF THE AUSTRALIAN NATIONAL FLAG



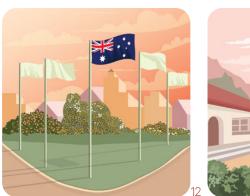




If there is an even number of flags and only one Australian National Flag is available, the Australian National Flag should be flown on the far left of a person facing the building. 9

If there is an even number of flags and two Australian National Flags are available, one should be flown at each end of the line. The flagpoles must be of uniform height. 10

When crossed with another national flag, the Australian National Flag should be on the left of a person facing the flags and its staff should cross in front of the staff of the other flag. 11





In a semi-circle of flags, the Australian National Flag should be in the centre. 12

In an enclosed circle of flags, the Australian National Flag should be flown on the flagpole immediately opposite the main entrance to the building or arena. 13



Flying the Australian National Flag with state and other flags

When flying the Australian National Flag with state flags and/or other flags (such as the Australian Aboriginal Flag, the Torres Strait Islander Flag, local government flags, house flags, club pennants, corporate and company flags) in a line of flagpoles, the order of the flags should follow the rules of precedence. The Australian National Flag should always be flown on the far left of a person facing the building. 14 With the exception of a flagpole fitted with a gaff, a house flag or club pennant should never be flown above a national flag.

For example, if the Australian National Flag was being flown with a state flag, the Australian Aboriginal Flag and a local government flag, the Australian National Flag would be flown on the far left (the position of honour), followed by the state flag, the Australian Aboriginal Flag and the local government flag.

If there are two Australian National Flags, one can be flown at each end of a line of flags. 15

If one flagpole is higher than other poles, the Australian National Flag should be flown on that flagpole.

For example, when displaying the Australian National Flag, the Australian Aboriginal Flag and the Torres Strait Islander Flag on a flag stand where the centre flagpole is highest, the Australian National Flag should be placed in the centre.

In a single or double row of flagpoles, arranged at right angles from a structure, such as a building or memorial, the Australian National Flag should be flown on the far left flagpole nearest the kerb. 16 If two Australian National Flags are available the second flag should be flown on the flagpole on the right nearest the kerb.

In a double row of flagpoles, where there is no formal focal point, such as a building or memorial, the Australian National Flag should be flown on the diagonal corners of the arrangement, with all other flags being arranged according to precedence as for a single row. 17

FLYING AND USE OF THE AUSTRALIAN NATIONAL FLAG



Flying the Australian National Flag on a yardarm

When the Australian National Flag is being displayed from a flagpole fitted with a yardarm and is flying with another national flag, the Australian National Flag should be flown on the left of the yardarm and the flag of the other nation should be flown on the right of the yardarm, as viewed from the front of the flagpole/gaff combination. 18 If the Australian National Flag is being displayed from a flagpole fitted with a yardarm and is flying with a state flag and a house flag or pennant, the Australian National Flag should be flown from the top of the flagpole, the state flag on the left of the yardarm, and the house flag or pennant on the right of the yardarm, as viewed from the front of the flagpole/gaff combination. 19

19



Flying the Australian National Flag on a flagpole with a gaff

If the flagpole is fitted with a gaff, the Australian National Flag should be flown from the peak of the gaff, which is the position of honour, even though the Australian National Flag is then lower than the flag flying from the top of the flagpole. This international tradition originates from the days of sailing ships, when it was necessary to keep the flag free of the ship's rigging. 20

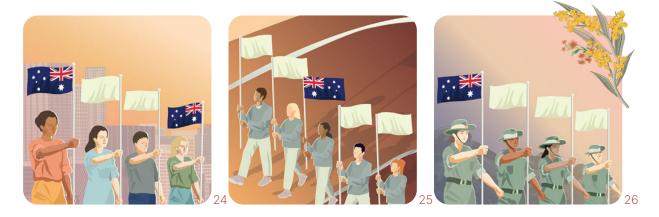
The next position of prominence is the peak of the flagpole, then the left-hand side of the yardarm, then the right-hand side, as viewed from the front of the flagpole/gaff combination.

Flying the Australian National Flag and red ensign on ships

The Australian red ensign is the flag to be flown by Australian-registered merchant ships. Either the Australian National Flag or the Australian red ensign can be flown by government ships, fishing vessels, pleasure craft, small craft and commercial vessels under 24 metres in tonnage length, but not both ensigns at the same time. 21 The rules for flying flags on non-defence ships are set out in sections 29 and 30 of the *Shipping Registration Act 1981* and regulation 22 of the Shipping Registration Regulations. Foreign vessels may, as a courtesy, fly from the foremast either the Australian National Flag or the Australian red ensign when berthed in an Australian port. 22



FLYING AND USE OF THE AUSTRALIAN NATIONAL FLAG



Carrying the Australian National Flag in a procession

In a line of flags carried in single file, the Australian National Flag should always lead. Flags are carried so that the right hand of the carrier is above the left hand. 23

In a line of flags carried abreast, it is preferable to have an Australian National Flag carried at each end of the line. 24 If, however, only one Australian National Flag is available, the following applies:

- If there is an odd number of flags, the Australian National Flag should be carried in the centre of the line.
- The flag next highest in order of precedence should be flown to the left of the Australian National Flag (as seen by a viewer facing the flag bearers), the next ranking flag to the right of the Australian National Flag and so on. 25
- If there is an even number of flags, the Australian National Flag should be carried on the right-hand end of the line facing the direction of movement (that is, the left end of the line as viewed by a person facing the flags). 26

Lowering the Australian National Flag in a procession

The Australian National Flag should not be lowered as a form of salute, even when it is appropriate for other flags or ensigns being carried in a procession to be lowered as a form of salute.

Flying the Australian National Flag at half-mast

Flags are flown in the half-mast position as a sign of mourning. 27

To bring the flag to the half-mast position, the flag must first be raised to the top of the mast (the 'peak'), then immediately lowered slowly to the half-mast position. This position is estimated by imagining another flag flying above the half-masted flag – in European mythology, the flag flying above is the flag of death. The flag must be lowered to a position recognisably half-mast so that it does not simply appear to have slipped down from the top of the flagpole. An acceptable position would be when the top of the flag is a third of the distance down from the top of the flagpole.

When lowering the flag from a half-mast position, it should first be raised briefly to the peak, then lowered ceremoniously.

A flag should not be flown at half-mast at night, whether or not the flag is illuminated, unless direction to half-mast the flag for an extended period of time has been issued.

When flying the Australian National Flag with other flags, all flags in the set should be flown at half-mast. The Australian National Flag should be raised first and lowered last.

There are occasions when direction will be given by the Australian Government for all flags to be flown at half-mast. Some examples of these occasions are:

- On the death of the Sovereign (King or Queen)

 the flag should be flown from the time of announcement of the death up to and including the funeral. On the day the accession of the new Sovereign is proclaimed, it is customary to raise the flag to the top of the mast from 11 am until the usual time for closure of business.
- On the death of a member of the royal family by special command of the Sovereign and/or by direction of the Australian Government.
- On the death of the Governor-General or a former Governor-General.
- On the death of a distinguished Australian citizen, in accordance with protocol.
- On the death of the head of state of another country with which Australia has diplomatic relations the flag would be flown at half-mast on the day of the funeral or as directed.
- On days of national commemoration such as Anzac Day and Remembrance Day.

Flags in any locality may be flown at half-mast on the death of a local citizen or on the day, or part of the day, of their funeral without direction from the Australian Government.



FLYING AND USE OF THE AUSTRALIAN NATIONAL FLAG

Draping a coffin

The Australian National Flag may be used to cover the coffin of any deceased Australian citizen at their funeral. The canton should be draped over the 'left shoulder' of the coffin, representing the heart. The flag should be removed before the coffin is lowered into the grave or, at a crematorium, after the service. The deceased's service headdress, sword or baton, awards or medals if any and family flowers may be placed on the flag covering the coffin. Care should be taken during the interment to maintain the dignity of the flag. 28



Flying the Australian National Flag on public holidays

All organisations and individuals are encouraged to fly the Australian National Flag on public holidays.

Display at polling places

Where possible, the Australian National Flag should be displayed in or near every polling place on days when votes are being cast in a national election or referendum.

Flying the Australian National Flag on Australian Government buildings

The Australian Government has directed that the Australian National Flag be flown on its buildings during normal working hours on normal working days. This will vary on days of mourning, when the flag is flown at half-mast, and on days of national commemoration.

If more than one flagpole is available at an Australian Government building, other flags, such as house flags, may be flown from the additional flagpole, with the Australian National Flag in the pre-eminent position.

Commercial use of the flag or flag image

The Australian National Flag, or representation of the flag, may be used for commercial or advertising purposes without formal permission, subject to the following guidelines:

- The flag should be used in a dignified manner and reproduced completely and accurately.
- The flag should not be defaced by overprinting with words or illustration.
- The flag should not be covered by other objects in displays.
- All symbolic parts of the flag should be identifiable.

It is not necessary to seek formal permission to use the Australian National Flag for commercial purposes. However, the Parliamentary and Government Branch is available to provide advice on the appropriate use or representation of the Australian National Flag for commercial purposes.

In regard to the importation of items bearing an image of the Australian National Flag, importers must consult the Department of the Prime Minister and Cabinet for approval of the item before importing the items into Australia.



FLYING AND USE OF THE AUSTRALIAN NATIONAL FLAG

Flag folding

The following diagrams show how to fold the flag properly:









FLYING AND USE OF THE AUSTRALIAN NATIONAL FLAG

Special days for flying flags

The following list shows days of commemoration on which the flying of the Australian National Flag and, where appropriate, other flags, is particularly encouraged. Unless noted otherwise, these days are celebrated nationally.

1 January — Anniversary of the establishment of the Commonwealth of Australia

26 January — Australia Day

13 February — Anniversary of the Apology to Members of the Stolen Generations

March, second Monday — Commonwealth Day

21 March — Harmony Day – Harmony Day began in 1999 and celebrates Australia's success as a diverse society united as one family by a common set of values.

25 April — Anzac Day – Flags are flown at half-mast until noon then at the peak until the usual time for closure of business.

9 May — Anniversary of the inauguration of Canberra as the seat of government (Australian Capital Territory only)

27 May to 3 June — National Reconciliation Week – In recognition of 27 May as the anniversary of the 1967 Referendum which successfully removed from the Constitution clauses that discriminated against Indigenous Australians and 3 June as the anniversary of the High Court decision in the Eddie Mabo land rights case of 1992.

June, second Monday — Celebrated as the Queen's Birthday, except in Queensland and Western Australia, where it is observed later in September or October.

July, nominated week — NAIDOC Week (originally an acronym for National Aboriginal and Islanders' Day Observance Committee, the acronym has since become the name of the week) – NAIDOC Week is held every year to celebrate and promote a greater understanding of Aboriginal and Torres Strait Islander peoples and culture. The Australian Aboriginal Flag and the Torres Strait Islander Flag should be flown on additional flagpoles, where available, next to or near the Australian National Flag on Australian Government buildings and establishments.

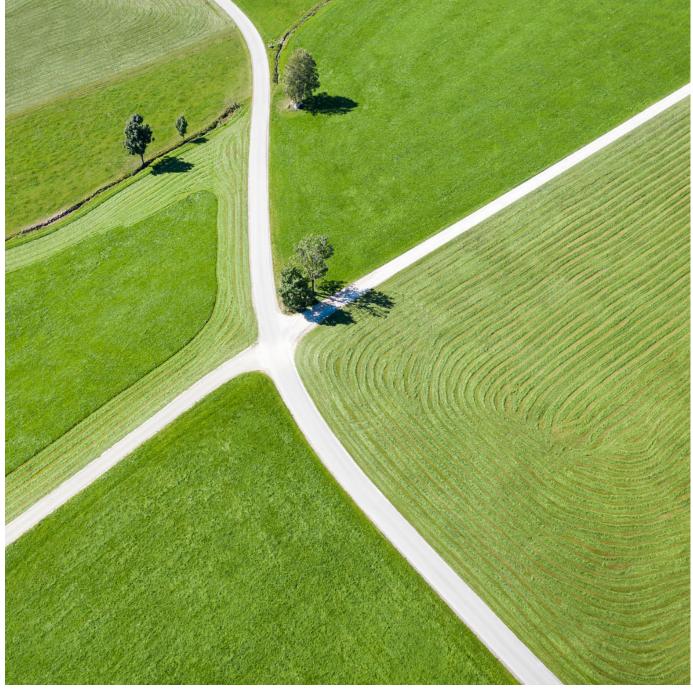
If there is only one flagpole available, the Australian Aboriginal Flag and the Torres Strait Islander Flag should not replace the Australian National Flag. If there are two flagpoles available, it is at the discretion of the authority concerned to determine which flag should be flown with the Australian National Flag. **3 September** — Australian National Flag Day

17 September – Citizenship Day - Citizenship Day was introduced in 2001 and is an opportunity for all Australians to take pride in our citizenship and reflect on the meaning and importance of being Australian.

24 October — United Nations Day – If there are two or more flagpoles of equal height available, the United Nations Flag should be flown together with the Australian National Flag all day. The Australian National Flag should be flown in the pre-eminent position with the United Nations Flag on the second flagpole for the day. The United Nations Flag should be of the same size as the Australian National Flag.

11 November — Remembrance Day – Flags are flown at the peak from 8:00 am, at half-mast from 10:30 am to 11:02 am, and at the peak again from 11:02 am until the usual time for closure of business.

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Order of precedence

The Australian National Flag takes precedence in Australia over all other flags when it is flown in company with other flags.

When flown in the community the order of precedence of flags is:

1: The Australian National Flag

2: National flag of other nations

3: State and territory flags

- **4:** Other flags prescribed by the *Flags Act* 1953 including:
 - the Australian Aboriginal Flag and the Torres Strait Islander Flag in either order and
 - the Defence ensigns which should be flown in the following order:
 - the Australian Defence Force ensign
 - the Australian white ensign
 - the Royal Australian Air Force ensign.
- **5:** Ensigns and pennants local government; Commonwealth, state and territory agencies; non-government organisations.

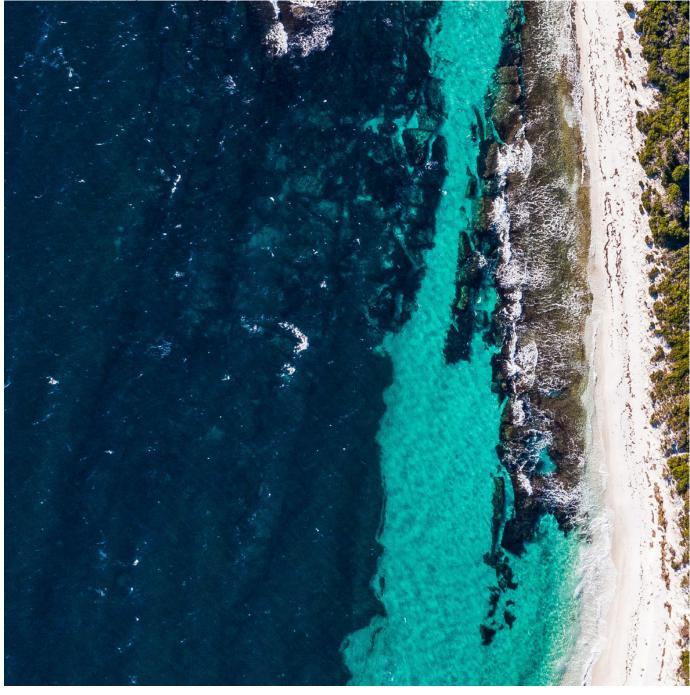
The order of precedence may be varied in the following circumstances:

- On military occasions or establishments, the Australian National Flag may be followed in the order of precedence by the prescribed Defence ensigns and military pennants ahead of other flags, ensigns and pennants.
- On Commonwealth occasions and Aboriginal or Torres Strait Island occasions for their peoples, the Australian Aboriginal Flag or the Torres Strait Islander Flag may follow the Australian National Flag ahead of other flags prescribed under the *Flags Act 1953*, state and territory flags and other ensigns and pennants.

The order of the State flags is New South Wales, Victoria, Queensland, South Australia, Western Australia, Tasmania (the order in which the State badges appear on the Commonwealth Coat of Arms) with flags of the Australian Capital Territory and the Northern Territory following in alphabetical order.

In the absence of a flag or flags higher in the order, a flag shall follow the flag being flown that is higher in the order.

The order of precedence does not require that a flag listed in the order must be flown in company with other flags in the order. CM.087/22 Proposed Flagpole Schedule



CM.087/22 Proposed Flagpole Schedule



Part 3 Other official flags of Australia



The Centenary Flag

The Centenary Flag was proclaimed a flag of Australia under section 6 of the *Flags Act 1953* on 20 September 2001. The Centenary Flag. Presented to the Hon John Howard MP, Prime Minister of Australia on behalf of the people of Australia by the Australian National Flag Association on 3 September 2001 at the Royal Exhibition Building, Melbourne to commemorate the first flying of the Australian National Flag on 3 September 1901 attended by the Rt Hon Sir Edmund Barton MHR, Prime Minister of Australia. The Australian National Flag Association presented the Centenary Flag to the Hon John Howard MP, the then Prime Minister of Australia, on behalf of the people of Australia, on Australian National Flag Day 2001 at the Royal Exhibition Building in Melbourne. The occasion commemorated the centenary of the first flying of the flag of the Commonwealth of Australia on 3 September 1901. Since then, the Centenary Flag has been flown in each state and territory and was also flown in London at the opening of the Australian War Memorial at Hyde Park on 11 November 2003.

The Centenary Flag is the Australian National Flag with the addition on the headband of an inscription that refers to the first flying of the Australian National Flag on 3 September 1901, and a crimson stripe to represent the thread of kinship that stands at the heart of the federation.

The Centenary Flag is the Commonwealth's flag of State and is flown on ceremonial occasions, such as the opening of Parliament and when visiting Heads of State are present.

A flag for Australia

On 1 January 1901, the six colonies united to form the Commonwealth of Australia. In search of a flag for the new nation, the Commonwealth Government announced a worldwide competition.

Entrants were invited to submit colour sketches for a design for two flags – one for official and naval purposes, the other for merchant ships.

More than 30,000 designs were submitted. From these, the judges chose five designs, which were almost identical, and the £200 prize was divided among the winners. These designs were the beginning of the Australian National Flag as we know it today.



The Australian Aboriginal Flag

The Australian Aboriginal Flag was first raised on 9 July 1971, National Aborigines' Day, at Victoria Square in Adelaide. It was also used at the Aboriginal Tent Embassy in Canberra in 1972. The flag was designed by Mr Harold Thomas, an Aboriginal artist from the Northern Territory.

On 25 January 2022, the Prime Minister announced the copyright of the Australian Aboriginal Flag was transferred from Mr Harold Thomas to the Commonwealth of Australia.

The flag, designed in proportions approximating one to two, is divided horizontally into equal halves of black (top) and red (bottom), and has a yellow circle in the centre. The black symbolises the Aboriginal people, the red represents the earth and the colour of ochre used in Aboriginal ceremonies, and the circle of yellow represents the sun, the constant renewer of life.

The flag is flown or displayed permanently at Aboriginal centres throughout Australia. It is popularly recognised as the flag of the Aboriginal peoples of Australia.

The flag is protected by copyright and may only be reproduced in accordance with the provisions of the *Copyright Act 1968*. Carroll & Richardson-Flagworld Pty Ltd is the exclusive licensed manufacturer and provider of the Australian Aboriginal Flag on flags and pennants, banners and buntings. As the owner of the copyright in the design of the flag, the Commonwealth allows the design to be freely reproduced by the public on all other mediums.

Colour references for the Australian Aboriginal Flag are:

- Red: PANTONE® 179
- Yellow: PANTONE® 123.

The Torres Strait Islander Flag

The Torres Strait Islander Flag was adopted in May 1992 during the Torres Strait Islands Cultural Festival. Its origin is attributed to the late Mr Bernard Namok of Thursday Island.

The flag has three horizontal panels: the top and bottom panels are green and the middle one blue. These panels are divided by thin black lines. The green represents the land, the blue represents the sea, and the black symbolises the people.

In the centre of the flag is a white Dhari (traditional headdress), which is a symbol for all Torres Strait Islanders. Underneath the Dhari is a white five-pointed star: the five points represent the island groups in Torres Strait and the white represents peace. The star is an important symbol for a seafaring people.

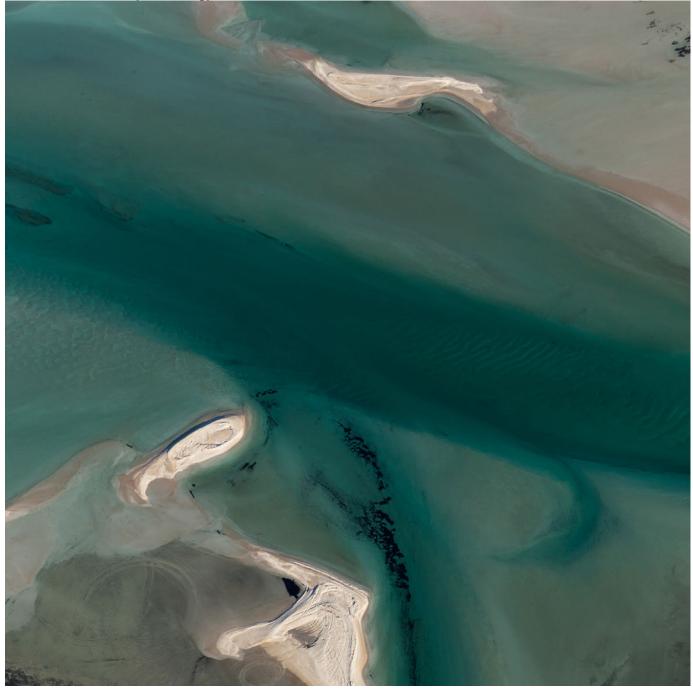
The flag stands for the unity and identity of all Torres Strait Islander peoples of Australia.

The flag is protected by copyright and may only be reproduced in accordance with the provisions of the *Copyright Act 1968*, or with the permission of the Torres Strait Island Regional Council.

Colour references for the Torres Strait Islander Flag are:

- Blue: PANTONE® 280
- Green: PANTONE® 342.

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Australian ensigns

An ensign is another term for a flag. Originally, an ensign was a flag flown at the stern of a ship to denote nationality. The term ensign is now associated with flags flown by government services on land as well.



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The ensigns of the Australian Defence Force

The Australian Army has no separate ensign but has the ceremonial role of protector of the Australian National Flag. The Australian Defence Force ensign represents the Australian Defence Force as a whole. The Royal Australian Navy and the Royal Australian Air Force have their own distinctive ensigns, which have evolved from the flags of their counterpart British services.

Use of Defence ensigns

The Department of Defence issues instructions on the proper use of the defence ensigns.

The Australian Defence Force ensign

The Australian Defence Force ensign represents the three services of the Australian Defence Force: the red stripe represents the Australian Army, the dark blue stripe represents the Royal Australian Navy and the light blue stripe represents the Royal Australian Air Force. The defence force emblem in the centre of the flag also represents the three services: the crossed swords represent the army, the anchor represents the navy and the eagle represents the air force. The Commonwealth Star and the boomerang represent Australia.





The Royal Australian Navy adopted the Australian white ensign in 1967. The white ensign of the British Royal Navy had been used since 1911, when the Royal Australian Navy was formed. The Australian white ensign is usually flown from the stern of a navy vessel, while the Australian National Flag is flown from the bow of the vessel.



The Royal Australian Air Force ensign

The Royal Australian Air Force ensign was approved by King George VI in 1948 and formally adopted in Australia in 1949. Previously, the ensign of the British Royal Air Force had been used. The Australian ensign was distinguished from the British ensign by the addition of the Southern Cross and Commonwealth Star. The light blue background symbolises the sky. A leaping red kangaroo was added to the rounded decorative panel (the 'roundel') in 1982.



The Australian red ensign

The Shipping Registration Act 1981 confirms the Australian red ensign as the official flag to be flown by Australian-registered merchant ships. Historically, the Australian red ensign was used on land and at sea and Australians have fought under it during the First and Second World Wars.



Other Australian Government flags

A number of Australian Government flags are flown to represent specific government services, among them the civil air ensign, the Australian Border Force flag and the Australian Federal Police flag.





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The Civil Air ensign

Dating from 1935, the civil air ensign represents the Australian Government organisations responsible for civil aviation. This ensign can be seen flying from civil aviation buildings, boats, aircraft and airports. In 1947, the ensign's stars were changed from yellow to white, to make it more easily recognised from a distance. These changes were publicly notified in the Commonwealth of Australia Gazette (No 39) of 4 March 1948. The use of the civil air ensign is set out under the Civil Aviation Act 1988.

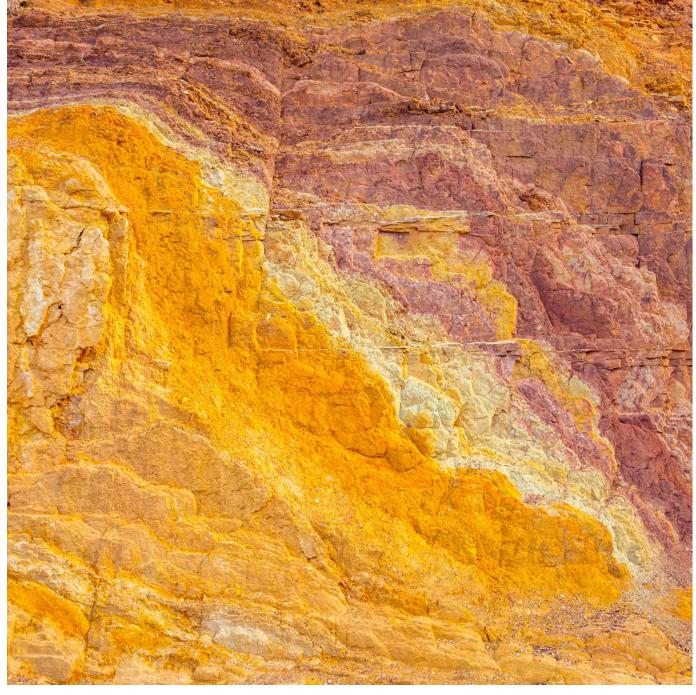
The Australian Border Force flag

Ships and aircraft used by the Australian Border Force display the Australian Border Force flag. The flag is the Australian National Flag with the addition of the words 'Australian Border Force' in prominent white lettering between the Commonwealth Star and the Southern Cross.

The use and design of the Australian Border Force flag is set out under the *Customs Act 1901* and the Customs Regulations 2015.

The Australian Federal Police flag

First adopted in 1981, the flag of the Australian Federal Police is flown on buildings of the Australian Federal Police. The flag is predominantly black, with its centre third a white vertical panel on which is placed the badge of the Australian Federal Police, based on the Commonwealth Star, the Crown and the Commonwealth Coat of Arms. The flag has on all four edges a narrow black and white chequer commonly used to represent police services around the world.

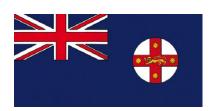


State and territory flags

The flags of the Australian states all bear the Union Jack on a dark blue background and each is distinguished by a state badge. These flags were created between 1870 and 1904. The territory flags were introduced more recently.

The flags of the states, or colonies as they were before federation, were first flown on the various colonial governments' ships. By the *Colonial Naval Defence Act 1865*, the colonies were authorised to fly their own flag on their ships – this was the British blue ensign with the badge of the colony in the fly (portion of the flag furthest from the staff). Designs for the badges were sent to the British Admiralty for approval.

STATE AND TERRITORY FLAGS





The first badge of New South Wales, authorised in 1869, was simply the red cross of St George on a white field. The current badge on the New South Wales flag has been used on the flag since 1876, and was proclaimed in the *New South Wales Gazette* on 18 February 1876. It shows a gold lion of England in the centre of the red cross of St George on a white background.

The cross also bears four eight-pointed stars, one on each arm. The stars represent the Southern Cross, and the gold lion and St George Cross reflect the British heritage of the first European settlers. The St George Cross is also the traditional badge of the British Royal Navy.



The Victorian flag was proclaimed

by the Governor in 1870. The first

reported flying of the flag was on

one of the colony's first warships,

The badge on that flag comprised

the five stars of the Southern Cross.

badge was changed to include an

imperial crown above the Southern

Cross. In 1901, with the accession

of Edward VII, this crown was

St Edward, and the flag has not

Cross stars on Victoria's state flag

differ from those on the Australian

Southern Cross on Victoria's flag

have differing numbers of points,

to show their varying brightness.

changed since. The Southern

National Flag. The stars of the

replaced with the crown of

From 12 November 1877 the

Victoria

HMVS Nelson.

Queensland

The badge of Queensland's state flag is made up of the crown of St Edward in the centre of a light blue Maltese Cross. The flag dates back to 1876, when the British Admiralty approved a design submitted by the Governor of Queensland.

Its adoption was notified in the *Queensland Government Gazette* of 20 November 1876. The first design considered for the badge included a depiction of Queen Victoria's head, facing right. The Queensland Government considered, however, that this would be too difficult to reproduce well on a flag and an alternative design was proposed.





South Australia

The South Australian state flag was proclaimed on 13 January 1904. Its badge shows an Australian piping shrike (white-backed magpie) on the branch of a gum tree, set against a golden background representing the rising sun.

Originally, the state flag was meant to be flown only from government buildings and vessels, but in 1908 the government of the day encouraged wider use by both government institutions and private citizens.

Western Australia

The state badge of Western Australia depicts a black swan on a circle of yellow. The black swan has been used as a symbol in Western Australia since the 1830s: the colony was commonly called the Swan River Colony in the early days of settlement. The black swan badge was proposed for adoption in 1870 and its use on the flag was confirmed in 1875.

Originally facing away from the flagpole, the swan was reversed in 1953.



On 25 September 1876, the Governor of Tasmania decreed that the distinguishing flag for vessels employed by the Government of Tasmania would be the blue ensign with a red lion superimposed on a white shield. This ratified a proclamation made by Queen Victoria on 7 August 1869.

The flag was subsequently adopted for general state government use, but it was not until 3 December 1975 that the design was gazetted.



The Australian Capital Territory

The Australian Capital Territory flag was adopted by the territory's Legislative Assembly on 25 March 1993, after a public selection process.

Blue and gold are the regional colours. The blue and white swans symbolise Aboriginal and European Australians. The castle alludes to Australia's capital city, Canberra, and the royal crown (the crown of St Edward) represents the role of the Sovereign in government. The sword of justice, the parliamentary mace and the rose of York are depicted on the shield.

From 1927 until this new design became the official flag of the Australian Capital Territory, the city of Canberra's flag had been used as a de facto flag. This flag features the full coat of arms of Canberra, including the swans as supporters.



The Northern Territory

The Northern Territory flag was adopted on 1 July 1978, when self-government was proclaimed.

Mr Robert Ingpen, a prominent Australian artist, was commissioned to design the flag. He based his design on a number of designs entered in a competition organised by the Northern Territory Government in 1978.

A black panel on the left of the flag bears the Southern Cross. On the right-hand ochre-coloured panel is a stylised Sturt's desert rose in white with a black star in the centre. The seven petals of the desert rose and the seven points of the star symbolise the six Australian states and the Northern Territory.

The Southern Cross stars, in white, have the same number of points as on the Victorian state flag. Black, white and ochre are the official colours of the Northern Territory and the Sturt's desert rose is its floral emblem.







Christmas Island



Cocos (Keeling) Islands

The external territories

Australia has seven external territories:

Norfolk Island, Heard Island and McDonald Islands, Christmas Island, the Cocos (Keeling) Islands, the Australian Antarctic Territory, the Coral Sea Islands, and Ashmore and Cartier Islands.

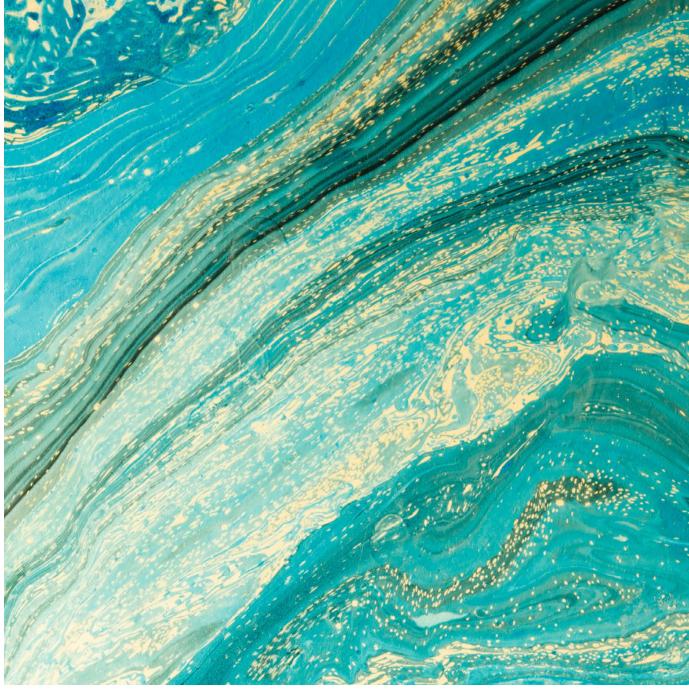
Norfolk Island is the only external territory with its own official flag. Adopted on 11 January 1980, this flag has three vertical panels: the outer two are deep green, while the central panel is white and bears a deep green Norfolk Island pine. Christmas Island and the Cocos (Keeling) Islands have flags that are used in the community but have not been formally adopted.

The Australian National Flag is flown at all Australian bases in the Australian Antarctic Territory. It is also flown with the flags of other Antarctic Treaty nations at the South Pole.

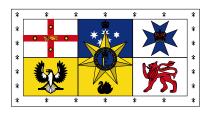
Jervis Bay

Jervis Bay, the only Australian internal territory without self-government, does not have its own flag.





Royal and Vice-Regal flags



Her Majesty The Queen's personal flag for Australia

Her Majesty Queen Elizabeth II has a special flag that is flown to acknowledge her role as Queen of Australia.

Her Majesty gave her approval for the flag's design on 20 September 1962 and it was first used during the 1963 royal visit. It is flown only when she is visiting Australia.

The flag consists of the Commonwealth Coat of Arms with a large gold seven-pointed Commonwealth Star in the centre. Within the Commonwealth Star, Her Majesty's initial 'E' in gold, above which rests a stylised crown (the crown of St Edward), is enclosed by a garland (a 'chaplet') of gold roses. These elements are set on a blue roundel. Her Majesty's personal flag for Australia is used in the same way as the Royal Standard in the United Kingdom. When it is flown on or outside a building, no other flag should be flown with it. The flag signifies the presence of The Queen.

On 7 July 2000, to celebrate the 100th anniversary of the passage of the *Commonwealth of Australia Constitution Act 1900* by the British Parliament, Her Majesty The Queen attended a church service at Westminster Abbey in London. Her Majesty The Queen's personal flag for Australia flew at the Abbey, the first time it has flown in the United Kingdom.

CM.087/22 Proposed Flagpole Schedule Attachment 2. Australian flags booklet



The Governor-General's flag



The Governor-General's flag pre 1936

The Governor-General's flag

The Queen's representative in the Commonwealth of Australia, the Governor-General of Australia, also has a personal flag. In 1930 King George V had approved the use of a new personal flag by governors-general of the dominions, to reflect their changed status from representatives of the British authorities to personal representatives of the Sovereign. The Australian version of the new flag was adopted on 16 July 1936 and first used in that year, by Lord Gowrie.

The flag shows the Royal Crest, which consists of the crown of St Edward beneath a crowned lion. Beneath the crest is a golden scroll inscribed with the words 'Commonwealth of Australia'. The background is dark blue. The proportions are one to two. The Governor-General's flag is flown continuously when the Governor-General is in residence. It is also flown on the vehicle in which the Governor-General is travelling.

Governors-general, between 1909 and 1936, used as their personal flag a Union Jack with a badge at its centre showing a seven pointed gold star, surmounted by an Imperial Crown and surrounded by a laurel wreath.

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South Australia

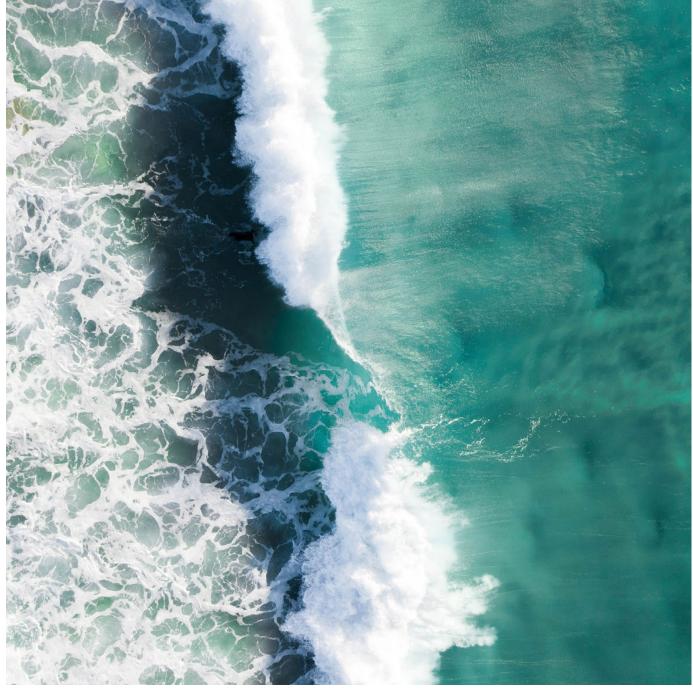
Western Australia

Tasmania

State Governors' flags

The Governor of each Australian state has a personal flag or standard, generally the state flag with the addition of a crown above the badge, as illustrated here.

The Administrator of the Northern Territory flies the Australian National Flag.

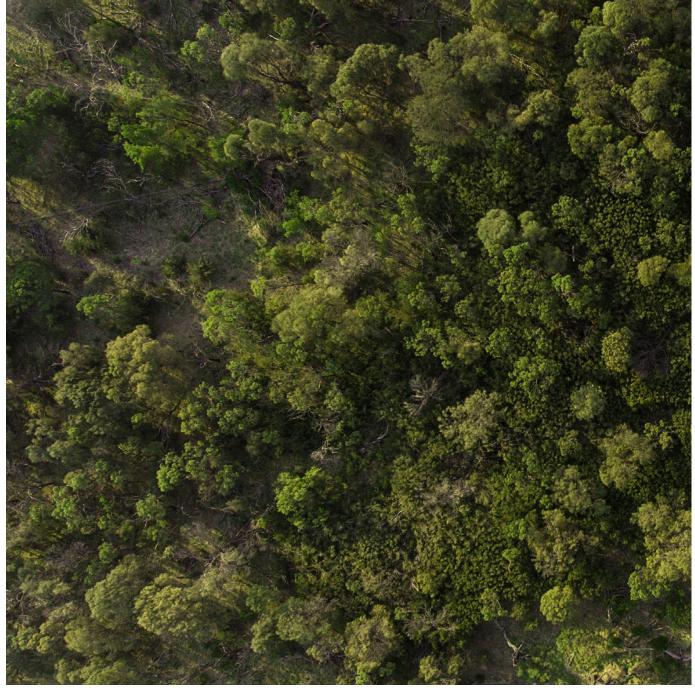


The United Nations flag

The United Nations flag is not an Australian flag, but it is flown in Australia and elsewhere according to special rules set out in the United Nations Flag Code.

In accordance with a proclamation made by the Governor-General on 19 August 1948, 24 October each year is observed throughout Australia and its territories as United Nations Day, being the anniversary of the coming into force of the Charter of the United Nations. The United Nations flag is flown on this day where possible. If only one flagpole is available, the Australian National Flag should be the flag flown on that day. The United Nations emblem originated in 1945, when a button design was sought for the San Francisco conference at which the United Nations Charter was drafted and approved. The Presentation Branch of the United States Office of Strategic Services prepared the design and, on 7 December 1946, the General Assembly accepted a modified design as the official seal and emblem of the United Nations. On 20 October 1947, the General Assembly approved the design of the United Nations flag, using the emblem on a light blue background.





CM.087/22 Proposed Flagpole Schedule

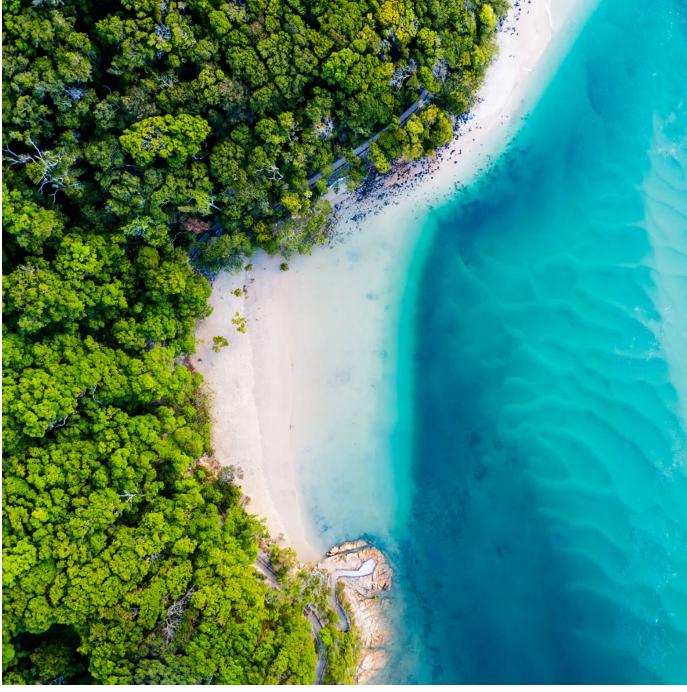


Part 4 History of the Australian National Flag



Attachments - 473

CM.087/22 Proposed Flagpole Schedule



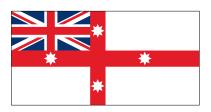
Evolution of a national flag

Before federation, Australia's colonies flew the flags of the United Kingdom: the Union Jack (more formally called the Union Flag) and its other flags.

The Union Jack was first raised in Australia on 29 April 1770 by Captain Cook at Stingray Harbour (later renamed Botany Bay). Cook raised it again at Possession Island, off Cape York, when he claimed the east coast of Australia in the name of King George III. Governor Phillip hoisted this flag again on 26 January 1788 at Sydney Cove, marking the first European settlement of Australia.

Growing Australian nationalism in the 1890s inspired the use of many unofficial flags. A common feature was the Southern Cross, a constellation unique to southern skies. Among the better known flags in Australia's early colonial history are the national colonial flag (1823), the Anti-Transportation League flag (1851), the Murray River flag (1853), the Eureka flag (1854) and the Australian federation flag (1880s-1890s).

From 1870, each Australian colony adopted as its flag a British blue ensign incorporating a different badge to distinguish it from the other colonies.



The national colonial flag

Captain John Bingle and Captain John Nicholson are credited with the first recorded attempt to design a 'national' flag for Australia. Their flag featured four stars of the Southern Cross on a red cross, against a white background, with the Union Jack in the canton.

In his diary, Captain Bingle claimed that this design, created in 1823 or 1824, was accepted as the national colonial flag of Australia by the Government of Sir Thomas Brisbane.

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EVOLUTION OF A NATIONAL FLAG



The Anti-Transportation League flag

The Australasian Anti-Transportation League was formed to organise protests against the transportation of convicts from Britain to Australia and New Zealand. Its flag was flown at the League's first meeting in Melbourne on 28 February 1851.

This flag is preserved at the Queen Victoria Museum and Art Gallery in Launceston. Made of silk, it measures about 274 centimetres by 366 centimetres. It has a deep blue background with the Union Jack in the canton and five stars arranged in the pattern of the Southern Cross.

The Union Jack is hand-sewn in rose-red, white and blue and the stars are gold. The five stars represent Tasmania, Victoria, New South Wales, South Australia and New Zealand. A white silk border runs across the top and bottom and the right-hand side.

A gold inscription around the edges reads, 'Australasian League, Tasmania, Instituted 1851'.

In 1853, when transportation ended, the League dissolved and its flag did not fly again.



The Murray River flag

Another unofficial flag, the Murray River flag, was flown on some of the paddle-steamers that were part of the Murray River trade in the 1850s. Featuring the Southern Cross and stripes, this flag's design was influenced by earlier flags such as the national colonial flag and the New South Wales merchant flag of the 1830s.

Today there are two versions of the Murray River flag which are flown from vessels travelling on the Murray River: the Upper Murray flag and the Lower Murray flag. The Upper Murray flag is the original flag design and is flown above Wentworth in New South Wales. The Lower Murray flag is a newer design based on the original flag and is flown below Wentworth and into South Australia.

CM.087/22 Proposed Flagpole Schedule Attachment 2. Australian flags booklet



The Eureka flag

The Eureka flag is important because of its early use of the Southern Cross but not of the Union Jack. Some would claim the Eureka flag as the first 'Australian' flag of a distinctive design and differing from flags that had previously been used. The flag was plain blue with five white stars, one at the centre and one at each tip of a white cross.

The Eureka flag was that used by gold miners at the Eureka Stockade at Ballarat in Victoria from November 1854. At a meeting at Bakery Hill on 29 November that year, the miners raised the Eureka flag and swore an oath to fight to defend their rights. They were protesting against the expense of a Miner's Licence Fee and other perceived political and economic injustices.

Although the miners lost the battle at the Eureka Stockade, they succeeded in having many oppressive laws repealed. This event played a part in the development of democracy in Australia. The original flag is kept at the Ballarat Fine Art Gallery.



The Australian federation flag

In the 1880s and 1890s, the Australian federation flag was a popular symbol of the movement for federation of the six colonies. The flag featured the stars of the Southern Cross in white placed on a blue cross against a white background. In the canton was the Union Jack.

The design was based on the New South Wales ensign of the 1830s, which was a popular local banner until the 1890s, when it was adopted as the Australian federation flag. Also known as the Australian ensign, it was still seen as late as the 1920s. Prime Minister the Right Hon Edmund Barton submitted it to the British authorities in 1902 as an alternative to the design chosen for the Australian National Flag through the 1901 competition.



A flag competition

In 1900, with federation looming, the search for a national flag began. A Melbourne journal, *the Review of Reviews for Australasia*, launched a competition in November 1900, offering a first prize of £50. The journal suggested that entries in the flag competition incorporate both the Union Jack and the Southern Cross.

Upon federation in 1901, the Commonwealth Government also announced it would run a flag competition, and the *Review of Reviews* agreed to combine its entries with those submitted to the government competition. The prize money (£75 from the *Review of Reviews* and £75 from the Government) was boosted to £200 by a donation from the Havelock Tobacco Company.

The conditions of the government competition were set out in the *Commonwealth of Australia Gazette of 29 April 1901.* The notice also stated that the successful design would be submitted to the imperial authorities for approval.

Reproduced courtesy of The National Archives of Australia



More than 30,000 entries

In all, 32,823 entries were received from all over the world and from people of all ages and backgrounds, even an unnamed state Governor. The size of the entries also varied, from two postage-stamp-sized ones (which were disqualified for being too small) to a pair of entries using about 60 square metres of bunting.

The majority of the designs contained the Union Jack and Southern Cross but native animals were also popular. Among the more quirky designs were a kangaroo leaping through the constellation of the Southern Cross, a scene depicting native animals playing cricket with a winged cricket ball, a six-tailed kangaroo representing the six Australian states, and a kangaroo aiming a gun at the Southern Cross.

Judging the designs

All the designs were displayed at the Exhibition Building in Melbourne, where the first Commonwealth Parliament had opened. The judges spent six days viewing the entries, looking for a design that incorporated the Union Jack, the Southern Cross, and a representation of the six states joined in federation.

The judging criteria included historical relevance, compliance with the conventions of heraldry, originality, utility, and the cost of manufacture. The judges also sought a design that would be acceptable to the British Admiralty.

Five winners found

The judges settled on five almost identical designs. The prize money of £200 was divided among the winners: Annie Dorrington from Perth, who became a quite well-known artist; Ivor Evans from Melbourne, a 14-year- old schoolboy whose father owned a flag-making business; Leslie Hawkins, a teenager from Leichhardt in New South Wales; Egbert Nuttall, from Prahran in Victoria; and William Stevens, First Officer in the Union Steamship Company of New Zealand.



The competition winning design

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The national flag flies

The Australian flag flew for the first time on 3 September 1901, the day on which Prime Minister the Right Hon Edmund Barton announced the competition winners. It was a large flag, 5.5 metres by 11 metres, and was flown over the dome of the Exhibition Building, where all the designs were on display. The Australian National Flag as we know it today is based on this design. The canton featured the Union Jack, underneath it was a six-pointed star representing the six states, while the five stars of the Southern Cross occupied the fly. The background was dark blue.

At first, this flag was known as the Commonwealth blue ensign; later it became the Australian National Flag. The Commonwealth red ensign, or merchant flag, was identical except that its background was red instead of blue.



Australian National Flag Day

To commemorate the day on which the Australian National Flag was first flown, 3 September of each year is officially recognised as Australian National Flag Day.

Photograph Courtesy of the National Australia Day Council

Changes to the national flag

The design of the Southern Cross was simplified when the blue and red ensigns were gazetted in February 1903. The four main stars, which originally had different number of points to reflect their varying brilliance, all became seven pointed stars. The smallest star remained a five-pointed star.

In 1908, the six-pointed star representing the six states was replaced by a seven pointed star, the additional point representing the territories. At that time, Papua was the only territory of the Commonwealth, but the symbolism was intended to include any territories created in the future. The change was gazetted in December 1908.

Blue or red ensign?

For the next several decades there was confusion surrounding the use of the two Australian flags. At first, the blue ensign was intended for official and naval purposes only and the red ensign was to be used by the merchant fleet. However, the general public also began using the red ensign on land. The flag placed in the time capsule left by Antarctic explorer Sir Hubert Wilkins in 1939 was the red ensign.

The Union Jack also continued to be used widely in the community. For example, in 1931 it was draped over the coffin of one of Australia's most famous soldiers, General Sir John Monash.

CM.087/22 Proposed Flagpole Schedule Attachment 2. Australian flags booklet

On 15 March 1941, Prime Minister the Right Hon Robert Menzies issued a press statement recommending the flying of the blue ensign as a national emblem on public buildings and schools and by private citizens, provided it was used with respect. The red ensign was to continue to be used by Australian merchant ships. On 24 February 1947, Prime Minister the Right Hon Ben Chifley expressed his support for this wider use of the blue ensign.

The *Flags Act 1953* ended the confusion about which ensign to use.



The Australian red ensign



The Australian blue ensign

The Flags Act 1953

In 1951 King George VI had endorsed the Australian Government's recommendation to use the Commonwealth blue ensign as the Australian National Flag. The *Flags Act 1953*, passed by the Australian Parliament in December, proclaimed the Australian blue ensign as the national flag and the Australian red ensign as the flag for merchant ships registered in Australia. The Act was signed into law by Queen Elizabeth II on 14 February 1954, after she opened the Australian Parliament.

The *Shipping Registration Act 1981* which came into operation on 26 January 1982 confirmed the Australian red ensign as the official flag to be flown by Australian-registered merchant ships.

Today, the Australian National Flag is a symbol of the entire nation. Australians also recognise other important flags that represent areas or groups within the nation, such as the state and territory flags, the Australian Aboriginal Flag, the Torres Strait Islander Flag, and the ensigns of the Australian Defence Force.

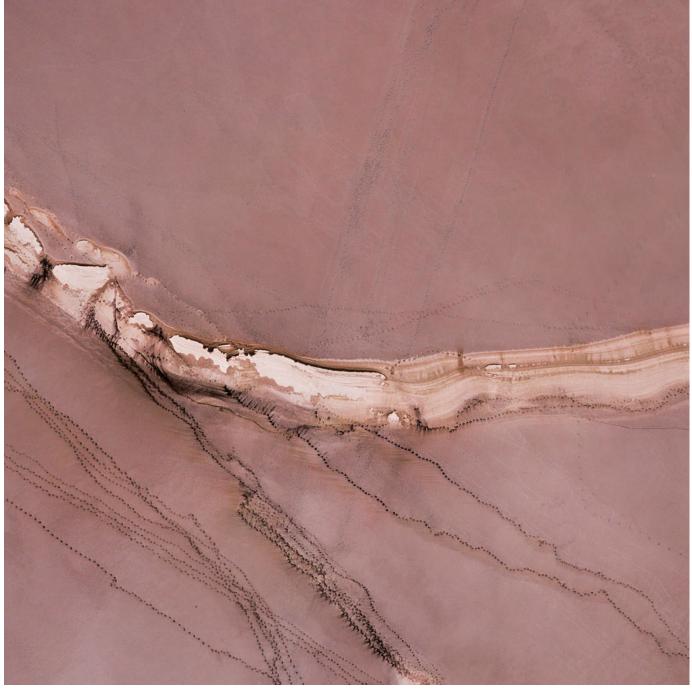
Protection for the Australian National Flag



On 24 March 1998, the Flags Amendment Bill became law. It amended the *Flags Act 1953* to ensure that the Australian National Flag can only be changed with the agreement of the Australian people.

In the event that a poll is required, the existing design of the Australian National Flag must be one of the designs in any selection put to the people.

Photo Courtesy of the National Archives of Australia: A1559, 1954/1



Timeline

29 April 1770	Queen Anne Union Flag raised by Captain Cook at Stingray Harbour, later renamed Botany Bay
22 August 1770	Queen Anne Union Flag raised by Captain Cook at Possession Island off Cape York, claiming the entire east coast of Australia in the Name of King George III
26 January 1788	Governor Phillip raises the Queen Anne Union Flag at Sydney Cove
4 June 1801	Union Jack (in current form) flown in Australia as national flag for the first time
28 February 1851	Australasian Anti-Transportation League flag unfurled
29 November 1854	Eureka Flag raised
August 1869	Badge of New South Wales flag authorised, using simply the red cross of St George on a white field (later addition of gold lion of England and four eight-pointed stars of the Southern Cross)
3 January 1870	Western Australian flag adopted (later change to direction of swan)
4 February 1870	Victorian flag adopted, using simply the Southern Cross as a badge (later addition of imperial crown, which itself was replaced by the crown of St Edward)
18 February 1876	New South Wales flag proclaimed
25 September 1876	Tasmanian flag adopted for use on Tasmanian government vessels (later detail of lion changed)
20 November 1876	Queensland flag gazetted (later change to crown)
1 January 1901	Federation – Australian colonies join to form the Commonwealth of Australia
3 September 1901	Winning design of public flag competition announced by Prime Minister the Right Hon Edmund Barton – first time Australian National Flag is flown
20 February 1903	Announced in Commonwealth of Australia Gazette No 8 that King Edward VII has approved a design for the flag of Australia (Commonwealth blue ensign) and one for the flag of the merchant navy (Commonwealth red ensign) with Southern Cross stars simplified to four seven-pointed stars and one five-pointed star
13 January 1904	South Australian flag proclaimed
23 February 1908	Australian flag modified to current form, with seven-pointed Federation Star (<i>Commonwealth of Australia Gazette</i> No 29 of 22 May 1909)

CM.087/22 Proposed Flagpole Schedule

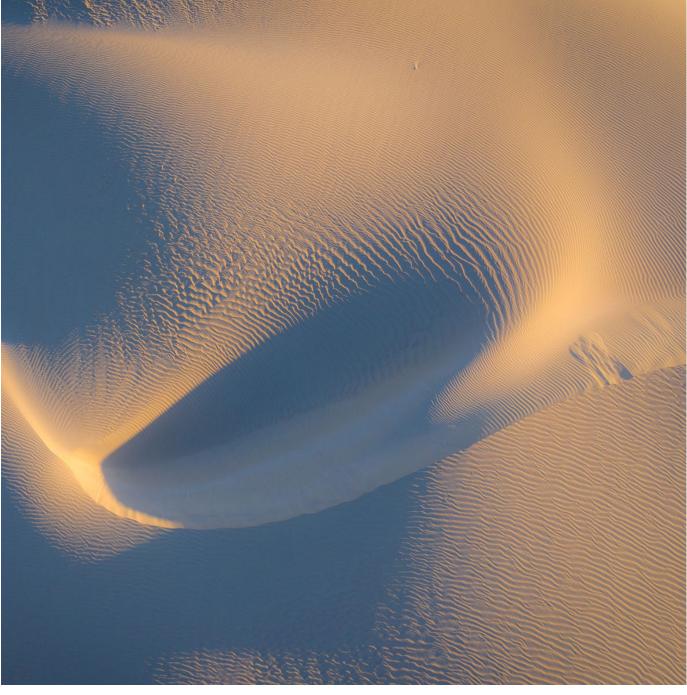
1908	Australian Army Military Order, No 58/08, directs all military establishments to fly the 'Australian Ensign' in place of the Union Jack
1911	Following the granting of the Royal title to Australia's naval forces, Naval Order 78/1911 directs all vessels of the Royal Australian Navy to fly the flag of the 'Australian Commonwealth' at the jack staff and the White Ensign of the Royal Navy at the stern as the symbol of the authority of the Crown
23 March 1934	Dimensions of national flag specified (Commonwealth of Australia Gazette No 18)
6 June 1935	Civil air ensign adopted (Commonwealth of Australia Gazette No 30)
16 July 1936	Australian Governor-General's flag adopted (Commonwealth of Australia Gazette No 56)
15 March 1941	Prime Minister the Right Hon Robert Menzies issues a press statement encouraging the Australian public to fly the Commonwealth blue ensign on land. Australian merchant ships are to continue to fly the Commonwealth red ensign.
24 February 1947	Prime Minister the Right Hon Ben Chifley issues a statement in support of Prime Minister the Right Hon Robert Menzies' earlier statement, encouraging more general use of the Commonwealth blue ensign.
20 October 1947	United Nations Flag adopted
4 March 1948	Civil air ensign modified – stars altered from yellow to white (<i>Commonwealth of Australia Gazette</i> No 39)
1949	Royal Australian Air Force adopts Royal Australian Air Force ensign, approved by King George VI in 1948. In 1982, ensign is modified with the addition of a kangaroo to the roundel.
4 December 1950	Australian Cabinet decides to adopt the Commonwealth blue ensign as the Australian National Flag
1951	King George VI approves the Government's recommendation that the Commonwealth blue ensign be adopted as the Australian flag
3 December 1953	Flags bill passed by the Australian Parliament
14 April 1954	<i>Flags Act 1953</i> takes effect and declares the Commonwealth blue ensign as the Australian National Flag
20 September 1962	Her Majesty The Queen's personal flag for Australia approved
1 March 1967	Australian white ensign adopted as flag of the Royal Australian Navy (<i>Commonwealth of Australia Gazette</i> No 18)
9 July 1971	Australian Aboriginal Flag first raised

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3 December 1975	Tasmanian flag gazetted
1 July 1978	Northern Territory flag adopted
11 January 1980	Norfolk Island flag adopted
25 March 1981	<i>Shipping Registration Act 1981</i> confirms the use of the Australian red ensign as the flag for use by Australian-registered merchant ships. (Act operative from 26 January 1982)
6 May 1982	Royal Australian Air Force ensign amended by the addition of a kangaroo in flight to the roundel (<i>Commonwealth of Australia Gazette</i> S89)
29 May 1992	Torres Strait Islander Flag adopted during Torres Strait Islands Cultural Festival
25 March 1993	Australian Capital Territory flag adopted
21 March 1995	<i>Anzac Day Act 1995</i> comes into effect. The Act declares 25 April as a national day of commemoration to recognise and commemorate the contribution of all those who have served Australia (including those who died) in time of war and in war-like conflicts
14 July 1995	Australian Aboriginal Flag and Torres Strait Islander Flag proclaimed as flags of Australia under section 5 of the <i>Flags Act 1953 (Commonwealth of Australia Gazettes</i> S259 and S258)
3 September 1996	Australian National Flag Day proclaimed (Commonwealth of Australia Gazette S321)
20 October 1997	Remembrance Day on 11 November proclaimed as a national day of commemoration, with one minute's silence to be observed (<i>Commonwealth of Australia Gazette</i> S437)
24 March 1998	Flags Amendment Bill amends the <i>Flags Act 1953</i> to ensure that the Australian National Flag can only be changed if the electorate approves
14 April 2000	Australian Defence Force ensign proclaimed as a flag of Australia under section 5 of the <i>Flags Act 1953 (Commonwealth of Australia Gazette</i> S190)
7 July 2000	Her Majesty The Queen's personal flag for Australian flies in the United Kingdom for the first time at a church service at Westminster Abbey, London, attended by Her Majesty The Queen, to celebrate the 100th anniversary of the passage of the <i>Commonwealth of Australia Constitution Act 1900</i> by the British Parliament
20 September 2001	Centenary Flag proclaimed as a flag of Australia under section 6 of the <i>Flags Act 1953</i> (<i>Commonwealth of Australia Gazette</i> S283)
25 January 2022	Correcting an administrative oversight to the 1995 proclamation, the Torres Strait Islander Flag and Australian Aboriginal Flag were proclaimed again by the Governor-General to ensure the flags remained as official flags of Australia.
25 January 2022	Copyright of the Australian Aboriginal Flag was acquired by the Commonwealth of Australia to enable its image to be freely used.





Glossary

Bunting – Strong, coarse cloth used to make flags. Can also refer to a string of small festive flags

Canton – The top left quarter of a flag, also known as the first quarter or upper hoist. It is the position of honour on a flag

Ensign – A flag flown (or 'worn') on a ship, signifying nationality

Field - The background of a flag

Flag mast – A free-standing pole used for flying of flags. Often also used to describe a flagpole equipped with a yardarm and gaff

Fly – That portion of a flag furthest from the staff

Gaff – A spar set diagonally on the after side of a mast or flagpole

Half-mast – The flying of the flag below the top of a flagpole to indicate mourning

Halyard - The rope used to raise or lower a flag

Heraldry – The practice of designing signs involving symbols and devices on shields and flags as a means of identification, according to specific design protocols. Probably dates back to the 12th century, when warriors and jousters began wearing helmets that covered their faces, thereby obscuring their identity **Hoist** – The half of a flag closest to the staff. Also to raise a flag

House flag – Generally, a flag flown by a trading or pleasure craft, identifying the company or person to which it belongs, but which may also be flown on buildings and vehicles

Jack – Originally, a national flag that was flown from the bow of a ship from the jack staff. Through custom, the Union Flag of the United Kingdom came to be known as the Union Jack

Peak – The tip of a gaff or flagpole

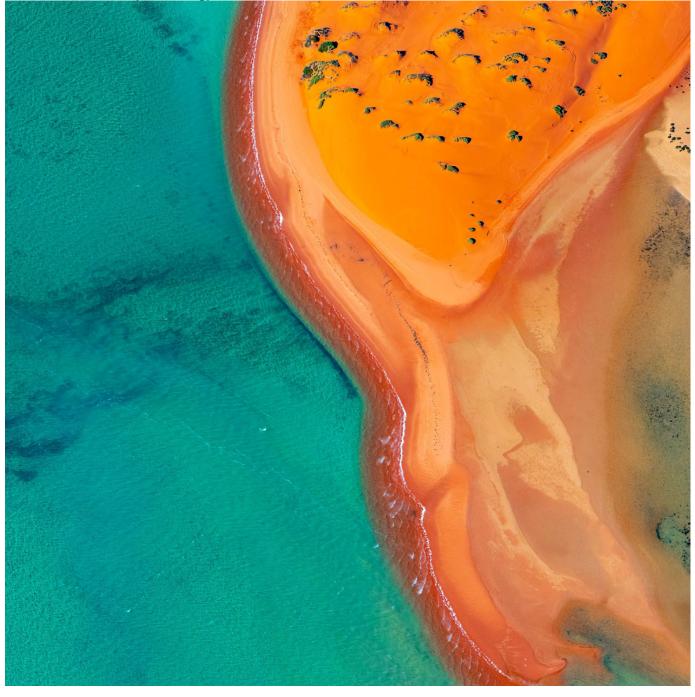
Roundel – A round decorative or identifying symbol, such as that used by the Royal Australian Air Force on its aircraft

Shield – A shield-shaped badge used in heraldry and often applied in the field of a flag

Staff – A short pole on which a flag is flown, for example, an ensign staff

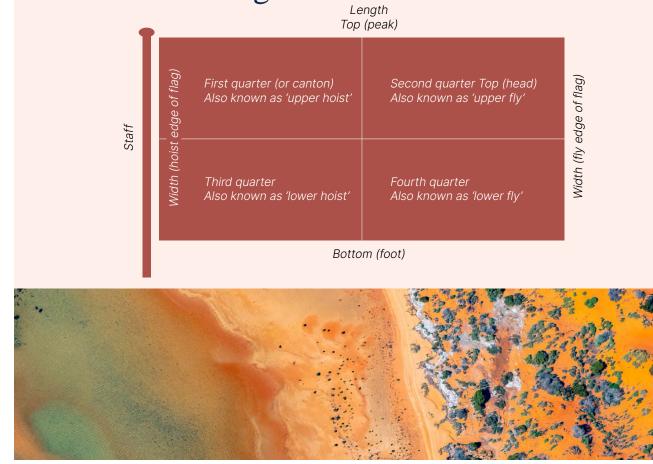
Standard – Originally the banner of an important noble or member of a royal house. Now generally used to describe the banner of a head of state, for example the Royal Standard is the personal flag of The Queen in the United Kingdom

Yardarm – Sometimes called a cross arm. Either end of a yard





Parts of the Flag





Proposed Flag Request Process

Flag Request submitted

Community Partnerships team review request Council Briefing outlining request with officer recommendations

Council Report to endorse position regarding request CM.087/22Proposed Flagpole ScheduleAttachment 3.Flag Request Process

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Nillumbik Shire Council flag options

Option 1: Charcoal with white logo





Option 3: Coloured logo on white





CM.087/22Proposed Flagpole ScheduleAttachment 4.Mock-up for Nillumbik Flag

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Governance Communications and Engagement Pre-Election Commitment Communication Protocols

Description of policy	Federal and State Pre-Election Commitment Communication Protocols
Policy applies to	Councillors, all officers
Policy category	Revised Policy
Description of revision and Version Number	Version Number: 2

Approved by	Council
Approval date	23 August 2022
Effective date	23 August 2022
Date of last revision	NA
Date of next review*	August 2024

*Unless replaced, this policy will still apply beyond the review date.

Related internal procedures and guidelines	Social Media Policy
Related policies	Councillor Code of Conduct



Related legislation, standards and guidelines	Local Government Act 2020
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Policy Statement

In the lead-up to a Federal or State election, candidates will make a number of local commitments, deliverable should they, or the party they represent, be elected to government.

Some of these commitments will directly impact council services, facilities or operations. Others may be less directly linked to Council but will have implications for the community and will therefore be of interest to Council.

Advocacy on the community's behalf is a key responsibility and area of focus for Council and commitments made by election candidates – State or Federal – are something in which Council takes a keen interest.

It is important also, that Council be impartial – and seen to be such – in how it responds to election commitments. This impartiality is critical to ensuring public confidence in Council decisions and that its advocacy is pursued in the community's best interest.

These protocols therefore aim to provide clarity, to candidates, Councillors, Council officers and the community, regarding Council's participation in and promotion of State and Federal election commitments.

Objectives

A candidate or political party may invite the Mayor or Council representative to the announcement of an election commitment. These commitments may respond directly to Council advocacy efforts, but even if not, they will have implications for the community.

It is critical therefore to ensure that any such commitment is treated equally, in a nonpartisan manner. This includes in any promotion or public response to a commitment, whether through Council's own communication channels (eg website or social media) or in any comment to local, state or national media.



The objectives of this policy are therefore:

- To put in place appropriate processes and protocols to ensure an impartial approach to the way in which Council responds to, and promotes any commitments by candidates in State and Federal elections.
- To ensure clarity of process and requirements to all candidates.
- To establish that, prior to any public endorsement or promotion by Council, an election commitment aligns with Council's advocacy priorities and capacity.
- To reinforce community confidence in Council's impartiality and that, in all its advocacy efforts, Council will act with the community's best interest as its number one priority.

Scope

The Protocols:

- Seek to complement the function and conduct expectations of Councillors as described in the *Local Government Act 2020.*
- Recognise the role of Mayor as principal spokesperson and representative of Council as described in the *Local Government Act 2020*.

Protocols

Should a candidate wish to have official Council representation at the announcement of an election commitment, as well as Council promotion of the commitment, the following steps are required:

- Confirm with Council that the commitment aligns with existing whole-of-Council advocacy priorities and, should this commitment require part funding by Council, whether Council has capacity within its existing resources to do so.
- Request or invitation lodged with Council through Council's Executive Services (if candidate has approached Mayor or Councillor directly, this will also be referred to Executive Services).
- Mayor and Ward Councillor invited (If Mayor is unavailable, the invite will be extended to the Deputy Mayor).
- Depending on the significance of the commitment, the invitation may be extended to all Councillors.
- A 48-hour blackout, commencing two days prior to the official election date, will be applied, meaning the details of any commitments publicly announced within this period will not be shared on Council platforms.



The following steps are premised on the requirements detailed above:

- A member of the Communications and Engagement Unit will accompany the Mayor or any designated Council representative to the announcement.
- The communications officer will take photos or arrange for them to be taken and gather the announcement detail.
- The attending communications officer will then draft a media release or news story detailing Council's reaction to the announcement.
- The details of the announcement will be published on Council's designated <u>Election Commitment Tracker</u> page and Council's media release will also be uploaded to the News page on Council's website. It will also be promoted on Council's social media platforms.
- Candidate material will not be replicated on, or linked to, from any Council platform.
- Any commitment promoted on Council platforms or through Council channels (website, social media, speeches etc.) will be accompanied by a brief explainer on Council's rationale for promoting it through its channels.

Representing the Shire at events, functions and delegations (official and unofficial)

The Mayor is the principal representative of Council and all Councillors support the Mayor.

In the event the Mayor is unable to attend, the Deputy Mayor will act as Council's representative. Should the Deputy Mayor also be unavailable, the Mayor will nominate another Councillor, taking into consideration whether the function is associated with a Councillor's ward and whether the function is associated with a group or committee to which a Councillor has been appointed as Council's representative.

In the event of the Mayor delegating attendance at a function to a Councillor, the CEO's office will liaise with the nominated Councillor and provide the necessary support to ensure that the Councillor is prepared to represent Council.



Council Plan 2021-2025 – Year 1 Action Plan (FY 2021-2022); Quarter 4, 2021-2022 Update

Theme	Action	Responsibility	Progress Commentary - July 2022	Statu				
ommunity	y and connection - to encourage inclusi	ion and participation t	to support health and wellbeing and ensure that all our residents have equitable access to services, programs, events and initiatives					
	We champion equity, diversity, access and inclusion for people of all abilities, ages, cultural identities, gender identities, geographic locations, religions, sexualities, and socio-economic backgrounds							
	Develop and adopt an Access, Equity and Inclusion Policy	Executive Manager Communities	The draft Access, Equity and Inclusion Policy was developed in consultation with staff and community feedback, and community engagement on the drafted policy was undertaken between 23 March and 24 April 2022. Submissions from the community were presented to and considered at the June 2022 Planning and Consultation Committee. Following some refinements, the policy was adopted at the July 2022 Council Meeting. Implementation of the policy will focus on building organisational and community capability and capacity, changing systems, structures and processes and strengthening partnerships.	COMPL				
	Develop an Inclusive Sports and Facilities Plan	Director Operations and Infrastructure	An Inclusive Sports Pavilion Framework (ISPF) was endorsed by Council at the July 2021 Council Meeting which will provide guidance when prioritising investment decisions on sporting pavilions and reserves. The objective of this framework is to inform the renewal and upgrade of existing sport pavilions, to ensure inclusiveness and accessibility at Nillumbik sport and recreation facilities are appropriately considered. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Further develop an Inclusive Sports and Facilities Framework</i> , which also aligns closely with key principle two (promoting equity and inclusion) of the newly adopted Recreation and Leisure Strategy.	COMPL				
Equity & Inclusion	Implement annual actions in the Disability Action Plan 2020-2024	Executive Manager Communities	 Year 2 actions of the Disability Action Plan have been completed. Achievements to date include: A \$20,000 grant was received for further COVID-19 vaccine support/information, focussing on older people/people with disability re: boosters (in progress) A successful grant for a new Carer Hub at Living and Learning Nillumbik. The hub is now providing resources for carers to connect with others, and offer a range of information sessions and referrals to local carer support services. A new Carers Collective peer support group has been created in Nillumbik. This is fostered through the women's leadership forums, in partnership with the Carers Hub, and offers social connection, information and activities at venues accross Nillumbik. 3 Good Access is Good Business workshops engaged with 18 representatives from Nillumbik businesses to advise on how to be more welcoming and inclusive of people with disability Ongoing monthly newsletters and emails have been circulated to the Inclusion Network. Membership has increased from 250 members to 330 members. Easy English versions of key Council documents are now available, making them more accessible to people with Intellectual Disability. Jow literacy and/or people who have English as a second language. Examples include the Disability Action Plan Council Plan, Community Vision - Nillumbik 2040, Health and Wellbeing Plan and Council's Annual Report. Accredited Access Consultants are engaged as part of infrastructure projects/service reviews Council's International Day of People with Disability (IDPWD) grants funded events, including: A live 'Music in the Park' event at the Alisatir Knox Park, hosted by healthAbility A Music and Dance Gala hosted by the physical therapy team at St John of God Accord Disability Services in Greensborough Three Barefoot Bowls events at the Diamod Creek Bowls Club, run by Different Journeys. Different Journeys is an autism peer support group, wh	COMPI				
	Develop an Events Policy to ensure a clear, consistent, inclusive and equitable approach in the delivery of events	Executive Manager Communities	Due to some resourcing constraints within the Events team earlier in 2022, this item has been delayed. The planning and development of a draft Events Policy has commenced and will be presented to Councillors for some initial feedback in a briefing during the first quarter of 2022-2023. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Embed the adopted Events Policy to ensure a clear, consistent and equitable approach in the support and delivery of events in the Shire</i> .	MINOR				
	Develop a Council Grants Policy to ensure a clear, consistent and equitable approach in the delivery of grant allocation and acquittal of grants	Executive Manager Communities	Internal and external engagement and a survey of grant recipients was completed in December 2021. The Grants Policy was subsequently endorsed by the Executive Management Team in February 2022, and this policy is now available on Council's website. The policy is now an endorsed framework for all Council funding and support programs administered to community groups, organisations and individuals, to provide a consistent approach and apply minimum standards across all of our grant programs.	COMPL				
	We actively work towards reconciliation and the pro-	We actively work towards reconciliation and the process of healing with the Wurundjeri Woi Wurrung people and recognise them as the Traditional Owners of the land and waterways of Nillumbik						
	Continue to work towards reconciliation with the Wurundjeri and other First Nations communities	Executive Manager Communities	Monthly consultations with Traditional Owners took place throughout the year. Council engaged Indigenous Employment Partners (IEP) to embed a consultant within the organisation, with Uncle Joel Wright commencing one day a week to support development of Council's Reconciliation Action Plan (RAP). The RAP framework was presented to a Councillor briefing in June 2022. Development of the RAP is dependent on recruitment of an Aboriginal Partnerships Officer which has been delayed, but is being supported by IEP. Council support community based Reconciliation initiatives through allocated of ten grants of approximately \$1,000 in funding for the first Reconciliation Grant Program. Council provided early learning resources to increase knowledge and celebration of Aboriginal and Torres Strait Islander culture in early years services and playhouses throughout Reconciliation and NAIDOC weeks. Council acknowledged Reconciliation Week with a meaningful Flag Raising event at the Civic Centre in Greensborough. The event was live-streamed and included a Welcome to Country by Uncle lan Hunter, Ganga Giri performers, speeches by local school students, the Nillumbik Reconciliation Group and Councillors where the Torres Strait Island Flag was raised and will remain raised permanently.	ON TR				
			The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: Continue to work towards reconciliation with Traditional Owners and other First Nations communities.					

CM.090/22Council Plan Quarterly Performance Report - 2021-2022 - Quarter 4Attachment 1.Council Plan Performance Report - Priority actions 2021-2022

Theme	Action	Responsibility	Progress Commentary - July 2022	Status		
	We address the social, environmental and economic factors of health to improve health and wellbeing outcomes for our communities					
Health	Implement annual actions in the Nillumbik Health and Wellbeing Plan 2021-2025	Executive Manager Communities	The first year of the Nillumbik Health and Wellbeing Plan has been implemented successfully, with a focus on prioritising social connection post COVID-19 lockdown and adaption to the changing needs of our community. Actions that were not complete were most commonly delayed due to the changing pandemic environment. The plan's first year progress will be reported to Council at the September 2022 Council Meeting. Delivered actions undertaken to date have set the foundations for the next three years of work done in partnership between Council, our partner organisations and community toward addressing Nillumbik's six health and wellbeing priorities. Achievements to date have included: • Development of the draft Nillumbik Access, Equity and Inclusion Policy, draft Climate Action Plan, Volunteering in Nillumbik Framework and draft Recreation and Leisure Strategy • LGBTIQA+ consultations, background paper and IDAHOBIT working group; delivery of the 16 Days of Activism and International Women's Day activities; and development of the Gender Equility Action Plan • Participation in the VicHealth Victorian Local Government Partnership to improve health and wellbeing outcomes for young people in Nillumbik • Development of a Reconciliation Grants program • Endorsement of new terms of reference for the Health and Wellbeing Advisory Committee, as well as new members recruited • The annual Health and Wellbeing Partnership Forum was held during the last quarter and provided opportunities for collaboration and shared planning. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Continue to implement the Nillumbik Heath and Wellbeing Plan 2021-2025</i> .	COMPLETE		
& Wellbeing	Continue to innovate leisure facilities offerings and services to support health and wellbeing outcomes across the community	Director Operations and Infrastructure	 Key activities completed this quarter included: Rural exercise classes, including Active Movers and Yoga, were held in Panton Hill, Hurstbridge Hub, and St Andrews Attendance at the Nillumbik Youth Summit to provide opportunities to win free passes to swim/gym and ran a raffle for one of the participants to win a 3 month membership May was a very exciting month as the Tiger PAW (Physical Activity and Wellbeing) Program was able to be delivered in person. There are two physical activity in person' sessions which focused on football skills for students in years 3-6. Teachers have been really pleased with the Richmond Institute Student Learning educators as they have assisted less confident children achieve various skills and ensured inclusivity in all activities for all children. Approximately 600 students across four schools participated in the program. The Active Mover Team identified the need for a newsletter for increased engagement of the Active Mover participates. The result is the first Active Movers Newsletter, released in print and online in May for June and July programming. There has been fantastic feedback from participants, staff and Council. Offerings over the balance of the year have included: High School Memberships - all Nillumbik Leisure Facilities High School memberships provide access to all 5 locations on the same previous rate Free member boot camp - continued provision of free access to members to a 4-week boot camp with 58 participants Wheelchair Football - Richmond Football Club (AFL) hosted a come and try day for Wheelchair Footbal at Diamond Creek Community Centre to drive participation Etham High School Transition Day - 150 Year 7 students attended a high school transition day at Etham Leisure Centre in February to participate in activities to support health and wellbeing initiatives As part of the 16 Days of Activism campaign in November and December, awareness was raised about gender-ba	COMPLETE		
	We work towards creating an age-friendly communi	ty where all people regar	dless of their age or ability can live a good quality of life			
	Implement annual actions in the Ageing Well in Nillumbik Action Plan 2019-2022	Executive Manager Communities	Key actions in the Ageing Well in Nillumbik Action Plan completed this quarter included: • Continued delivery of the Nillumbik Neighbours Social Support Group weekly in Panton Hill • World Elder Abuse Awareness Day campaign • Elder abuse has now been integrated into Council's Family Violence Policy 2022 • Community education sessions delivered on voluntary assisted dying; advanced care planning; palliative care; and grief and loss • The Positive Ageing Advisory Committee created a Communications Sub-committee, exploring ways that Council can ensure that communication and information for older people is accessible, appropriate and meeting the needs of older residents • Monthly 'Pathways for Carers' walks supported by Council's Social Connections Officer, encouraging carers to connect and access information. Key actions in the Ageing Well in Nillumbik Action Plan completed across the balance of the year included: • Aged Care Navigation and Advocacy Service provided to residents, as well as delivery of regular in person community education sessions on navigating the aged care system • Community education sessions delivered on navigating aged care; voluntary assisted dying; advanced care planning; palliative care; ageing well; elder abuse awareness; grief and loss; and dementia prevention and support • Continued delivery of the weekly Nillumbik Neighbours Social Support Group in Panton Hill • Continued delivery of the weekly Nillumbik Neighbours Social Support Group in Panton Hill • Continued delivery of the iPad loan program, with 38 people supported through to learn how to use iPads for information and connection purposes.	COMPLETE		
Ages & Stages	Develop and implement a Youth Strategy in partnership with our Youth Council	Executive Manager Communities	Following the establishment of a Youth Council earlier in 2021, the Youth Council have undertaken community engagement and developed a draft Youth Strategy. At the September 2021 Council Meeting, the draft Youth Strategy 2022-2026 was endorsed for public consultation for a three week period. Public submissions were considered at the November 2021 Planning and Consultation Committee, with the finalised Youth Strategy being adopted at the December 2021 Council Meeting. The Youth Council's focus has been on implementing actions in the strategy, including hosting a Nillumbik Youth Summit and exploring opportunities for a Youth Hub in the Shire. The first Nillumbik Youth Summit was held in May with more than 50 students from local high schools to discuss topics that matter most to Nillumbik's young people. Participants made a number of recommendations to support and inform actions in the implementation of the Youth Strategy including a youth hub, gender equity working group, solar panels and recycling workshops. Investigations into a Youth Hub for Nillumbik have commenced. The Youth Development team will continue to work with internal and external stakeholders to deliver other key actions, including improving access to mental health services, providing opportunities for volunteering, work experience and employment, as well as delivering live music and youth events across Nillumbik. The corresponding action items in the adopted 2022-2023 Council Plan Action Plan are: <i>Implement the Youth Strategy in partnership with our Youth Council</i> , and <i>Undertake a feasibility study for a dedicated youth space within the Shire</i> .	COMPLETE		
	Implement annual actions in the Early Years Infrastructure Plan 2020-2026 (budgeted projects listed in Appendix 1)	Executive Manager Communities	Projects and planning are on schedule for the Early Years Infrastructure Plan 2020-2026. The grant application for State Government funding to install acoustic panels at Yarra Warra Pre-School in North Warrandyte was successful and has been awarded to the contractor to schedule the works in 2022-2023. State Government funding to install outdoor storage at Ness St Pre-School in Diamond Creek has been awarded and scheduled for completion in 2022-2023. State Government funding to install a staff and children's arts wash up sink at Kangaroo Ground Pre-School has been completed.	COMPLETE		

Action	Responsibility	Progress Commentary - July 2022	Status		
DACE - to protect, enhance, maintain, plan a	nd design places and	I spaces that strengthen identity, reinforce character, improve accessibility, encourage social connection and enjoyment, support biodiversity and respect th	ne environmei		
We celebrate and prioritise the protection of our her	itage, arts and culture, pl	aces and spaces by focusing on the diversity of experiences that have shaped our shared history			
Undertake a heritage review of the 'Stage 2' potential heritage sites of significance	Executive Manager Planning and Community Safety	Heritage Review Stage B has been completed. The Thematic Environmental History gap analysis and update has been completed to include post-war themes. All strategic inputs have been prepared and updated to support the planning scheme amendment process to apply the Heritage Overlay to identified places (Stage A and B reviews). At the July 2022 Council Meeting, Council adopted the Heritage Review Stage B and Thematic Environmental History (including update), as well as consider seeking authorisation from the Minister for Planning to prepare and exhibit amendments (interim and subsequently permanent) to apply the heritage overlay to properties identified in the Stage A and B heritage reviews. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: Seek authorisation from the Minister for Planning to prepare and exhibit an amendment to implement State 1 and 2 sites of heritage significance via the Heritage Overlay into the planning scheme.	COMPLET		
Develop the Kangaroo Ground War Memorial Park Management Plan	Executive Manager Planning and Community Safety	The Kangaroo Ground War Memorial Management Plan was adopted by Council at the December 2021 Council Meeting. Final changes were made to the plan and made available on Participate Nillumbik in February 2022, including direct notification to stakeholders. Implementation plan was effectively delivered to the Capital Works team (where identified) for future budget allocation. Identified forward governance actions in the plan are being managed and delivered by the Community Partnerships team.	COMPLET		
We value, appreciate and enjoy our Green Wedge Sh	ire, including our rural a	reas and leafy urban areas, which we work hard to protect and enhance			
Prepare a Municipal Planning Strategy for inclusion into the planning scheme	Executive Manager Planning and Community Safety	Phase 2 community engagement was undertaken between August and October 2021, identifying/confirming themes that underpin the draft Municipal Planning Strategy (MPS). Feedback was collated, summarised and responded to at the February 2022 Planning and Consultation Committee Meeting. Phase 2 engagement outcomes informed preparation of the next iteration of the draft MPS. Phase 3 engagement of the strategy was endorsed at the May 2022 Council Meeting. Phase 3 engagement commenced in June 2022 for a 6 week period. The first quarter of 2022-2023 will include actions to review feedback to phase 3 community engagement, with the intention to present outcomes of this engagement to the September 2022 Planning and Consultation Committee Meeting to hear from submitters.	ON TRACK		
Implement annual actions in the Green Wedge Management Plan 2019	Executive Manager Planning and Community Safety	Minister for Planning to prepare and exhibit an amendment to include into the planning scheme. This action is ongoing across the life of the Green Wedge Management Plan (GWMP). Many actions have been integrated into 'business as usual' within the organisation, with initiatives subject to funding in many instances. The plan's Project Working Group meet monthly to advance, prioritise and report on GWMP implementation. Key 2021-2022 implementation actions have been predominantly 'in-house' deliverables and include facilitation of the online Green Wedge Hub (including rural landowner information hub and conversations/events portal) and example conversations being the four webinars on carbon farming in late 2021 in partnership with Carbon Farmers Australia); planning scheme amendment C131 gazettal approval implementing controls within the Nillumbik Planning Scheme to require a permit for fill in managing impacts of illegal soil dumping in green wedge areas; and completion of the Sugarloaf Deer Control program. Council was briefed in July 2022 on an update on the above highlights and presented with a draft list of priority actions for the 2022-2023 year. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Continue to implement the Green Wedge Management Plan 2019</i> .	COMPLET		
We recognise and celebrate our community's significant contributions to art and culture					
Develop an Arts and Culture Strategy 2021-2025	Executive Manager Communities	The draft Arts and Culture Strategy 2022-2026 sets out a four-year strategic commitment to guide Council in the support and development of arts and culture in Nillumbik. The draft strategy was released for public consultation at the April 2022 Council Meeting. It was exhibited from 1 May to the 22 May 2022 and five formal submissions were received. The public submissions were considered at the July 2022 Planning and Consultation Committee Meeting. The finalised strategy is scheduled to be adopted at the September 2022 Council Meeting, and the corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Implement the Arts and Culture Strategy 2022-2026</i> .	ON TRAC		
Further investigate suitable sites for a gallery and exhibition spaces	Executive Manager Communities	A Local Art Infrastructure Audit is underway and is expected to be completed by the end of June 2022. A Creative Infrastructure Framework will follow in 2022-2023. A report will be presented to Council at the August 2022 Council Meeting to confirm this position. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Continue to investigate suitable sites for a gallery, performance and exhibition spaces</i> .	ON TRAC		
Develop a Performing Arts Policy	Executive Manager Communities	The Performing Arts Policy will be guided by the next Arts and Culture Strategy 2022-2026, with a specific action in the implementation plan to develop a Performing Arts Policy. The policy will now be developed and endorsed in the 2022-2023 financial year. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Develop a Performing Arts Policy Policy</i> (the action being carried over from the 2021-2022 action plan).	MINOR ISSU		
We understand and value biodiversity and its importance to human health and wellbeing, and take action to protect and enhance biodiversity in Nillumbik					
Commence review of the Biodiversity Strategy	Director Operations and Infrastructure	A review of the existing Biodiversity Strategy actions has commenced. A preliminary project plan for the development of a new biodiversity strategy, incorporating consideration of the Invasive Species Action Plan and the Roadside Management Plan, was presented to a Councillor briefing in early July 2022. The outcome of the review will be a new strategy considering biodiversity conservation and land management that replaces all or part of these existing documents. This will provide Council with an updated and consolidated strategic framework to guide future action and investment in biodiversity conservation and land management. It is anticipated that draft documents will be developed for public consultation in April / May 2023, with a new strategy ready for Council adoption in September or October 2023.	ON TRAC		
	Dace - to protect, enhance, maintain, plan at We celebrate and prioritise the protection of our her Undertake a heritage review of the 'Stage 2' potential heritage sites of significance Develop the Kangaroo Ground War Memorial Park Management Plan We value, appreciate and enjoy our Green Wedge Sh Prepare a Municipal Planning Strategy for inclusion into the planning scheme Implement annual actions in the Green Wedge Management Plan 2019 We recognise and celebrate our community's signific Develop an Arts and Culture Strategy 2021-2025 Further investigate suitable sites for a gallery and exhibition spaces Develop a Performing Arts Policy We understand and value biodiversity and its importal	Pace - to protect, enhance, maintain, plan and design places and We celebrate and prioritise the protection of our heritage, arts and culture, planing and community safety Undertake a heritage review of the 'Stage 2' potential heritage sites of significance Executive Manager Planing and Community Safety Develop the Kangaroo Ground War Memorial Park Management Plan Executive Manager Planing and Community Safety We value, appreciate and enjoy our Green Wedge Shire, including our rural a Community Safety Executive Manager Planing and Community Safety Prepare a Municipal Planning Strategy for inclusion into the planning scheme Executive Manager Planing and Community Safety Implement annual actions in the Green Wedge Executive Manager Planing and Community Safety We recognise and celebrate our community's significant contributions to art at Community Safety Executive Manager Community Safety Develop an Arts and Culture Strategy 2021-2025 Executive Manager Communities Further investigate suitable sites for a gallery and exhibition spaces Executive Manager Communities Develop a Performing Arts Policy Executive Manager Communities We understand and value biodiversity and its importance to human health and Communities Director Operations and	Deck Instrument Deck Deck		

Theme	Action	Responsibility	Progress Commentary - July 2022	Status				
	We carefully protect, plan, maintain and improve open spaces, streetscapes and places to ensure that they are safe, accessible and enjoyable							
	Determine and action future site planning for the former Plenty CFA site	Director Operations and Infrastructure	Council resolved to request the CFA to demolish the existing fire station and rehabilitate the land at the December 2021 Council Meeting. The CFA have formally been requested to initiate the works to demolish the building and draft plans to rehabilitate the land to open space. The CFA have commenced this process by lodging a reinstatement plan and planning application to Council for approval. The CFA are expecting demolition works to be completed by late October 2022, but this is subject to completion of the new fire station, the relocation of services to the new facility, receiving planning approval and appointing a contractor to demolish the buildings.	COMPLETE				
			initially planned.					
	le continue to enhance the Shire's shared trail network, working proactively to improve connectivity							
Open Space	Commence development of a trails network management implementation framework, including missing links and local connectivity	Director Operations and Infrastructure	Community consultation to inform the proposed framework was undertaken as part of the development of the Recreation and Leisure Strategy, with a Planning and Consultation Committee Meeting held in April 2022 to consider community submissions. The Northern Regional Trails Strategy final draft is being prepared for community consultation in August 2022. This is a collaborative project with Banyule, Whittlesea, Darebin, Hume and Moreland councils. The trails identified in this strategy complement the trails identified in the Nillumbik Trails report. Both reports will come to Council for endorsement in October 2022.	ON TRACK				
	We facilitate participation in sports, leisure and recre	ational activities						
		Director Operations and	Community engagement on the draft Recreation and Leisure Strategy 2022-2030 was undertaken over a 5-week period from 31 January to 6 March 2022, with 103 public submissions received from this process (the majority of which supporting the six priority areas outlined in the strategy). The public submissions were considered at the April 2022 Planning and Consultation Committee Meeting, and following some refinements, the draft strategy was adopted by Council at the June 2022 Council Meeting.					
	Develop a new Recreation and Leisure Strategy	Director Operations and Infrastructure	The adopted Recreation and Leisure Strategy renews Council's commitment to sport and active recreation across the municipality. The new eight-year strategy will be underpinned by two 4-year operational action plans spanning from 2022-2026 and 2027-2030.	COMPLETE				
			The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: Implement the Recreation and Leisure Strategy 2022-2030.					
	We respect and enhance the unique neighbourhood	character in our commu	nities to ensure a considered approach to planning and development					
	Develop a Neighbourhood Character Strategy	Executive Manager Planning and Community Safety	The final Neighbourhood Character Strategy is an important planning policy document that will provide a robust framework to guide development within Nillumbik's residential zones, with a focus on appropriately protecting the preferred character of our residential and township areas. Phase 1 community engagement occurred between 28 March and 8 May 2022, receiving 332 public submissions. The results of the first round of engagement were reported to the June 2022 Planning and Consultation Committee Meeting. There is a strong emphasis in the feedback received on the importance of vegetation and landscape in defining the local neighbourhood character in Nillumbik and many suggestions are made regarding how to ensure future development supports neighbourhood character.	ON TRACK				
			The next stage in the project is for the results of the engagement to be synthesised with technical work to develop a first draft of the strategy, which is scheduled to be presented to the August 2022 Council Meeting with a recommendation for it to be endorsed for phase 2 public engagement.					
			The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: Continue to develop the Neighbourhood Character Strategy.					
Neighbourhood Character	Develop the Wattle Glen Public Realm Framework	Executive Manager Planning and	This action has been on hold, pending resource allocation availability (also with no budget allocation at present). Work restarted by the end of May 2022, with community engagement on a draft framework scheduled for early 2023.	MINOR ISSUES				
Gliaracter		Community Safety	The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: Continue to develop the Wattle Glen Public Realm Framework.					
	We promote place making and shaping and advocate for the continuation and enhancement of local character							
			The place-making framework was adopted at the December 2021 Council Meeting.					
	Develop a set of guiding principles to facilitate place- making across the Shire	 Executive Manager Communities 	In the 2022-2023 financial year, officers will commence implementation of the relevant actions and priorities in the framework, designed to support Council staff, Councillors, community members, traders, stakeholders, contractors and consultants to plan and deliver place-making projects.	COMPLETE				
			The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: Implement the place-making framework to support shared outcomes between community and Council.					
	Develop an annual implementation plan for streetscape improvements as part of annual budget considerations	Director Operations and Infrastructure	Streetscape beautification works at Yarrambat and Kangaroo Ground have been completed as part of the 2021-2022 budget. The townships and streetscapes budget for 2022-2023 will be allocated to minor improvement projects across multiple townships. The program of works will be determined by Council's Infrastructure team in consultation with the Executive Management Team and Councillors by the end of September 2022.	ON TRACK				
	We work to understand what residents, businesses and visitors need from modes of transport, to ensure that getting around is easy, accessible, safe and sustainable							
	Commence development of an Integrated Transport Strategy	Director Operations and Infrastructure	Background information on the current transport planning and strategy environment in Nillumbik has been collated. This assisted in preparation of a Request for Quotation seeking submissions to prepare an Integrated Transport Strategy as a priority action for 2022-2023. This will be used to guide transport planning, sustainable outcomes and advocacy. A Request for Quotation has been released to market in August 2022 and closes on 8 September 2022. A Councillor briefing is scheduled for 16 August 2022.	ON TRACK				
			The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: Continue development of an Integrated Transport Strategy.					
	Develop and implement road safety initiatives around our schools (one per year)	Director Operations and Infrastructure	Actions undertaken on school road safety initiatives in 2021-2022 included: • Eltham High School consultation was completed. Parking signage changes at Eltham High have been organised, with implementation completed in mid-August. • Eltham North Primary School - consultation has commenced with the primary school, Eltham Mens Shed and internal project managers for the Eltham North Dog Park. On-site investigation has been conducted. Consultation was completed by July 2022 and current concept is in development. Officer recommendations will be provided in the first quarter of the 2022-2023 year, and updated timeframes will be communicated to stakeholders.	ON TRACK				

Theme	Action	Responsibility	Progress Commentary - July 2022	Status				
	We champion the notion of living locally; making it ea	asier for people to meet	most of their daily needs within the Shire					
Movement and Place	Commence development of a masterplan for community facilities in Diamond Creek, including recreation and community precincts and buildings	Executive Manager Planning and Community Safety	At the June 2022 Council Meeting, Council endorsed the draft Diamond Creek Community Infrastructure Strategic Plan for public exhibition, commencing early July 2022, for community awareness and specifically seek feedback in regard to the proposed Youth Hub. It is intended that public submissions will be considered at the September 2022 Planning and Consultation Committee Meeting. This draft strategic plan is an early step in the overall broader development of a master plan that, subject to funding, will further develop the community infrastructure proposed, and provide long- erm direction for community infrastructure delivery. The adoption of the strategic plan, after exhibition, will complete the first phase (Phase A) of the master plan project and investigates 'what', how' and 'where' community infrastructure could be provided in Diamond Creek to accommodate future demand. The draft strategic plan, once adopted by Council after exhibition, will serve as the basis for the preparation of a more detailed master plan in the subsequent and final phase (Phase B) of the orroject, subject to Council project funding. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Continue to develop a masterplan for community facilities in Diamond Creek, including recreation and community precincts and buildings</i> .					
	We work with our community, neighbouring council	s and transport and plar	ning agencies to advocate for improved transport solutions					
	Implement a range of traffic and transport initiatives that will promote more sustainable travel while addressing key safety issues in line with the Eltham Major Activity Centre Structure Plan, through the Eltham Urban Congestion Fund Project		The Department of Transport has provided their consent for works for the Main Road and Bible Street (Eltham) elements of the program of works. A design contractor has been appointed to undertake detailed design of the Main Road elements of the program , with expected completion in October 2022. Detailed design of, and procurement process for the Bible Street component of works has been completed and a contractor appointed, with works commencing in July 2022. Detailed design of the Eltham Central Oval component of the program has been completed (excluding the rear pavilion car park, which will be done after the Level Crossing Removal Project Park and Ride project is completed), and procurement process commenced. Works are required to be completed by August 2023, unless agreed otherwise with the Federal Government.					
	We continue to deliver on our road management resp	oonsibilities; working to	enhance infrastructure that aligns with the character of the neighbourhood					
	Commence review of road sealing policy	Director Operations and Infrastructure	Planning and a preliminary analysis of the road network has been undertaken to inform the review of the road sealing policy. This action will continue into the 2022-2023 year, as reflected in the Annual Action Plan 2022-2023: Continue review of road sealing policy to support capital works decision-making.	ON TRACK				
Sustainable	e and resilient - to manage and adapt to c	hanging circumstand	ces that affect our community to ensure it remains sustainable and resilient, both now and into the future					
	We work proactively to reduce Council's direct contri	ibution to climate chang	e, and support our community to do the same					
Climate Action	Deliver annual works list of energy efficiency, demand management and 'behind the meter' renewable energy opportunities at Council assets							
	We work with our community, First Nations People,	partners and all levels o	f government to develop clear and effective initiatives to address climate change					
	Develop and adopt a Climate Action Plan		Following a five-week consultation period throughout October-November 2021, Council was presented with the outcome of the consultation at the Planning and Consultation Committee Meeting in February 2022. 80 survey submissions and 11 written submissions were received through the public exhibition process, along with verbal input from 15 people who participated in one of four facilitated virtual drop in sessions. The finalised Climate Action Plan 2022-2032 was presented to the April 2022 Council Meeting for adoption. At this meeting, Council endorsed a declaration of climate emergency, and adopted the Climate Action Plan subject to updates within the plan reflecting Council's adopted declaration of a climate emergency. The supporting 2022-2023 implementation plan was endorsed by Council at the July 2022 Council Meeting. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Commence implementing the Climate Action Plan</i> .	COMPLETE				

Theme	Action	Responsibility	Progress Commentary - July 2022	Status				
	We favour sustainable and innovative investment; for	ocussing on renewable e	nergy initiatives					
			In accordance with Section 115 of the Local Government Act 2020, Council gave notice in May 2022 that it proposes to enter into a lease with LMS Energy Pty Ltd for a solar farm on the Council- owned, former Plenty landfill site. It is proposed that LMS Energy will be responsible for the cost of developing, operating and maintaining the solar farm, and will lease the site from Council for an initial term of 25 years.					
	Progress the solar farm project in Plenty	Director Operations and Infrastructure	In response to publicly advertising its intention to enter into a lease agreement with LMS, Council received 5 submissions from the public, which were considered at the July 2022 Planning and Consultation Committee Meeting. A formal decision on the lease was subsequently made at the July 2022 Council Meeting. The 1.5MW first stage of the solar farm will be large enough to supply renewable energy to power all of Council's corporate facilities including the Civic Centre, and street lighting, delivering	COMPLETE				
			significant environment benefits to our community. The solar farm will also power electric vehicle charging stations. The facility will consist of more than 3300 solar panels, which will generate approximately 2200MW/h of renewable energy each year. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Continue to deliver the solar farm project in Plenty</i> .					
Sustainability								
	Commence development of a rehabilitation and after- use plan for the former landfill at Kangaroo Ground	Director Operations and Infrastructure	The contract for the capping works of the Kangaroo Ground landfill has been awarded, with works having now commenced.	ON TRACK				
	Commence and promote transition to Council's		The Northern Council Alliance (of which Nillumbik is a part of) with the Northern Alliance for Greenhouse Action (NAGA) are contributing to the development of an investigation study and plan on electric vehicle transition. This scope includes Part A: Public infrastructure and Part B: Fleet transition. The Request for Tender has been released for responses by appropriate consultants to perform the study and develop the plans. Whittlesea Council is project lead.					
	electric vehicles, and explore placement opportunities for future electric charging stations	Director Operations and Infrastructure	Responses to the Request for Tender are due in July 2022 and will be assessed by the tender review panel to select the consultants. Council staff will meet with selected consultants to outline existing fleet and infrastructure to assist in developing the plan for transitioning to electric vehicles.	ON TRACK				
			The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: Promote Council's transition to electric vehicles, and explore placement opportunities for electric charging stations.					
	We support businesses, industries and events, and	encourage investment w	ithin Nillumbik					
Business and Tourism	Implement annual actions in the Economic Development Strategy 2020-2030	Executive Manager Planning and Community Safety	• Business recovery kits delivered to businesses, including Shop in Our Shire Bags					
	We promote Nillumbik's unique offerings; supporting	ı a vibrant local economy	y and encouraging tourism					
	Continue partnership with Yarra Ranges Tourism to promote tourism and optimise visitor economy within the Shire	Executive Manager Planning and Community Safety	Despite the impacts of COVID-19 on visitation to our area, the partnership with Yarra Ranges Tourism proved valuable to the region and many projects and industry support and development were delivered. Partnerships continue to increase year on year with 30 businesses registered. In 2022-2023, local travel opportunities will be capitalised on and the opportunity to increase the number of partners. During the last quarter, achievements included: • Ongoing promotional activities took place around the St Andrews Market trail via Yarra Ranges Tourism marketing channels • Funding was received by Yarra Ranges Tourism to commence the regional Destination Management Plan • Provision of Digital Mentoring Series for all Yarra Ranges Tourism Partners • Industry Development workshop program delivered across the region.	ON TRACK				
	We support individuals, families and the community	to be mentally and phys	sically healthy, safe and enabled to participate in relief and recovery processes arising from crisis or emergency					
Resilience and Recovery	Implement the Pandemic Recovery Plan 2021-2022	Executive Manager Communities	Delivery of the Pandemic Recovery Plan is now complete. The supporting plan taskforce met for the last time in May 2022, and a final progress report is being prepared for presentation to Council at the September 2022 Council Meeting. Moving forward, medium to long term recovery actions will be embedded into the new Relief and Recovery Plan and Nillumbik Health and Wellbeing Plan year 2 implementation plan. To date, the completed plan has achieved the following: • Pop-up vaccination clinic in Panton Hill with healthAbility • Vaccination information session for parents/carers of children under 11 • Continued to deliver the COVID-19 relief program • COVID-19 Business Support Officer appointed to support and advise local businesses in relation to COVID-19 related impacts and response.	COMPLETE				

Theme	Action	Responsibility	Progress Commentary - July 2022	Status					
Responsible	e and accountable - to facilitate the be	st possible outcomes	for our community, by demonstrating strong leadership and working actively to achieve the community's objectives						
	We act in the best interests of our community								
	Develop and implement a State and Federal Advocacy Plan to help attract funding and support for Council's priority projects and initiatives, and supports advocacy in the best interests of the community Executive Manager Bovernance, Communications and Engagement Council adopted its Advocacy Priorities for 2022 at the December 2021 Council Meeting. Since its adoption, Council's focus has been to advocate to State and Federal members, seeing significant announce support now and post-pandemic during the ongoing recovery phase. Council has developed good working relationships with local State and Federal members, seeing significant announce being made for the benefit of our community. Council also saw success at the National General Assembly with its motion on climate change policy reforms supported. Council endorsed fit motions all aligned to Council's adopted Advocacy Priorities that were supported by the Municipal Association of Victoria's (MAV) State Council. During the last quarter, the lead-up to the May 2022 Federal Election saw an increase in advocacy activity. This included meetings with local candidates by the Mayor, Chief Executive Of senior officers. Among the outcomes were significant announcements from the successful candidates for the electorates of Jagajaga (major pavilion and public open space upgrades) an McEwen (Diamond Creek Outdoor Pool). The Mayor and Deputy Mayor have also met with the newly-appointed Federal Local Government Minister to discuss Council's advocacy prioriti including climate action, pandemic recovery and mobile and internet blackspots.								
	Advocate on key issues ahead of the Victorian State and Federal elections, as well as make a pre-budget submission to Victorian Government each year	Executive Manager Governance, Communications and Engagement	As a member of the Northern Councils Alliance (NCA), Council is focusing efforts on preparations for the lead up to the November 2022 Victorian election. Joint activities either already commenced or being planned include: • Development of the NCA Strategic Plan • A joint calendar of opportunities • Compiling a joint database of local candidates • NCA Advocacy group will attend the September 2022 meeting of Mayors and CEOs to discuss joint advocacy. The main advocacy efforts will be directed at the November 2022 State election - any budget advocacy work will be aligned with Council's adopted 2022 Advocacy Priorities. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Continue to advocate on key issues ahead of the Victorian State election, as well as make a pre-budget submission to the elected Victorian Government</i> .	ON TRACK					
	We continue to exercise sustainable and responsible financial management								
Good Governance	Report quarterly on the annual budget	Chief Financial Officer	The final 30 June 2022 Financial Report will be presented to Council's Audit and Risk Committee on 23 August 2022, and then to Council at the September 2022 Council Meeting. Council's overall financial position at the end of the financial year remains sound, with active monitoring of operating items required (income and expenditure). The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Report quarterly on the annual budget</i> .						
	We are forward-thinking, data-driven and evidence-led in our decision making, always looking to identify new opportunities								
	Continue the business transformation program encompassing systems, processes and people, to achieve our 'customer first' vision Performance		 Actions implemented under the four key pillars of the program include: <u>Our Staff</u> There is a continued focus on health and wellbeing for staff, supported by a program of initiatives and events. Mental Health First Aid Officers quarterly professional development sessions have commenced. An access, equality and inclusion focus continues, with Council's Gender Equality Action Plan submitted to the Victoria Gender Equality Commission. <u>Our Customers</u> The final year update of the four-year Nillumbik Customer First Strategy was presented to Council at the April 2022 Council Meeting, closing out the strategy. Preliminary work has commenced to research and enable the ensuing four-year strategy for Council to adopt later in 2022. <u>Our Processes</u> 214 new processes were mapped in Promapp (our process mapping tool) this year, with now 1139 processes mapped; work has commenced on using customer complaints data to target process improvement. <u>Our System - first round of user acceptance testing has been completed on fees and charges for venues; finance integration has been completed; a 'go-live' date is anticipated at the end of the 2022.</u> Online Booking System (AMS) - the system is being developed and embedded on a team-by-team, module-by-module basis; the Property and Facilities module has recently commenced. Other projects delivered this year included the upgrade to Council's website (with a focus on self-service, information architecture and content management) and an uplift to our Customer Request Management System - Pathway (with improved capability to lodge planning and building applications online, improved processing effectiveness). 	COMPLETE					
	We foster a positive organisational culture, from the	top down							
	Develop a Workforce Plan that promotes gender equality, diversity and inclusiveness, and the organisation as an 'employer of choice'	Chief Financial Officer	The Workforce Plan 2022-2026 (a Local Government Act 2020 requirement) was endorsed by the Executive Management Team, and subsequently adopted by the Chief Executive Officer, in December 2021. The plan's actions have progressed, including aligning actions to Council's Gender Equity Action Plan. Year 1 actions in the adopted Workforce Plan have progressed in line with agreed timelines. The focus for this quarter has been on employee health and wellbeing, leadership development for managers, mentoring and coaching, and supporting ways of working aligned to the hybrid working maturity model.	COMPLETE					

Theme	Action	Responsibility	Progress Commentary - July 2022					
	We continue to meet Council's responsibilities for e	mergency management	by working with the community and partner agencies, especially in relation to bushfire					
	Implement the annual actions of the Bushfire Mitigation Strategy 2019-2023 as outlined in the Municipal Fire Management Plan	Executive Manager Governance, Communications and Engagement	All identified actions from the three-year Bushfire Mitigation Action Plan remain on track. Significant progress has been made in creating a community focussed appre • A \$300K grant received to extend the Communities First program under Safer Together from 2022-2023 to 2023-2024 • The Resilient St Andrews project launched under EMV Risk and Resilience Grant Funding. Community engagement has commenced and consultants engaged to a implementation • Place Shapers Program 2022 – seven participants from rural Nillumbik undertook a nine week program working with Council to deliver place making projects that for preparedness, connection and resilience. A graduation ceremony was held on 23 June 2022. • 2022 Community Preparedness and Bushfire Resilience Grants open for up to \$2,000 for community led projects and extended to 31 July 2022. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Implement the Bushfire Mitigation Strategy 2019-2023 as outlined in the Municip</i>					
	We seek to enhance community safety, public health	h, amenity and the enviro	onment through improved planning and community engagement, prioritising fair and transparent approaches to managing compliance and enforcement					
Risk Management	Undertake a review of our Local Laws	Executive Manager Planning and Community Safety	A review of the current local laws has been completed. Following phase 2 community engagement on the draft local laws in November and December 2021, the heari took place at the April 2022 Planning and Consultation Committee Meeting. This feedback has been used to consider changes to the draft local laws. At the July 2022 Council Meeting, Council endorsed the draft Nillumbik General Local Law 1 for the purpose of public exhibition (for the period between 1-22 August 2 consider public submissions at the October 2022 Planning and Consultation Committee Meeting. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Continue to develop and adopt the new local laws</i> .					
	Develop a new Domestic Animal Management Plan	Executive Manager Planning and Community Safety	The Domestic Animal Management Plan (DAMP) was adopted by Council at the November 2021 Council Meeting. Implementation of actions under the DAM commence in July 2022.					
	Develop a Building Municipal Control Plan which identifies building risks within the Shire and categorise the risk to Council and community	Executive Manager Planning and Community Safety	The Municipal Building Surveyor (MBS) is working with the Victorian Building Authority and other MBSs to establish the report framework. The MBS is currently workin risks in the Shire and a risk matrix through which to assess risks identified. The delay of scheduling is consistent across the local government sector, and has been di collaborative effort being undertaken across the local government sector with respect to this deliverable. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: <i>Develop a Building Municipal Control Plan which identifies building risks within th risk to Council and the community</i> (the action being carried over from the 2021-2022 action plan).					
	We acknowledge our role in managing the significan	nce of global risks						
	Review Council's strategic risk register periodically by identifying any external risks to the organisation and our community, and report back quarterly	Executive Manager Business Transformation and Performance	The review and development of the new Strategic Risk Register was completed this quarter, along with a review and update of Council's Risk Management Policy and Framework. All three documents were endorsed by Council's Audit and Risk Committee in May 2022, and presented to Council for formal noting at the June 2022 Co The updated Strategic Risk Register was informed by Council staff workshops and input and facilitation from Marsh Pty Ltd (the parent body of Council's insurance br					
	We make Council's programs, services, processes ar	nd information equitable,	accessible and inclusive					
	Develop an Asset Plan in accordance with the <i>Local</i> Government Act 2020	Director Operations and Infrastructure	The development of an Asset Plan is a requirement of the Local Government Act 2020, and provides a high level strategic and financial view of how Council intends building, drainage and open space assets over the next ten years. The draft Asset Plan 2022-2032 was subject to public exhibition and community consultation in Ma presented to the May 2022 Planning and Consultation Committee Meeting, and was then formally adopted by Council at the June 2022 Council Meeting.					
	We enhance the effectiveness and efficiency of our s	ervices, prioritising a gre	eat customer experience					
Services and	Implement the final year actions of the Nillumbik Customer First Strategy	Executive Manager Business Transformation and Performance	Council received and endorsed the final year update on the four-year Nillumbik Customer First Strategy 2019-2022 at the April 2022 Council Meeting, prior to the strate actions outlined in the strategy are now operational. Key benchmarks and measurements are now enshrined into day-to-day business, including: A Mystery Shopping program to independently measure our ongoing competency with our customer interactions (across the 2021-2022 year, Council was ranked the local government sector (of 51 councils) and ranked sixth best of all organisations (of 203 in total)) Creation of customer KPI data framework (including complaints) to learn and design better processes and customer interactions Regularly measuring feedback from our customers through multi-channel surveys and online feedback mechanisms Ongoing review of knowledge management systems and processes An upgraded Council website, including establishment of Live Chat transaction channel. Development of the next Customer First Strategy/Plan for Nillumbik has commenced. A review of the results of the bi-annual customer survey conducted in April 2022. The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: Develop and implement a new customer service strategy/plan to further support					

	Status
ed approach to bushfire including:	
ged to assist with project is that focused on community	COMPLETE
e Municipal Fire Management Plan .	
ent	
the hearing of public submissions	
August 2022), with the view to	COMPLETE
P implementation plan is on track to	COMPLETE
tly working on identifying building s been directly influenced by the	
within the Shire and categorise the	MINOR ISSUES
Policy and Risk Management 2022 Council Meeting. Irance brokers).	COMPLETE
intends to manage its transport, on in March 2022. The draft was	COMPLETE
the strategy expiring. The key	
anked the top council nationally in the	
	COMPLETE
April 2022 is underway, along with the ategy/plan.	
r support our 'customer first' vision .	

Theme	Action	Action Responsibility Progress Commentary - July 2022							
	We communicate clearly and regularly, taking the time to listen and engage with our community								
	Develop and adopt a Communications Strategy to keep the community informed about our programs, projects, services and decisions Executive Manager Governance, Communications and Engagement Implement the Community Engagement Policy Executive Manager Governance, Communications and Engagement		Following the extensive community engagement process, submitters were invited to speak at the June 2022 Planning and Consultation Committee Meeting. The report seeking Council adoption of the Communications Strategy 2022-2025 was adopted by Council at the July 2022 Council Meeting. The Communications Strategy provides an important framework for Council to deliver effective communication that meets the needs of our community.	COMPLETE					
			The adopted Community Engagement Policy is now embedded into 'business as usual' and the guidelines and a supporting toolkit were endorsed by the Executive Management Team in June 2022. Council saw over 20 projects launched on Participate Nillumbik throughout the 2021-2022 financial year, with over 8,000 submissions from the community received during this period. Our Community Engagement Policy continues to be the focus of all engagement projects and shared through internal communications channels.						
	We source alternative and innovative funding source	es to support and compl	ement Council services and infrastructure						
	Delivery of our capital works program, including completion of Diamond Valley Sports and Fitness Centre upgrade and Diamond Creek Trail		At the end of the 2021-2022 financial year, actual expenditure, including commitments, was \$25.57 million. This amount represents 96% of the total capital expenditure budget planned to be expended (\$26.67 million) in 2021-2022. It is noteworthy that the impact of COVID-19 increased in the last quarter, with contractors reporting shortages of staff due to illness and significant delays in securing materials locally and from overseas. Main projects completed this year included the Diamond Valley Sports and Fitness Centre upgrade (\$16.89 million), Stage 2 of the Diamond Creek Trail (\$5.5 million), the new Diamond Creek Netball Courts (\$2.18 million) and Pavilion (\$2.8 million), Hurstbridge Football and Cricket Club Pavilion (\$0.86 million), Diamond Valley Library (\$1.63 million) and Eltham Skate Park (\$0.77 million).	COMPLETE					
			The corresponding action item in the adopted 2022-2023 Council Plan Action Plan is: Continue to deliver our capital works program.						

Status Key	COMPLETE	Action is Completed
	ON TRACK	Action is on track for completion within budget and timeframe
	MAJOR ISSUES	Action is off track, experiencing major issues which require management attention
	MINOR ISSUES	Action is off track, and experiencing minor issues being managed in-house
	YET TO COMMENCE	Action works are yet to commence

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Council Plan 2021-2025 – Strategic indicators

Indicator	Source	2020-2021 Result	2021-2022 Result	% change	Target	Current Status	
Community and Connection							
Percentage of people who think multiculturalism makes life in their area better – acceptance of diverse cultures	Victorian Population Health Survey	53.7%	60.4%	6.7%	0	0	This is the percentage of people who respone Population Health Survey (VPHS). The VPH in 2023-2024.
Percentage of people who say it is important for Council to address the needs of LGBTIQA+ residents	Annual Community Survey	55.5%	54.5%	-1.0%	0	•	This measure decreased slightly from the 5
Percentage of people that say they feel valued by society	Victorian Population Health Survey	45.5%	57.4%	11.9%	0	0	This is the percentage of people who respo The VPHS data is collected every 3 years, s
Number of reconciliation activities delivered	Council records	NM	15	NA	0	0	This is a new measure for Council. Activities consultations, 11 community based activitie years' services and playhouses. Work to de will take place in 2022-2023.
Number of Council volunteers	Council records	361	316	-12.5%	0	U	Volunteer engagement has been key to min when volunteer participation in the Shire dro Census. Our focus during the pandemic wa working now toward optimal retention for ea practice under the new Volunteer Framewor
Percentage of people engaged in assisting/helping a local group (volunteering)	Census data	24%	16%	-8%	0	U	Awaiting more recent Nillumbik data from th available until 2023). Latest Census data sh 19 period. Recruitment and promotion of vo
Number of Council auspice Friends of Groups	Council records	21	21	0%	0	•	Based on Friends Group list as of August 2
Proportion of the municipal population that are active library members	LGPRF	27.0%	25.2%	-1.8%	0	•	Despite being lower than the 2020-2021 res Library campaign is implemented and COVI libraries have only opened for the full range figure will continue to rise.
Community satisfaction with community services	Annual Community Survey	7.62/10	7.68/10	0.8%	0	•	This measure increased slightly from the 20
Annual immunisation coverage rate for children aged 0 to 5	LGPRF	94.2%	96.2%	2.0%	0	•	This measure increased slightly in 2021-202 COVID-19 restrictions.
Participation in the Maternal and Child Health service	LGPRF	81.7%	80.0%	-1.7%	0	•	This is a slight decrease from the 2021-202 attendance.
Total enrolments in programs at Living and Learning Nillumbik	Council records	1,196	1,708	42.8%	0	0	This is an increase on the 2020-2021 result and available for longer periods post-COVIE

Commentary

sponded 'yes-definitely' to the statement in the 2019 Victorian /PHS data is collected every 3 years, so new data will be available

e 55.5% result recorded in the 2021 Annual Community Survey.

sponded 'yes-definitely' to the statement in the 2019 VPHS survey rs, so new data will be available in 2023-2024.

rities delivered in 2021-2022 included 3 monthly cultural vities, 1 flag raising ceremony and resources provided to early b develop more effective ways of capturing data for this indicator

minimising Council volunteer attrition during the COVID-19 period e dropped from 24% in 2016 to 16% in 2021 according to the latest was to support volunteers to stay well, and stay engaged. We are r each program, through improved recruitment and inclusive ework.

n the 2022 Victorian Population Health Survey (which will not be a shows a 19% decrease in volunteer participation over the COVIDi volunteering opportunities is a priority to address this decline.

t 2021.

result, this figure is on the increase as the Return Yourself to the OVID-19 restrictions on public libraries are eased. As branch nge of opening hours in the first half of 2022, it is expected that this

e 2021 result as recorded in the Annual Community Survey.

2022 as services returned to more business as usual levels post

2022 result, reflecting impacts of COVID-19 and flu illnesses on

sult, primarily due to the Living and Learning service being open VID 19 restrictions and closures.

Indicator	Source	2020-2021 Result	2021-2022 Result	% change	Target	Current Status	
Place and space							
Total number of participants in arts and cultural programs and activities	Council records	61,912	96,900	56.5%	0	0	This is an increase from the 2020-2021 resul restrictions.
Community satisfaction with arts and cultural programs, activities and events	Annual Community Survey	7.63/10	7.77/10	1.8%	0	•	This measure increased slightly from the 202
Community satisfaction with the appearance and quality of newly constructed developments	Annual Community Survey	6.85/10	7.01/10	2.3%	0	0	This measure increased slightly from the 202
Percentage of VCAT decisions upholding Council's position	LGPRF	75%	64%	-11%	0	U	This measure decreased from the 2020-202' (compared to 8 out of 12 in 2020-2021).
Percentage of planning applications determined within required timeframes	LGPRF	66.1%	60.4%	-5.7%	0	U	This measure decreased in 2021-2022. Whil number of staffing gaps within the Planning s numbers for the first half of 2021-2022.
Number of trees planted in streets and parks to maintain tree canopy	Council records	218	417	91.3%	0	0	The 2021-2022 planting program delivered 2 Shire. A further 200 trees were planted unde
Number of Land Management Incentive Program grants provided to the community for control of noxious and environmental weeds	Council records	35	37	5.7%	0	0	This measure slightly increased on the 2020-
Number of dead animals collected by Council	Council records	359	349	-2.9%	U	0	This is the number of service requests to col 2020-2021 total, which is a positive result.
Number of infringements issued following investigation of littering or rubbish dumping	Council records	3	2	-33.3%	0	U	2 local law infringements were issued in 202
Community perception of public safety during day and night	Annual Community Survey	8.48/10	8.35/10	-1.5%	0	•	This measure decreased slightly from the 20
Community satisfaction with the design of public spaces	Annual Community Survey	7.46/10	7.42/10	-0.5%	0	•	This measure decreased slightly from the 20
Community satisfaction with provision and maintenance of parks and gardens	Annual Community Survey	7.41/10	7.47/10	0.8%	0	•	This measure increased slightly from the 202
Percentage of capital works program delivered	Council records	82.0%	96.0%	14.0%	0	0	This represents actual expenditure, including figure represents physical completion of the
Community satisfaction with aquatic and leisure facilities	Annual Community Survey	7.79/10	8.18/10	5.0%	0	0	This measure improved significantly from the to Council's facilities post-COVID restrictions
Attendance at leisure and aquatic facilities	LGPRF	304,230	498,268	63.8%	0	0	This is a significant increase on the 2020-20 Diamond Creek Outdoor Pool) being open fo compared to 2020-2021.

Commentary

esult, which was impacted by COVID-19 related closures and

2021 result as recorded in the Annual Community Survey.

2021 result as recorded in the Annual Community Survey.

2021 result. Of 25 decisions referred to VCAT, 16 were upheld

While Council is committed to improving decision timeframes, a ng Services team were experienced, as well as higher application

ed 217 trees planted in streets and parks environs throughout the nder the North East Link Collaboration.

020-2021 result.

collect dead animals for 2021-2022. It is slightly lower than the t.

2021-2022, compared to 3 in 2020-2021.

e 2021 result as recorded in the Annual Community Survey.

e 2021 result as recorded in the Annual Community Survey.

2021 result as recorded in the Annual Community Survey.

ding commitments, of the 2021-2022 budget. The 2020-2021 the capital works program.

the 2021. This was driven by the increased access and visitation ions/closures.

-2021 result, due to the facilities (Eltham Leisure Centre and n for a longer period without COVID-19 restrictions and limitations

Indicator	Source	2020-2021 Result	2021-2022 Result	% change	Target	Current Status	
Community satisfaction with local traffic management	Annual Community Survey	6.55/10	6.44/10	-1.7%	0		This measure decreased slightly from the 2 management rated as the second top issue
Sealed local roads maintained to condition standards	LGPRF	83.8%	95.1%	11.3%	0	0	This is an increase on the 2020-2021 result maintained within condition standards.
Community satisfaction with grading of unsealed roads	Annual Community Survey	6.39/10	6.21/10	-2.9%	0	U	This measure decreased from the 2021 res maintenance and repairs was the top issue
Sustainable and resilient		l		ł			
Community satisfaction with Council meeting its responsibilities towards the environment	Annual Community Survey	6.72/10	6.90/10	2.7%	0	0	This measure increased slightly from the 20
Community satisfaction with environmental programs and facilities	Annual Community Survey	8.30/10	8.16/10	-1.7%	0	•	This measure decreased slightly from the 2
Number of participants in environmental programs and events	Council records	1,003	2,469	146.1%	0	0	This is a significant increase on the 2020-21 events on offer in 2021-2022, through Cour and Living and Learning services.
Number of program participants and visitors at Edendale Community and Environment Farm	Council records	70,000	60,000	-14.3%	0	U	Compared to a non-COVID year, Edendale open on restricted hours for a further 24 we
Community satisfaction with regular waste collections	Annual Community Survey	8.04/10	7.97/10	-0.9%	0	•	This measure decreased slightly from the 2
Percentage of kerbside waste collections diverted from landfill	LGPRF	72.9%	72.7%	-0.2%	0	•	This result is comparable to last year (72.95 waste from landfill during 2021-2022. The c amount green waste collected (i.e.10,894 to continues to be well above the State diversi
Percentage of contamination in kerbside recycling waste bins	Council records	15.8%	18.2%	2.4%	U	0	This is Council's bin based contamination re
Community satisfaction with Council's support for local business	Annual Community Survey	7.23/10	7.35/10	1.7%	0	•	This measure increased slightly from the 20
Number of jobs available in the shire	Census data	11,495	10,804	-6.0%	0	U	Based on 2020-2021 full time equivalent (F will be updated in 2023 upon the release of
Number of local residents who work within the shire	Census data	13,308	13,315	0.1%	0	٢	Figure is based on 2016 Census data. The updated in 2023 on release of 2021 Census
Gross Regional Product (\$)	National Institute of Economic and Industry Research	\$2.01 billion	\$1.95 billion	-3.3%	0	U	Figure is as at 30 June 2021. This decrease on release of 2021 Census information.

Commentary

e 2021 result as recorded in the Annual Community Survey. Traffic sue for survey respondents.

sult. Of 488.9kms of sealed roads in the Shire, 458.3km are

result as recorded in the Annual Community Survey. Road sue for survey respondents in 2022.

e 2021 result as recorded in the Annual Community Survey.

e 2021 result as recorded in the Annual Community Survey.

0-2021 figure, due to a much larger number of programs and council's Environment, Waste, Edendale Community Farm, Library

lale was closed to the public for approximately14 weeks and then week period. Visitation numbers as such were down on last year.

e 2021 result as recorded in the Annual Community Survey.

2.9%). Nillumbik residents diverted 17,765 tonnes of kerbside e continuous wetter weather from the LaNina event maintains the 4 tonnes) and the normalisation of recycling processing. Nillumbik ersion targets.

n results. Processing facility contamination is 31.1%.

2021 result as recorded in the Annual Community Survey.

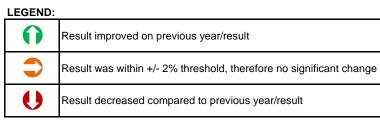
t (FTE). This is a 6% decrease on the previous figure (2016). Data $_{\rm 2}$ of more detailed 2021 Census information.

he result is similar to the previous result (2011). Data will be sus information.

ased on the previous result (2020). Data will be updated in 2023

Indicator	Source	2020-2021 Result	2021-2022 Result	% change	Target	Current Status	
Responsible and accountable							
Community satisfaction with Council making decisions in the best interests of the community	Annual Community Survey	6.30/10	6.26/10	-0.6%	0	•	This measure is comparable to the 2021 res
Community satisfaction with Council's consultation and engagement	Annual Community Survey	6.14/10	6.21/10	1.1%	0		This measure increased slightly from the 20
Percentage of people feeling they have the opportunity to have their say	Victorian Population Health Survey	74.2%	72.0%	-2.2%	0	U	This is the percentage of people who respon survey. This was slightly down on the previo
Community satisfaction with Council's responsiveness to local community needs	Annual Community Survey	6.32/10	6.20/10	-1.9%	0	\bigcirc	This measure decreased slightly from the 20
Community satisfaction with fire prevention works	Annual Community Survey	6.68/10	6.22/10	-6.8%	0	U	This measure decreased from the 2021 resumanagement and prevention rated as the for
Percentage of fire prevention notices that resulted in compliance	Council records	96.0%	98.7%	2.7%	0	0	This measure improved slightly in 2021-202 those, only 4 properties failed to comply.
Time taken to action food complaints	LGPRF	1.47 days	1.7 days	13.5%	U	0	This measure increased slightly comparable
Percentage of animals reclaimed from the regional pound	Council records	82.4%	78.7%	-3.7%	0	U	Of 216 animals impounded in 2021-2022, 1 (183 animals reclaimed from 222 collected)
Percentage of issued infringement notices expiated	Council records	88%	74%	-14.0%	0	U	Of a total 5,482 infringements issued in 202 and 2,122 paid in 2020-2021.
Community satisfaction with customer service	Annual Community Survey	7.24/10	6.33/10	-12.6%	0	U	This measure decreased significantly from t
Customer satisfaction score from direct customers	Customer Experience Survey	6.3/10	6.1/10	-3.2%	0	U	This is based on results from the biannual C the 2020-2021 result.
Satisfaction score of customer visits to Council's website	Customer Experience Survey	6.1/10	6.4/10	4.9%	0	0	This is based on results from the biannual C than the 2020-2021 result.
Number of visitors to Council's website	Council records	309,000	358,000	15.8%	0	0	This is an increase on the 2020-2021 result, website.
Total number of participants on Council's social media channels	Council records	17,469	19,463	11.4%	0	0	This is an increase of 1,994 on 2020-2021 r Facebook, Twitter, Instagram and LinkedIn.
Percentage of successful grant applications applied for by Council	Council records	NM	38%	NA	0	0	This is a new measure. In 2021-2022, 58 ap Ongoing improvement to monitoring and rep

Note: A +/-2% threshold is applied to all results (i.e. if the % change is +/-2% of the previous year's result, it is subsequently recorded as 'No Change'. This is due to the diversity of data sources and measurement scales used across the 56 indicators. The vast majority of these 'No Change' results are from the Annual Community Survey results, which were heavily influenced by COVID-19 restrictions and closures and their impact on Council service delivery and availability.



Commentary

result as recorded in the Annual Community Survey.

2021 result as recorded in the Annual Community Survey.

ponded 'definitely or sometimes' to the statement in the 2019 vious result (2018).

e 2021 result as recorded in the Annual Community Survey.

result as recorded in the Annual Community Survey. Bushfire e fourth top issue for survey respondents.

2022. 304 fire prevention notices were issued in 2021-2022. Of

ble to the 2021 result of 1.47 days.

, 170 were reclaimed (78.7%). This is a decrease from 82.4% ed) in 2020-2021.

2021-2022, 4,070 have been paid. This compares to 2,386 issued

m the 2021 result as recorded in the Annual Community Survey.

al Customer Experience Survey. The result was slightly down from

al Customer Experience Survey. The result was slightly higher

ult, with an increase in users and page views on Council's

21 results. This includes increases in participants on Council's ln.

applications were submitted, with 22 of those being successful. reporting of this measure will continue throughout 2022-2023.

MEETING DETAILS:	Title:	Youth Council Informal Advisory Meeting						
	Date:	Monday 11 July 2022						
	Location:	Council Chambers						
PRESENT:	Councillors:	Cr Natalie Duffy						
	Council Staff:	Corrienne Nichols, Nichole Johnson, Molly Jessop, Frances Biggar						
	Other:	Youth Council Members: Bailey Cumming, Brianna Keogh, Fieke Van Der Kamp, Jack Linehan, Lachlan Wadsworth, Maali Kerta-Rice, Orianna Edmonds, Kirra Imbriano, Niamh Coffey, Martina Charalambous, Rhys Warrillow						
APOLOGIES:		Nil						

The Meeting commenced at 4:00pm

	MATTERS CONSIDERED	DISCLOSURES AND COMMENTS
1	Environment and Sustainability Projects: Officers gave an overview of the upcoming Home Harvest festival. Youth Council brainstormed interactive activities for youth that can be hosted during the festival.	No disclosures were made
2	Diamond Creek Community Infrastructure Plan. Officer talked through the proposed youth hub locations in the draft plan.	No disclosures were made
3	Youth Summit Officers presented the draft youth summit video to the committee and collected feedback.	No disclosures were made



	MATTERS CONSIDERED	DISCLOSURES AND COMMENTS
4	Municipal Planning Strategy Update Officers provided the committee with an update on the MPS and directed committee to participate.	
5		

The Meeting concluded at 6:00pm

RECORD	Officer Name:	Nicola Clutton
COMPLETED BY:	Officer Title:	Team Leader Youth Development

Informal Meeting of Councillors Record

	Title:	Councillor Briefing
MEETING DETAILS:	Date:	Tuesday 5 July 2022
	Location:	Virtual
	Councillors:	Cr Frances Eyre, Cr Karen Egan, Cr Natalie Duffy, Cr Geoff Paine, Cr Peter Perkins, Cr Ben Ramcharan, Cr Richard Stockman,
PRESENT:	Council Staff:	Carl Cowie, Vince Lombardi, Sally Johnson, Hjalmar Philipp, Corrienne Nichols, Rosa Zouzoulas, Jeremy Livingston, Jonathon Miller, Licardo Prince, Nichole Johnson, Leigh Northwood, Lawrence Seyers, Bek Burton, Natalie Town,
	Other:	
APOLOGIES:		

The Meeting commenced at 5.03pm

MATTE	RS CONSIDERED	DISCLOSURES AND COMMENTS
1	Council's Residential Buildings – Overview	No disclosures were made
2	Endorsement of Council's pre-election media and social media guidelines	No disclosures were made
3	Review of proposed Flagpole schedule	No disclosures were made
4	Regional / Muncipal Gallery Business Case and Masterplan	No disclosures were made
5	Proposed Community Hospital, Ryans Road Diamond Creek – Transport and Planning Briefing	No disclosures were made

The Meeting concluded at 7.29pm

RECORD COMPLETED BY:	Officer Name: Officer Title:	Sally Johnson Acting Executive Manager Governance, Communications and Engagement
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	Title:	Council Meeting Pre-Meet	
MEETING DETAILS:	Date:	Tuesday 26 July 2022	
	Location:	Council Chamber	
	Councillors:	Cr Peter Perkins, Cr Frances Eyre, C Cr Natalie Duffy, Cr Ben Ramcharan	
PRESENT:	Council Staff:	Carl Cowie, Vince Lombardi, Hjalmar Philipp, Sally Johnson, Corrienne Nichols (virtually), Jeremy Livingston, Rosa Zouzoulas, Nichole Johnson, Lance Clark, Lisa Pittle, Anna Maio, Danielle Phyland, Heath Gillett, Elishia Jansz, Jon Miller, Natalie Campion, Katia Croce	
	Other:		
APOLOGIES:			
MATTERS CONSIDERED			DISCLOSURES AND COMMENTS
1 Counc	Council Meeting Pre-Meet		No disclosures were made
The Meeting concluded at 5.35pm			

The Meeting commenced at 5.03pm

RECORD	Officer Name:	Katia Croce
COMPLETED BY:	Officer Title:	Governance Lead



MEETING DETAILS:	Title:	Youth Council Informal Advisory Meeting
Date:		Monday 1 August 2022
	Location:	Council Chambers
PRESENT:	Councillors:	Cr Natalie Duffy
	Council Staff:	Corrienne Nichols, Nicola Clutton, Molly Jessop, Frances Biggar, Anna Maio
	Other:	Youth Council Members: Bailey Cumming, Fieke Van Der Kamp, Lachlan Wadsworth, Maali Kerta-Rice, Indi Sandwell, Kirra Imbriano, Niamh Coffey, Martina Charalambous, Ava Grzechnik, Jack Linehan
APOLOGIES:		Nil

The Meeting commenced at 4:00pm

	MATTERS CONSIDERED	DISCLOSURES AND COMMENTS
1	Crime Prevention workshop – Vic Police Officers attended the session to discuss key way young people can stay safe in the area and reduce crime.	No disclosures were made
2	Place Making Workshop – Council Officers attending the session to work through how Council can work with and engage young people in place making projects.	No disclosures were made
3	Youth Development Updates – Officers updated Youth Council on two upcoming projects, Youth Takeover and LGBT Social group.	No disclosures were made

The Meeting concluded at 5:55pm



RECORD	Officer Name:	Nicola Clutton
COMPLETED BY:	Officer Title:	Team Leader Youth Development

	Title:	Councillor Briefing – conducted virtually
MEETING DETAILS:	Date:	Tuesday 2 August 2022
	Location:	Virtual meeting
	Councillors:	Cr Peter Perkins, Cr Frances Eyre, Cr Natalie Duffy, Cr Karen Egan, Cr Geoff Paine, Cr Ben Ramcharan and Cr Richard Stockman
PRESENT:	Council Staff:	Carl Cowie, Vince Lombardi, Hjalmar Philipp, Sally Johnson, Corrienne Nichols, Jeremy Livingston, Rosa Zouzoulas, Leigh Northwood, Paul Fyffe, Sean Diffey, Renae Ahern, Kim Halse, Lisa Pittle, Heath Gillett, Nichole Johnson, Lance Clark, Rebecca Burton, Jeremiah Jago, Leah Farrell, Aimee Caterill, Jon Miller, Danielle Phyland, Anna Maio, Alex Marshall, Enrique Gutierrez, Steven Blight,
	Other:	
APOLOGIES:		

The Meeting commenced at 5.05pm

MAT	TERS CONSIDERED	DISCLOSURES AND COMMENTS
1	First draft of the Nillumbik Neighbourhood Character Strategy	No disclosures were made
2	Bushfire Mitigation Strategy Progress Report	No disclosures were made
3	Panton Hill Bushland Reserve System (PHBRS) User Group Advisory Committee renewal	No disclosures were made
4	Living Local Fund	No disclosures were made
5	Domestic Wastewater Management Plan	No disclosures were made
6	Events and Festivals Funding (Triennial Funding) 2023 onwards	No disclosures were made
7	CEO Update with Councillors	No disclosures were made
8	Update on Sustainability Objectives	No disclosures were made
9	Diamond Creek Netball Court Roof	No disclosures were made

The Meeting concluded at 9.54pm

RECORD COMPLETED BY:	Officer Name: Officer Title:	Sally Johnson Acting Executive Manager Governance, Communications and Engagement
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MEETING DETAILS:	Title:	Positive Ageing Advisory Committee
	Date:	Friday 5 August 2022
	Location:	Zoom
PRESENT:	Councillors:	Cr Natalie Duffy. Cr Frances Eyre
Council Staff:		Fiona Vuong, Annie Lee, Corrienne Nichols, Jade Zigenbine, Narelle Hart
	Other:	Tianjian Shen, Philip Green, Anne Fitzpatrick, Sandra Verdam, Janice Crosswhite, Sabi Buehler, Sue Riley, Deanna Finn, Joy Ferguson, Richard Kottek, Ray Carroll, Jan Taylor
APOLOGIES:		

The Meeting commenced at 12.10pm

	MATTERS CONSIDERED	DISCLOSURES AND COMMENTS
1.	Welcome/ introductions	No disclosures made
2.	Diamond Creek Community Infrastructure Strategic Plan	No disclosures made
3.	Updates from PAAC members (Ageing Well conference, Get on with life event, Ageing Well a personal perspective information session)	No disclosures made
4.	Dementia Friendly alliance update, Communications subcommittee update	No disclosures made
5.	Roundtable	No disclosures made

The Meeting concluded at 2.05pm



RECORD	Officer Name:	Fiona Vuong
COMPLETED BY:	Officer Title:	Positive Ageing Officer

Title:		CEO Employment Matters Advisory Committee	
MEETING DETAILS:	Date:	Tuesday 8 August 2022	
	Location:	Virtual meeting	
	Councillors:	Cr Frances Eyre, Cr Natalie Duffy, Cr Karen Egan, Cr Geoff Paine, Cr Ben Ramcharan, Cr Richard Stockman and Cr Peter Perkins (<i>left</i> <i>the meeting at 6pm due to connection issues,</i>	
PRESENT: Council Staff: Carl Cowie, Sally Johnson		Carl Cowie, Sally Johnson	
	Other:	Independant Chairperson – Allan Bawden	
APOLOGIES:			

The Meeting commenced at 5pm

MATTERS CONSIDERED		DISCLOSURES AND COMMENTS
1	Finalise 2021/2022 CEO Performance Plan and finalise 2022/2023 CEO Performance Plan	No disclosures were made

The Meeting concluded at 6:58pm

RECORD COMPLETED BY:	Officer Name: Officer Title:	Sally Johnson Acting Executive Manager Governance, Communications and Engagement
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	Title:	Planning and Consultation Committee Meeting Pre-Meet	
MEETING DETAILS:	Date:	Tuesday 9 August 2022	
	Location:	Council Chamber	
Councillors: Cr Richard Stockman, Cr Karen Egand Cr Peter Perkins (entered means) PRESENT: Council Council Carl Cowie, Vince Lombardi, Hjalm Corrienne Nichols, Rosa Zouzoulas		Cr Frances Eyre, Cr Natalie Duffy, Cr Geoff Paine, and Cr Richard Stockman, Cr Karen Egan Cr Ben Ramcharan (virtually), and Cr Peter Perkins <i>(entered meeting at 5.15pm)</i>	
		Carl Cowie, Vince Lombardi, Hjalmar Philipp, Sally Johnson, Corrienne Nichols, Rosa Zouzoulas, Leigh Northwood, Renae Ahern, Kamal Hasanoff, Katia Croce, and Hjalmar Philipp (virtually)	
	Other:		
APOLOGIES:			

The Meeting commenced at 5.03pm

MATTERS CONSIDERED		DISCLOSURES AND COMMENTS
1	PCC Meeting Pre-meet	No disclosures were made.
2	50 Oatland Road Plenty update	No disclosures were made.
3	36 Mannish Road Wattle Glen update	No disclosures were made.
4	Rob Roy Hill Climb Christmas Hills update	No disclosures were made.

The Meeting concluded at 6.06pm

RECORD COMPLETED BY:	Officer Name: Officer Title:	Katia Croce Governance Lead
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