

# Planning and Consultation Committee Meeting

to be held at the Civic Centre, Civic Drive, Greensborough  
on Tuesday 12 September 2023 commencing at 7:00pm.

## Attachments

**Carl Cowie**  
**Chief Executive Officer**

Thursday 7 September 2023

Distribution: Public

Civic Drive, Greensborough  
PO Box 476, Greensborough 3088  
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## Nillumbik Shire Council

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**Attachments**

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# Planning and Consultation Committee Meeting

held at the Civic Centre, Civic Drive, Greensborough  
on Tuesday 8 August 2023 commencing at 7:00pm.

## Minutes

**Carl Cowie**  
**Chief Executive Officer**

Friday 11 August 2023

Distribution: Public

Civic Drive, Greensborough  
PO Box 476, Greensborough 3088  
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**Nillumbik Shire Council**

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Planning and Consultation Committee Meeting Minutes

8 August 2023

**Nillumbik Shire Council**

**Minutes of the Planning and Consultation Committee Meeting held  
Tuesday 8 August 2023. The meeting commenced at 7:00pm.**

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**Councillors present:**

Cr Ben Ramcharan	Sugarloaf Ward ( <b>Mayor</b> )
Cr Richard Stockman	Blue Lake Ward
Cr Karen Egan	Bunjil Ward
Cr Natalie Duffy	Edendale Ward
Cr Peter Perkins	Ellis Ward ( <b>Chairperson Planning Matters</b> )
Cr Frances Eyre	Swipers Gully Ward ( <b>Chairperson Consultation Matters</b> )
Cr Geoff Paine	Wingrove Ward ( <b>Deputy Mayor</b> )

**Officers in attendance:**

Vince Lombardi	Acting Chief Executive Officer
Bлага Naumoski	Director Governance, Communications and Community Safety
Rosa Zouzoulas	Director Planning, Environment and Strategy
Jeremy Livingston	Director Culture and Performance
Katia Croce	Manager Governance and Property

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**1. Welcome by the Chair**

**2. Acknowledgement of Country**

Acknowledgement of Country was read by the Chairperson Consultation Matters  
Cr Frances Eyre.

**3 Apologies**

Nil

**4 Disclosure of conflicts of interest**

Nil



- COM.001/23**      **Confirmation of Minutes Planning and Consultation Committee Meeting held Tuesday 8 August 2023**
- Attachment 1.**   **Minutes of the Planning and Consultation Committee Meeting held on Tuesday 8 August 2023**

**Planning and Consultation Committee Minutes**

**8 August 2023**

**5. Confirmation of Minutes**

**Summary**

Confirmation of the minutes of the Planning and Consultation Committee Meeting held on Tuesday 6 June 2023.

<b>Committee Resolution</b>
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**MOVED:**            **Cr Ben Ramcharan**

**SECONDED:**   **Cr Karen Egan**

**That** the Committee (acting under delegation from Council) confirms the minutes of the Planning and Consultation Committee Meeting held on Tuesday 6 June 2023 (**Attachment 1**).

**CARRIED UNANIMOUSLY**



Planning and Consultation Committee Minutes

8 August 2023

6. Officers' reports

PCC.008/23 Draft Onsite Wastewater Management Plan - hearing of submissions

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Item: Consultation Matter

Distribution: Public

Manager: Rosa Zouzoulas, Director Planning, Environment and Strategy

Author: Renae Ahern, Manager Planning Services

Summary

The State Environment Protection Policy, SEPP (Waters) Clause 29 requires Council to develop an Onsite Wastewater Management Plan (OWMP) every five years in consultation with the community and local water authority.

Council endorsed the draft Onsite Wastewater Management Plan 2024-2029 for public consultation at the Ordinary Council Meeting on 26 April 2023. The four week public consultation period ended on 28 May 2023, and Council received one submission. An overview of the feedback received in the submission is attached. Yarra Valley Water also provided direct positive feedback.

The submitter to the draft Onsite Wastewater Management Plan has been invited to make a verbal presentation at the August Planning and Consultation Committee meeting.

This report recommends that the Committee, having received the written submission and heard any verbal submissions, refers a decision regarding the adoption of the draft Onsite Wastewater Management Plan to the Ordinary Meeting of Council on 26 September 2023.

<b>Committee Resolution</b>
-----------------------------

**MOVED:** Cr Geoff Paine

**SECONDED:** Cr Ben Ramcharan

**That** the Committee (acting under delegation from Council):

1. Receives and notes the submission received for the Draft Onsite Wastewater Management Plan (**Attachment 2**).
2. Considers the feedback contained in the submission and this report for finalisation of the Onsite Wastewater Management Plan.
3. Resolves the confidential un-redacted copy of the written submission to the Draft Onsite Wastewater Management Plan (**Attachment 2**) remain confidential on the grounds specified in the definition of confidential information in section 3(1)(f) of the *Local Government Act 2020*.
4. Requests officers to submit a report to the Ordinary Council Meeting on 26 September 2023 to consider whether to adopt the Onsite Wastewater Management Plan 2024-2029.
5. Requests that officers write to all respondents to the exhibition of the draft Onsite Wastewater Management Plan to express Council's appreciation for their contribution and to advise them of the Committee's resolution and the next steps of the project.

**CARRIED UNANIMOUSLY**







Planning and Consultation Committee Minutes

8 August 2023

6. Officers' reports

PCC.009/23 Draft Nillumbik Youth Hub Concept Plans - Outcomes of Community engagement

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Item: Consultation Matter

Distribution: Public

Manager: Corrienne Nichols, Director Communities

Author: Nichole Johnson, Manager Community Partnerships

Summary

The purpose of this report is to present the findings from the recent engagement on the Draft Concept Plans for the Nillumbik Youth Hub, and to enable any submitters to the draft concept plans to make verbal presentations.

Nillumbik Shire Council has received funding under the Victorian Government's Youth Hubs Grant program 2022-2023, to redevelop its community facility located at 32-34 Elizabeth St, Diamond Creek, into a dedicated, stand-alone youth hub to provide centralised support for young people 12-25 years old.

The engagement period on the draft designs for the new Youth Hub (**Attachment 1**) ran from 30 June 2023 – 25 July 2023 on Council's participate Nillumbik website.

A range of considerations and opportunities were identified in the feedback and these are summarised in the Community Engagement Report (**Attachment 2**). Copies of all feedback received from the online survey are provided confidential and un-redacted at **Attachment 3** and redacted at **Attachment 4**. A summary of feedback from the stakeholder workshops held during the public consultation period are also provided in **Attachment 5**.

<b>Committee Resolution</b>
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**MOVED:** Cr Natalie Duffy

**SECONDED:** Cr Peter Perkins

**That** the Committee (acting under delegation from Council):

1. Considers the feedback provided during community engagement of the draft concept plans for the Nillumbik Youth Hub (**Attachment 1**), including:
  - a) Summary of community engagement feedback (**Attachment 2**)
  - b) Survey responses provided confidential and unredacted (**Attachment 3**) and redacted (**Attachment 4**)
  - c) Feedback from stakeholder workshops (**Attachment 5**)
2. Resolves that the confidential un-redacted survey responses to the draft concept plans (**Attachment 3**) remain confidential on the grounds specified in the definition of confidential information in section 3(1)(f) of the *Local Government Act 2020*.
3. Writes to all respondents to the engagement of the draft Concept Plans to express Council's appreciation for their contribution and to advise them of the Committee's resolution and the next steps in the project.

**CARRIED UNANIMOUSLY**



<b>COM.001/23</b>	<b>Confirmation of Minutes Planning and Consultation Committee Meeting held Tuesday 8 August 2023</b>	
<b>Attachment 1.</b>	<b>Minutes of the Planning and Consultation Committee Meeting held on Tuesday 8 August 2023</b>	
	<b>Planning and Consultation Committee Minutes</b>	<b>8 August 2023</b>
	<b>6. Consultation Matters</b>	
<b>PCC.009/23</b>	<b>Draft Nillumbik Youth Hub Concept Plans - Outcomes of Community engagement</b>	

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Planning and Consultation Committee Minutes 8 August 2023

6. Officers’ reports

Cr Geoff Paine read the following statement:

*“Councillors, I wish to state that whilst I have previously expressed a view on this matter, as an elected Councillor I recognise and accept that I have a statutory responsibility to represent and act in the best interests of the Nillumbik community when participating in the decision-making of this Council. Accordingly, I will keep an open mind by considering all information both in favour of and against the matter before objectively casting my vote.”*

PCC.010/23 Outcome of Community Consultation - 2 Bell Street Eltham (Fabbro Fields)

Item:	Consultation Matter
Distribution:	Public
Manager:	Rosa Zouzoulas, Director Planning, Environment and Strategy
Summary	

At its Council Meeting on 27 June 2023, Council resolved to:

1. *Endorses the commencement of a community consultation process as outlined in Proposed Community Engagement Next Steps (**Attachment 1**) to seek the views of the Nillumbik community with respect to the potential use of land at 2 Bell Street Eltham for the purpose of an urban farm.*
2. *Following the conclusion of the community engagement period, hears from submitters at the Planning and Consultation Committee meeting on 8 August 2023 with respect to the potential use of land at 2 Bell Street Eltham for the purpose of an urban farm.*

Engagement was conducted over a three week period between 29 June 2023 and 20 July 2023.

The engagement was effective in reaching over 1000 people with the majority providing additional commentary to support their vote. Overall, 53.96% of the community that voted, voted yes to an urban farm, whilst 46.04% voted no to an urban farm.

With regard to the relevant feedback the following summarises the main themes arising from both the yes and no votes from those of the community that provided additional commentary:

Main themes arising from the community that voted yes	Main themes arising from the community that voted no
Increase local food security	We already have Edendale
Promotes family friendly social connectedness	Land is a floodplain and appropriate for use
Promote sustainable agriculture, provide education opportunities and grow community spirit	Maintain remaining open spaces
Need access to organic, locally produced fruit and vegetables	Loss of biodiversity and tree canopy – should seek to plant out the open space



Planning and Consultation Committee Minutes

8 August 2023

6. Consultation Matters

PCC.010/23 Outcome of Community Consultation - 2 Bell Street Eltham (Fabbro Fields)

Main themes arising from the community that voted yes	Main themes arising from the community that voted no
Directly combats climate change	Not enough information upon which to make a considered decision
On the basis that there will still be open space available on the land for community enjoyment and local school involvement	Parking concerns

Based on input from the Planning and Consultation Committee meeting (PCC) and any additional feedback from submitters regarding the proposal, officers will compile recommendations for the 26 September 2023 Council Meeting. These recommendations will outline the course of action for Councillors to deliberate upon and decide how to address Local Food Connect's (LFC) application for written consent to apply for a planning permit for an urban farm 2 Bell Street Eltham.

*The following people addressed the Committee with respect to this item:*

- 1 Caitlin McKimm
- 2 Ann Hague
- 3 Dan Milne
- 4 Dan Milne on behalf of Chris Chapple – President Local Food Connect
- 5 Rachel Busbridge
- 6 Janine Thorpe
- 7 Jim Connor
- 8 Alli Coster
- 9 Sue Dyet on behalf of Eltham Community Action Group
- 10 Sue Dyet
- 11 Carlota Quinlan
- 12 Helen Coleman
- 13 Erin Byrne-Gurung
- 14 Helen Simpson
- 15 Hans Gregory
- 16 Mark Noonan
- 17 Jodi Mitchell – On behalf of Eltham Junior Football Club – President
- 18 Henry Haszler – USB tabled at the meeting containing documents relating to his submission
- 19 Greg Johnson



COM.001/23 Confirmation of Minutes Planning and Consultation Committee Meeting held Tuesday 8 August 2023  
Attachment 1. Minutes of the Planning and Consultation Committee Meeting held on Tuesday 8 August 2023

**Planning and Consultation Committee Minutes**

**8 August 2023**

**6. Consultation Matters**

**PCC.010/23 Outcome of Community Consultation - 2 Bell Street Eltham (Fabbro Fields)**

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**Committee Resolution**

**MOVED: Cr Geoff Paine**

**SECONDED: Cr Karen Egan**

**That** the Committee (acting under delegation from Council):

1. Notes the public responses, as outlined in this report and its attachments, to the public engagement of the 2 Bell St Eltham community consultation.
2. Resolves that the confidential un-redacted copies of written feedback and survey responses to the public engagement of the 2 Bell St Eltham community consultation (at Attachments 2 and 4) remain confidential on the grounds specified in the definition of confidential information in Section 3(1)(f) of the *Local Government Act 2020*.
3. Writes to all respondents to the public engagement to express Council's gratitude for their contribution and to advise them of the Committee's resolution and the next steps in the project on the updated Participate Nillumbik page.
4. Notes officers will bring a report to the Council meeting on 26 September 2023, to seek Council's resolution and respond to Local Food Connect.

**CARRIED UNANIMOUSLY**



**COM.001/23**      **Confirmation of Minutes Planning and Consultation Committee Meeting held Tuesday 8 August 2023**  
**Attachment 1.**   **Minutes of the Planning and Consultation Committee Meeting held on Tuesday 8 August 2023**

**Planning and Consultation Committee Meeting Minutes**

**8 August 2023**

**7.    Supplementary and urgent business**

Nil

**8.    Confidential reports**

Nil

**9.    Close of Meeting**

The meeting closed at 10pm.

Confirmed: \_\_\_\_\_

Cr Peter Perkins Chairperson Planning Matters

Cr Frances Eyre, Chairperson Consultation Matters



**Planning and Environment Act 1987**

**NILLUMBIK PLANNING SCHEME**

**Notice of the preparation of an amendment**

**Amendment C149nill – application of the Heritage Overlay**

The Nillumbik Shire Council has prepared Amendment C149nill to the Nillumbik Planning Scheme.

The amendment affects land within the following suburbs:

Arthurs Creek, Christmas Hills, Diamond Creek, Eltham, Eltham North, Hurstbridge, Kangaroo Ground, North Warrandyte, Panton Hill, Plenty, Research, St Andrews, Wattle Glen and Yarrambat.

The amendment also affects several properties resulting from corrections to mapping anomalies or removal of redundant overlays.

The amendment proposes to:

- Amends the Schedule to Clause 43.01 (Heritage Overlay) to apply the Heritage Overlay to 63 individual heritage places, one (1) new serial listing and one (1) new precinct.
- Amends the Schedule to Clause 43.01 (Heritage Overlay) to delete HO144, HO182, HO213, HO248 and HO250 from properties that have been demolished, or from properties within a new Heritage Overlay.
- Amends Planning Scheme maps 11HO and 14HO to correct mapping anomalies and adjust the curtilage for HO49, HO50 and HO112.
- Amends Planning Scheme maps 2HO, 3HO, 6HO, 7HO, 8HO, 9HO, 10HO, 11HO, 12HO, 13HO, 14HO, 15HO, and 17HO to apply the Heritage Overlay to identified places.
- Inserts Planning Scheme Map No. 5HO to apply HO332 to 87 Latrobe Road, Yarrambat.
- Amends the Schedule to Clause 72.03 (What does this Planning Scheme consist of?) to insert Map No.5HO.
- Amends the Schedule to Clause 72.04 (Incorporated Documents) to insert 66 new Statements of Significance for the heritage places introduced by this amendment.
- Amends the Schedule to Clause 72.08 (Background Documents) to include the following documents as background documents:
  - *Nillumbik Shire Heritage Study – Stage A (Context, 2021)*
  - *Nillumbik Shire Heritage Study – Stage B (Trethowan, 2022)*
  - *Nillumbik Gap Study Stage B – Thematic Environmental History Post-war Update (Trethowan, 2022)*
  - *Nillumbik Shire Thematic Environmental History, Revision 2016 (Nillumbik Shire Council, 2016)*

You may inspect the amendment, any documents that support the amendment and the explanatory report about the amendment, free of charge, at:

- the Nillumbik Shire Council website at [www.participate.nillumbik.vic.gov.au/amendment-c149](http://www.participate.nillumbik.vic.gov.au/amendment-c149); and/or
- during office hours, at the office of the planning authority Nillumbik Shire Council, Civic Drive, Greensborough VIC 3088; and
- the Department of Transport and Planning website [www.delwp.vic.gov.au/public-inspection](http://www.delwp.vic.gov.au/public-inspection) or by contacting 1800 789 386 to arrange a time to view the amendment documentation.

Any person who may be affected by the amendment may make a submission to the planning authority about the amendment. Submissions must be made in writing giving the submitter's name and contact address, clearly stating the grounds on which the amendment is supported or opposed and indicating what changes (if any) the submitter wishes to make.

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Name and contact details of submitters are required for council to consider submissions and to notify such persons of the opportunity to attend council meetings and any public hearing held to consider submissions. The closing date for submissions is **Thursday 03 August 2023**. A submission must be sent to the Nillumbik Shire Council, care of:

Leigh Northwood  
Manage Strategic Planning and Environment  
Nillumbik Shire Council  
Civic Drive (PO Box 476)

The planning authority must make a copy of every submission available at its office and/or on its website for any person to inspect free of charge for two months after the amendment comes into operation or lapses.

Yours sincerely



**Leigh Northwood**  
**Manager of Strategic Planning and Environment**

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*Planning and Environment Act 1987*

## **NILLUMBIK PLANNING SCHEME**

### **AMENDMENT C149NILL**

### **EXPLANATORY REPORT**

#### **Who is the planning authority?**

This amendment has been prepared by Nillumbik Shire Council which is the planning authority for this amendment.

The amendment has been made at the request of Nillumbik Shire Council.

#### **Land affected by the amendment**

The amendment affects land within the following suburbs:

Arthurs Creek, Christmas Hills, Diamond Creek, Eltham, Eltham North, Hurstbridge, Kangaroo Ground, North Warrandyte, Panton Hill, Plenty, Research, St Andrews, Wattle Glen and Yarrambat.

The amendment also affects several properties resulting from corrections to mapping anomalies or removal of redundant overlays.

The affected properties are identified in Attachment 1 to this Explanatory Report.

#### **What the amendment does**

The amendment proposes to implement the recommendations of *Nillumbik Shire Heritage Review Stages A & B* (the Reviews) and apply the Heritage Overlay to 63 individual places, one new serial listing and one new precinct on a permanent basis. It also includes several corrections to clean up the extent of overlays and removes redundant overlays.

Specifically, the amendment:

- Amends the Schedule to Clause 43.01 (Heritage Overlay) to apply the Heritage Overlay to 63 individual heritage places, one (1) new serial listing and one (1) new precinct.
- Amends the Schedule to Clause 43.01 (Heritage Overlay) to delete HO144, HO182, HO213, HO248 and HO250 from properties that have been demolished, or from properties within a new Heritage Overlay.
- Amends Planning Scheme maps 11HO and 14HO to correct mapping anomalies and adjust the curtilage for HO49, HO50 and HO112.
- Amends Planning Scheme maps 2HO, 3HO, 6HO, 7HO, 8HO, 9HO, 10HO, 11HO, 12HO, 13HO, 14HO, 15HO, and 17HO to apply the Heritage Overlay to identified places.
- Inserts Planning Scheme Map No. 5HO to apply HO332 to 87 Latrobe Road, Yarrambat.
- Amends the Schedule to Clause 72.03 (What does this Planning Scheme consist of?) to insert Map No.5HO.
- Amends the Schedule to Clause 72.04 (Incorporated Documents) to insert 66 new Statements of Significance for the heritage places introduced by this amendment.
- Amends the Schedule to Clause 72.08 (Background Documents) to include the following documents as background documents:
  - *Nillumbik Shire Heritage Study – Stage A (Context, 2021)*
  - *Nillumbik Shire Heritage Study – Stage B (Trethowan, 2022)*
  - *Nillumbik Gap Study Stage B – Thematic Environmental History Post-war Update (Trethowan, 2022)*
  - *Nillumbik Shire Thematic Environmental History, Revision 2016 (Nillumbik Shire Council, 2016)*

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### **Strategic assessment of the amendment**

#### **Why is the amendment required?**

The amendment implements the recommendations of the *Nillumbik Shire Heritage Review Stages A & B* (the Reviews) adopted by the council on 29 June 2021 and 26 July 2022. The amendment will introduce heritage controls that will protect locally significant heritage places and ensure that the potential impact of new development on the heritage value of these places is considered as part of development applications and achieve the best planning outcomes for the Nillumbik Shire Council.

The significance of the 63 individual heritage places, 1 serial listing and 1 heritage precinct was assessed against the standard criteria contained in Planning Practice Note 01: Applying the Heritage Overlay and were considered to meet the requirements and threshold for local protection through the Heritage Overlay. As required by the practice note, Statements of Significance for each proposed heritage place will be included in the Nillumbik Planning Scheme as an incorporated document.

The Heritage Overlay is the appropriate planning mechanism to protect the heritage values of the individual properties and precinct as it requires a planning permit to be granted for building and works, including demolition, that could affect the significance of such places.

The amendment proposes removing the Heritage Overlay from HO144, HO182, HO213, HO248 and HO250:

- HO144 – 28 Osborne Road, North Warrandyte: the Heritage Place has been demolished / removed.
- HO182 – 125 Cherry Tree Road, Hurstbridge: the property is proposed to be listed under serial listing HO285.
- HO213 – 17 Howell Road, Plenty: the Heritage Place has been demolished / removed.
- HO248 – 109-115B Yan Yean Road, Plenty: the proposed HO335 includes the property currently covered by HO248.

HO250 – 171 Yan Yean Road, Plenty: the Department of Transport (DoT) has moved the significant elements of the heritage place, being the Church, to 2-6 Memorial Drive, Plenty and the significant elements of HO250 will be included in the proposed HO335.

In addition to the Reviews, several anomalies were identified as being incorrectly identified on planning scheme maps and require fixing. They are detailed below:

- HO49 – 385 Eltham-Yarra Glen Road, Kangaroo Ground: The curtilage is proposed to extend to the property title boundary. The new extent covers the rest of the Kangaroo Ground Reserve and the Kangaroo Ground Tower Car Park.
- HO50 – 425 Eltham-Yarra Glen Road, Kangaroo Ground: The heritage citation for this address clearly outlines the elements of the significant place that should be protected which does not align with the current HO50 curtilage.

HO112 – 35 Laughing Waters Road, Eltham: The curtilage currently doesn't cover the heritage significant tree, as listed on the National Trust tree register. The National Trust has provided in principle support to amend HO112 as in accordance with the Arborist report dated 02/06/22 by Homewood Consulting.

Adjustments are required to the curtilage of existing overlays to ensure heritage places are correctly located within the overlay polygon. In this case it is proposed to amend overlay boundaries accordingly.

It should also be noted that the proposed heritage place at 10 Diosma Road, Eltham is being assessed by the Victorian Heritage Register (VHR) for State significance.

#### **How does the amendment implement the objectives of planning in Victoria?**

The Amendment implements the following objectives as set out in Section 4 of the *Planning and Environment Act 1987*, being:

- Section 4(1) (a) - to provide for the fair, orderly, economic and sustainable use and development of land.
- Section 4(1) (d) - to conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value.

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- Section 4(1) (e) - to protect public utilities and other assets and enable the orderly provision and co-ordination of public utilities and other facilities for the benefit of the community;
- Section 4(1) (g) - to balance the present and future interests of all Victorians.

**How does the amendment address any environmental, social and economic effects?**

*Environmental Effects*

The amendment will have no adverse effect on the natural environment and will provide a mechanism for protection of the richness and diversity of the built environment. It is widely understood that the conservation of heritage buildings has environmental sustainability benefits. Reduction in energy usage associated with demolition, and minimising waste disposal from demolition and new construction to landfill is achieved through the conservation of heritage buildings. Retaining and adapting heritage buildings promotes sustainable development by conserving the embodied energy in the existing buildings.

*Social and Economic Effects*

The amendment is anticipated to have positive social effects through the recognition and protection of sites of heritage significance, for the benefit of current and future generations. This will benefit the community by improving the understanding of local cultural history and thereby contributing to sense of place and local identity. The amendment also has the potential to enhance the special character of some areas.

Inclusion of a site within the Heritage Overlay does not prohibit changes to that site or building, but rather requires an application process whereby heritage considerations can be properly addressed, along with other factors before any decision on an application is made. This may limit development that is inconsistent with maintaining heritage values, which will improve the character of the building and the wider area.

**Does the amendment address relevant bushfire risk?**

The amendment does not result in increased development potential, nor change of use of land; it will not increase the bushfire risk to life as a priority, property, community infrastructure or the natural environment.

**Does the amendment comply with the requirements of any Minister's Direction applicable to the amendment?**

The amendment is consistent with the form and content of planning schemes established in the Minister's Direction under section 7(5) of the Planning and Environment Act 1987 and Ministerial Direction 11: Strategic Assessment of Amendments under section 12(2)(a) of the Act.

The amendment is consistent with Minister's Direction No. 9 – Metropolitan Strategy, pursuant to Section 12 of the Act that requires planning authorities to have regard to the Metropolitan Planning Strategy, Plan Melbourne in preparing an amendment. Specifically, the Amendment is supported by Policy Direction No. 4.4 - respect Melbourne's heritage as we build for the future. Policies relating to Direction 4.4 relevant to this amendment are as follows:

- 4.4.1 Recognise the value of heritage when managing growth and change.
- 4.4.2 Respect and protect Melbourne's Aboriginal cultural heritage.
- 4.4.3 Stimulate economic growth through heritage conservation.
- 4.4.4 Protect Melbourne's heritage through telling its stories.

The amendment complies with Ministerial Direction No 11 – Strategic Assessment of Amendments as outlined in this explanatory report.

**How does the amendment support or implement the Planning Policy Framework and any adopted State policy?**

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The amendment supports the following objectives of Clause 15 (Built Environment and Heritage) in the Planning Policy Framework:

- 15.01-1R (Urban design) – to create a distinctive and liveable city with quality design and amenity.
- 15.03-1S (Heritage conservation) – to ensure the conservation of places of heritage significance.

By including the identified places within the Heritage Overlay, the amendment will ensure that the significance of these heritage places is protected, conserved and enhanced. The Heritage Overlay will require consideration to be given to the significance of the identified heritage place as a decision guideline and will encourage development that is designed and sited to respect the identified significance of heritage places.

#### **How does the amendment support or implement the Municipal Planning Strategy?**

The amendment supports the Municipal Planning Strategy of the Nillumbik Planning Scheme, specifically at:

Clause 02.03-5 Built Environment - Heritage - Council seeks to:

- Protect and enhance places of heritage significance, including sites of Aboriginal heritage significance.
- Ensure new use and development do not impede on or detract from sites and features of Aboriginal cultural heritage and archaeological significance.

#### **Does the amendment make proper use of the Victoria Planning Provisions?**

The proposed amendment makes proper use of the Victoria Planning Provisions. The Schedule to the Heritage Overlay is the proper Victorian Planning Provision to apply in order to protect a place of heritage significance.

The amendment makes proper use of incorporated documents to clearly define the heritage significance of the places affected by the amendment.

#### **How does the amendment address the views of any relevant agency?**

The views of relevant agencies will be sought during the public exhibition process.

#### **Does the amendment address relevant requirements of the Transport Integration Act 2010?**

The amendment will have no significant impact on the transport system and will not be inconsistent with the transport system objectives nor the decision-making principles of the Transport Integration Act 2010.

#### **Resource and administrative costs**

- **What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?**

The inclusion of additional places within the Schedule to Clause 43.01 (Heritage Overlay) may contribute to a minor increase in the number of planning permit applications on an annual basis.

This increase can be accommodated within the existing resources. These resource and administration costs will be off-set by a reduction in the need for individual responses to the possible demolition of significant heritage places which are not currently included within the Schedule to Clause 43.01 (Heritage Overlay).

#### **Where you may inspect this amendment**

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The Amendment can be inspected free of charge at the Nillumbik Shire Council's public engagement website at <https://participate.nillumbik.vic.gov.au/>

The amendment is available for public inspection, free of charge, during office hours at the following places:

Nillumbik Shire Council Offices  
Civic Drive  
Greensborough 3088

The amendment can also be inspected free of charge at the Department of Transport and Planning website at [www.planning.vic.gov.au/public-inspection](http://www.planning.vic.gov.au/public-inspection).

#### **Submissions**

Any person who may be affected by the amendment may make a submission to the planning authority. Submissions about the amendment must be received by Thursday 3<sup>rd</sup> August 2023.

A submission must be sent to:

Leigh Northwood  
Manager Strategic Planning and Environment  
Nillumbik Shire Council  
Civic Drive (PO Box 476)  
Greensborough 3088

Alternatively, a submission can be sent via email to [strategic.planning@nillumbik.vic.gov.au](mailto:strategic.planning@nillumbik.vic.gov.au)

#### **Panel hearing dates**

In accordance with clause 4(2) of Ministerial Direction No.15 the following panel hearing dates have been set for this amendment:

- directions hearing: Week beginning Monday 16th October 2023
- panel hearing: Week beginning Monday 13th November 2023

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## ATTACHMENT 1 - MAPPING REFERENCE TABLE

HO No.s	Location	Land /Area Affected	Mapping Reference
307	Arthurs Creek	893 Arthurs Creek Road	Nillumbik C149nill 002hoMaps02_03 Exhibition
308	Arthurs Creek	900 Arthurs Creek Road	Nillumbik C149nill 002hoMaps02_03 Exhibition
309	Arthurs Creek	906 Arthurs Creek Road	Nillumbik C149nill 002hoMaps02_03 Exhibition
310	Arthurs Creek	25 Brennans Road	Nillumbik C149nill 002hoMaps02_03 Exhibition
311	Arthurs Creek	1165 Arthurs Creek Road	Nillumbik C149nill 001hoMap02 Exhibition
312	Arthurs Creek	110 Deep Creek Road	Nillumbik C149nill 002hoMaps02_03 Exhibition
336	Arthurs Creek	870 Arthurs Creek Road	Nillumbik C149nill 002hoMaps02_03 Exhibition
273	Christmas Hills	cnr Eltham - Yarra Glen Road & Ridge Road	Nillumbik C149nill 013hoMap12 Exhibition
313	Christmas Hills	75 Wendy Way	Nillumbik C149nill 037hoMap17 Exhibition
294	Diamond Creek	49-55 Main Street	Nillumbik C149nill 018hoMap09 Exhibition
314	Diamond Creek	12 Broad Gully Road	Nillumbik C149nill 018hoMap09 Exhibition
315	Diamond Creek	34 Clyde Street	Nillumbik C149nill 018hoMap09 Exhibition
316	Diamond Creek	38 Collins Street	Nillumbik C149nill 018hoMap09 Exhibition
317	Diamond Creek	42 Collins Street	Nillumbik C149nill 018hoMap09 Exhibition
318	Diamond Creek	349 Diamond Creek Road	Nillumbik C149nill 017hoMap09 Exhibition
319	Diamond Creek	2 Hillmartin Road	Nillumbik C149nill 017hoMap09 Exhibition
320	Diamond Creek	28 Main Hurstbridge Road	Nillumbik C149nill 019hoMap09 Exhibition
321	Diamond Creek	162 Murray Road	Nillumbik C149nill 007hoMap09 Exhibition
322	Diamond Creek	25 Nicole Crescent	Nillumbik C149nill 020hoMap09 Exhibition
323	Diamond Creek	32 Perversi Avenue	Nillumbik C149nill 021hoMap10 Exhibition
324	Diamond Creek	75-99 Phipps Crescent	Nillumbik C149nill 021hoMap10 Exhibition
325	Diamond Creek	405 Ryans Road	Nillumbik C149nill 020hoMap09 Exhibition
337	Diamond Creek	477 Broad Gully Road	Nillumbik C149nill 008hoMap07 Exhibition
327	Doreen	920 Yan Yean Road	Nillumbik C149nill 004hoMap02 Exhibition
274	Eltham	2 Batman Road	Nillumbik C149nill 027hoMaps13_14 Exhibition
275	Eltham	10 Diosma Road	Nillumbik C149nill 030hoMap14 Exhibition
276	Eltham	570-576 Main Road	Nillumbik C149nill 029hoMap13 Exhibition
277	Eltham	856 Main Road	Nillumbik C149nill 028hoMap13 Exhibition
278	Eltham	1/44 Park West Road	Nillumbik C149nill 027hoMaps13_14 Exhibition
278	Eltham	42 Park West Road	Nillumbik C149nill 027hoMaps13_14 Exhibition
279	Eltham	61 York Street	Nillumbik C149nill 028hoMap13 Exhibition
279	Eltham	61A York Street	Nillumbik C149nill 028hoMap13 Exhibition
293	Eltham	903-907 Main Road	Nillumbik C149nill 028hoMap13 Exhibition
297	Eltham	19 Fordhams Road	Nillumbik C149nill 029hoMap13 Exhibition

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HO No.s	Location	Land /Area Affected	Mapping Reference
302	Eltham	130 Laughing Waters Road	Nillumbik C149nill 033hoMap14 Exhibition
303	Eltham	220 Laughing Waters Road	Nillumbik C149nill 033hoMap14 Exhibition
305	Eltham	7 Banoon Road	Nillumbik C149nill 029hoMap13 Exhibition
306	Eltham	17 Haldane Road	Nillumbik C149nill 029hoMap13 Exhibition
112	Eltham	Eucalyptus melliodora (Yellow box) - 35 Laughing Waters Road, road reserve	Nillumbik C149nill 031d-hoMap14 Exhibition
112	Eltham	Eucalyptus melliodora (Yellow box) - 35 Laughing Waters Road, road reserve	Nillumbik C149nill 032hoMap14 Exhibition
284	Eltham	14-16 Warringah Crescent	Nillumbik C149nill 026hoMap13 Exhibition
280	Eltham North	23 Glen Park Road	Nillumbik C149nill 025hoMaps09_13 Exhibition
281	Eltham North	24 Glen Park Road	Nillumbik C149nill 025hoMaps09_13 Exhibition
282	Eltham North	144 Progress Road	Nillumbik C149nill 025hoMaps09_13 Exhibition
283	Eltham North	200 Ryans Road	Nillumbik C149nill 025hoMaps09_13 Exhibition
286	Hurstbridge	180 Cherry Tree Road	Nillumbik C149nill 011hoMap11 Exhibition
285	Hurstbridge	125 Cherry Tree Road	Nillumbik C149nill 011hoMap11 Exhibition
285	Hurstbridge	173 Cherry Tree Road	Nillumbik C149nill 011hoMap11 Exhibition
285	Hurstbridge	191 Cherry Tree Road	Nillumbik C149nill 011hoMap11 Exhibition
182	Hurstbridge	Smith Orchard House - 125 Cherry Tree Road	Nillumbik C149nill 010d-hoMap11 Exhibition
287	Kangaroo Ground	160 Henley Road	Nillumbik C149nill 024hoMaps11_15 Exhibition
50	Kangaroo Ground	Garden Hill – timber dwelling & in ground water tanks - 425 Eltham – Yarra Glen Road	Nillumbik C149nill 022d-hoMap11 Exhibition
50	Kangaroo Ground	Garden Hill – timber dwelling & in ground water tanks - 425 Eltham – Yarra Glen Road	Nillumbik C149nill 023hoMap11 Exhibition
49	Kangaroo Ground	War Memorial Tower, sandstone building and park - 385 Eltham – Yarra Glen Road	Nillumbik C149nill 022d-hoMap11 Exhibition
49	Kangaroo Ground	War Memorial Tower, sandstone building and park - 385 Eltham – Yarra Glen Road	Nillumbik C149nill 023hoMap11 Exhibition
292	North Warrandyte	3 Dingley Dell Road	Nillumbik C149nill 035hoMap15 Exhibition
298	North Warrandyte	35-37 Warrandyte - Kangaroo Ground Road	Nillumbik C149nill 035hoMap15 Exhibition
299	North Warrandyte	cnr Research - Warrandyte & Kangaroo Ground - Warrandyte Roads	Nillumbik C149nill 039hoMap15 Exhibition
300	North Warrandyte	33 Koornong Crescent	Nillumbik C149nill 034hoMap15 Exhibition

OFFICIAL



<b>HO No.s</b>	<b>Location</b>	<b>Land /Area Affected</b>	<b>Mapping Reference</b>
301	North Warrandyte	30 Koornong Crescent	Nillumbik C149nill 034hoMap15 Exhibition
304	North Warrandyte	17 Koornong Crescent	Nillumbik C149nill 034hoMap15 Exhibition
334	North Warrandyte	15 Castle Road	Nillumbik C149nill 035hoMap15 Exhibition
144	North Warrandyte	Dwelling - 28 Osborne Road	Nillumbik C149nill 036d-hoMap15 Exhibition
328	Panton Hill	586 Kangaroo Ground Street	Nillumbik C149nill 012hoMap11 Exhibition
328	Panton Hill	588 Kangaroo Ground Street	Nillumbik C149nill 012hoMap11 Exhibition
288	Panton Hill	633 Kangaroo Ground - St Andrews Road	Nillumbik C149nill 012hoMap11 Exhibition
326	Plenty	1070 Yan Yean Road	Nillumbik C149nill 004hoMap02 Exhibition
329	Plenty	145 River Avenue	Nillumbik C149nill 014hoMaps08_09 Exhibition
330	Plenty	183 Yan Yean Road	Nillumbik C149nill 014hoMaps08_09 Exhibition
335	Plenty	2-6 Memorial Drive	Nillumbik C149nill 016hoMap09 Exhibition
213	Plenty	Plenty State School - 17 Howell Road No.'s 1,2,4,6,8,9,10,11,12,13,14,16 Fineran Court	Nillumbik C149nill 015d-hoMap09 Exhibition
248	Plenty	Plenty Hall - 109-115B Yan Yean Road	Nillumbik C149nill 015d-hoMap09 Exhibition
250	Plenty	Church - 171 Yan Yean Road	Nillumbik C149nill 015d-hoMap09 Exhibition
289	Research	57 Thomson Crescent	Nillumbik C149nill 030hoMap14 Exhibition
290	St Andrews	1 Proctor Street	Nillumbik C149nill 003hoMap03 Exhibition
291	St Andrews	10 Caledonia Street	Nillumbik C149nill 003hoMap03 Exhibition
296	Wattle Glen	631 Heidelberg-Kinglake Road	Nillumbik C149nill 009hoMap10 Exhibition
295	Yarrambat	466 Ironbark Road	Nillumbik C149nill 005hoMaps05_06 Exhibition
331	Yarrambat	52 Kurrak Road	Nillumbik C149nill 006hoMap06 Exhibition
332	Yarrambat	87 Latrobe Road	Nillumbik C149nill 005hoMaps05_06 Exhibition
333	Yarrambat	651 Yan Yean Road	Nillumbik C149nill 005hoMaps05_06 Exhibition

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*Planning and Environment Act 1987*

**NILLUMBIK PLANNING SCHEME**

**AMENDMENT C149NILL**

**INSTRUCTION SHEET**

The planning authority for this amendment is the Nillumbik Shire Council.

The Nillumbik Planning Scheme is amended as follows:

**Planning Scheme Maps**

The Planning Scheme Maps are amended by a total of thirty-nine (39) attached map sheets.

**Overlay Maps**

1. Amend Planning Scheme Map Nos. 2HO, 3HO, 6HO, 7HO, 8HO, 9HO, 10HO, 11HO, 12HO, 13HO, 14HO, 15HO, and 17HO in the manner shown on the thirty-eight (38) attached maps marked "Nillumbik Planning Scheme, Amendment C149nill".
2. Insert Planning Scheme Map No. 5HO in the manner shown on the 1 attached map marked "Nillumbik Planning Scheme, Amendment C149nill".

**Planning Scheme Ordinance**

The Planning Scheme Ordinance is amended as follows:

3. In **Overlays** – Clause 43.01, replace the Schedule with a new Schedule in the form of the attached document.
4. In **Operational Provisions** – Clause 72.03, replace the Schedule with a new Schedule in the form of the attached document.
5. In **Operational Provisions** – Clause 72.04, replace the Schedule with a new Schedule in the form of the attached document.
6. In **Operational Provisions** – Clause 72.08, replace the Schedule with a new Schedule in the form of the attached document.

End of document

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Participate Nillumbik

## **Submissions: Amendment C149nill - Heritage Review**

June 22, 2023 - August 03, 2023

Project: Amendment C149 - Heritage Review

Tool Type: Form

Activity ID: 427

Exported By: StrategicPlanning



Response No:  
1

Contribution ID: Letter

Member ID:

Date Submitted: July 24, 2023, 02:24 PM

First Name

[Redacted]

Last Name

[Redacted]

Email

[Redacted]

Address

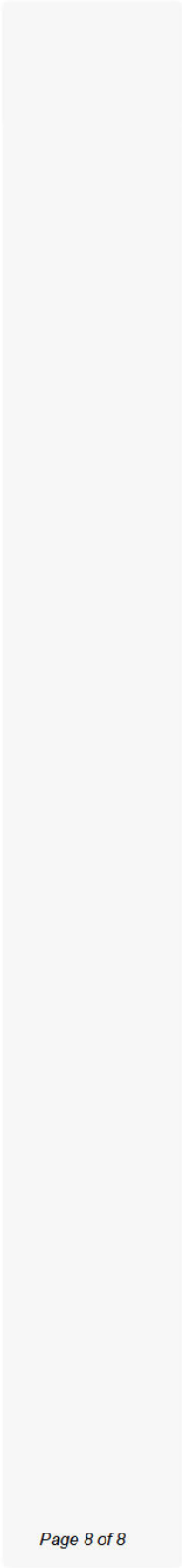
[Redacted]

Details

[Redacted]

Stage B - 26

Objection





[REDACTED]  
Diamond Creek  
VIC 3089  
24<sup>th</sup> July 2023

[REDACTED]  
Manager Strategic Planning and Environment  
Nillumbik Shire Council  
Civic Drive (PO Box 476)  
Greensborough VIC 3088  
[REDACTED]

Dear [REDACTED]

RE: NILLUMBIK PLANNING SCHEME  
Amendment C149nill – application of the Heritage Overlay  
HO 319 - [REDACTED]

I am writing to object to the placing of a Heritage Overlay on the above property.

My family have owned the [REDACTED] property since the 1950's.  
I have owned the property since 1970.

The rear half of the house was built in approximately 1974. It replaced a corrugated iron kitchen and bathroom. All plans and permits were approved by the then Sire of Diamond Valley.

The front half of the building was demolished and replaced with a new structure in 2003. All relevant permits and plans were approved by the Nillumbik Shire Council.

In councils' comments on this property, it is asserted that the existing building was built in the 1920's.

This is not the case as the main structure is only 20 years old, and as such I do not believe that there is any basis for this property to have a Heritage Overlay registered.

Yours faithfully,

[REDACTED]  
[REDACTED]



Response No:  
2

Contribution ID: Letter Member ID:  
Date Submitted: June 26, 2023

First Name

Last Name

Email

n/a

Address

Details

Stage B - 24

Support



28/6/23

MANAGER STRATEGIC PLANNING & ENVIRONMENT  
NILLUMBIK SHIRE COUNCIL

Corporate Info Received  
03 JUL 2023  
Nillumbik Shire Council

DEAR SIR

I SUPPORT THE AMENDMENT TO APPLICATION OF HERITAGE OVERLAY  
TO MY DWELLING

DETAILS OF MY HOUSE:-

ORIGINALLY MEETING HALL OF IOOF (CIRCA 1907)

HOUSE HAS LINING BOARD CEILING

SASH WINDOWS / RECYCLED CHANDOLIER FROM  
WOOD PANELLING EARLIER HOUSE

SUNDECK HAS FRENCH WINDOWS FROM

ORIGINAL "MELBOURNE CITY BATHS"

STUMPS ARE ORIGINAL TREE TRUNKS





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SYOBIDO MADE IN JAPAN

MY ONE ROOM COTTAGE IS  
BE BUILTING & I ADOR E IT.

I WOULD BE THRILLED TO OBTAIN  
A HERITAGE OVERLAY ON MY HOUSE

I PROMISE [REDACTED] ON  
27 JUNE TO CONFIRM MY SUPPORT  
OF PROPOSED AMENDMENT

Yours Sincerely

[REDACTED]

28/6/23



Response No:  
3

Contribution ID: 21936  
Member ID:  
Date Submitted: July 14, 2023

First Name

[Redacted]

Last Name

[Redacted]

Organisation

Parks Victoria

Email

[Redacted]

Address

n/a

Details

[Redacted]

Stage B - 09

Support with proposed changes



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**Parks Victoria**  
609 Burwood Hwy  
Knoxfield VIC 3180  
**Telephone 03 8427 3624**  
parks.vic.gov.au  
ABN 95 337 637 697

14 July 2023

[REDACTED]  
Manager Strategic Planning and Environment  
Nillumbik Shire Council

Dear [REDACTED]

**Nillumbik Planning Scheme**

**Notice of Preparation of an Amendment**

**Amendment C149nill – application of the Heritage Overlay**

Parks Victoria supports the Heritage review and proposed Amendment C149nill – application of the Heritage Overlay and welcomes the opportunity to provide a submission.

As a land manager of parcels within the Nillumbik Shire, Parks Victoria manages land that is being affected and proposes some changes to consider for the Amendment.

Parks Victoria acknowledges the importance of having Heritage Overlays on land and buildings that are accurate and enabling for the protection and enhancement of the purpose of the heritage. As a land manager with an extensive estate and a history of managing some of Victoria's best heritage, Parks Victoria understands that the zoning and overlays need to enable the land manager to protect and conserve through a variety of means. Activating these spaces is a way that Parks Victoria can achieve the heritage values into the future.

Considering the above, Parks Victoria proposes that the Heritage Overlay be amended at the following schedule, to allow prohibited uses by using the 'yes' function under 'prohibited uses permitted?' question:

- Schedule 302 – [REDACTED] (Artist residence)



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Further to the reasoning here, Schedule 332 at [REDACTED] already has the prohibited uses permitted by using the 'yes' function.

Parks Victoria manages a large number of heritage places across Victoria where zoning prohibits a range of uses that would otherwise enable a viable reuse. PPN1, *Applying the Heritage Overlay* advises that this provision "should only be applied to specific places. For example, the provision might be used for a redundant church, warehouse or other large building complex where it is considered that the normally available range of permissible uses is insufficient to provide for the future conservation of the building." [REDACTED] meets the test provided in the PPN-1.

We thank you for your consideration of this submission and should you require further advice on this matter please contact me on [REDACTED].

Yours sincerely

[REDACTED]

[REDACTED]

Manager Regional Planning | Melbourne Region  
Parks Victoria



Response No:  
4

Contribution ID: Email Member ID:  
Date Submitted: July 19, 2023

First Name

Last Name

Organisation

n/a

Email

Address

Details

Stage B - 28

Objection





### Greet

Prepared by: Trethowan Architecture

Address: [REDACTED]

<b>Name:</b> Greet	<b>Survey Date:</b> February 2022
<b>Place Type:</b> Residential; Farming	<b>Architect:</b> NA
<b>Grading:</b> Significant	<b>Builder:</b> Unknown
<b>Extent of Overlay:</b> To title boundaries	<b>Construction Date:</b> c.1890-1926



### Historical Context

Although Crown Land in Nillumbik Parish was offered for sale in 1852 there were few buyers. A government township was reserved on the west of the Diamond Creek at this time but it was neither subdivided nor sold until 1866. In 1863 the Diamond Reef was discovered on land located to the east of the creek, which was purchased by Dr John Blakemore Phipps in 1854. The rush to Diamond Creek began and soon Phipps was renting sections of his land, which he later subdivided to miners. In effect the development of Phipps land for gold mining was the beginnings of Diamond Creek, which was soon bustling with gold seekers. In 1866 the government proclaimed Diamond Creek as a township. Many of the important community buildings were established by the late 1860s



[REDACTED]  
Diamond Creek 3089

18/7/2023

[REDACTED]  
Thank you [REDACTED] for providing the latest report on the Heritage Review and Overlay.

We had previously met on site with Councils Planning Officer [REDACTED] and the Heritage Consultant in approx March 2017 following the release of the original draft assessment at our property in Murray road and gave them our feedback on the report and some of the inconsistencies within the report the we felt were relevant.

We provide the following comments on the latest report as follows.

The report stated that In 1917 our property had 11 acres cleared and 8 acres of orchard . By 1927 the fruit trees had been dug out. Since purchasing the property in 1983 we have continued to allow and encourage the regeneration of the native vegetation including the removal of many Large Pine trees planted around all sides of the House , removal of other invasive plants e.g blackberries bonesed pateresons curse , Cootamundra wattle etc all in accordance with both the Shire of Diamond Valley Shire and Nillumbik Councils recommendations and at this point in time we would have approximately 85% native cover to this property. We do have our own small orchard and vegetable garden but wonder at the purpose of a Heritage Overlay in protecting something the has long gone.

There were sheds here when we purchased the property but some were so poorly constructed of timber post, water pipe rafters and iron just wired on , as your report stated, that I demolished some of them approx 20 years ago. Others I consider of little merit in their construction and architecture.

Regarding the Main house itself :- The house has been evolving ever since its initial build and while some of the proposed renovations as per the attached Lands Department drawings may have been done I can say that some were not done, like enlarging the kitchen and others have disappeared over time by previous owners changes. The house generally was in good but not great condition when I purchased it 40 years ago this year and I have spent considerable time and money on its upkeep. There really only exists 2 bedrooms that I consider to be anything like what may have existed 100 years ago with the original Baltic pine wall lining boards other rooms have been resheeted before my occupation. We have been responsible for 1 large renovation and 1 smaller one and tried to maintain the character of the original house with each project including the addition of the verandah along the south side (facing Murray road) while raising our 3 children here, one of whom still lives on the property in the adjoining cottage with her husband and 2 children. I will attach a copy of the last renovation from March 1993 with what I consider the remaining section from 100 years ago coloured .

While there was a part of the report taken up talking about the combining of the adjoining Lot 46C to make one larger 33 acre property all this reverted back to separate smaller lots in 1973 when it was again subdivided to its pre 1919 title boundaries.



While we do enjoy visiting Historic properties in Australia and overseas when we are able we just feel somewhat uncomfortable the our property has enough of the attributes that make it a worthwhile addition to the Heritage register and ask that it not be included as such.

We are available if you would like to visit the property any time to peruse and discuss what we have outlined here.

Regards









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Response No:  
55

Contribution ID: Email  
Member ID:  
Date Submitted: August 01, 2023

First Name

Last Name

Organisation

n/a

Email

Address

Details

Stage A - 07  
Objection



**SUBMISSION RE AMENDMENT C.149 to NILLUMBIK PLANNING SCHEME****(Application of the Heritage Overlay)****OBJECTION.****Specifically pertaining to** [REDACTED]**NAME** [REDACTED]  
[REDACTED]  
[REDACTED]**INTEREST:** [REDACTED]

[REDACTED] In addition, we live next door at [REDACTED] and our only access to any road is through [REDACTED]

1. **No site visit was completed by the Planning Authority (p.128)** however, this hasn't prevented the Planning Authority second guessing the built form's integrity and comparative analysis with recommendations to list the whole lot.

2. **INTEGRITY & Historical Context, Accuracy of Planning Authority and Privacy.**

[REDACTED] are supportive of **Mac's old Study** being listed as a Heritage building and also what is termed the **pise building (Harcourt)**, but both are compromised at present and have lost some integrity. The study in particular is in poor repair and we would need to be assured e.g., that if we replace the roof, we wouldn't have to go through a heritage assessment as the roof leaks. The **Pottery**, (never used as a Pottery) is doing its best to crumble back into the earth from whence it came, with leaks and very large cracks forming down both walls near the door threatening to fall outward (the wall and door). It was a cheap build and its not made to withstand time. [REDACTED] who lives in the house attached to it is on a Disability Pension and there is no appetite to try to salvage it gradually crumbling.

**The Study and Pise buildings were both stand-alone buildings and the dream would be to make them stand alone again with sympathetic new builds for living.** [REDACTED] remembers sleeping on hot nights in the open air "breezeway" between the Harcourt building and the old farmhouse but **Knox tacked on a very dark and pokey extension** that is not fit for purpose, with a tiny laundry, small bathroom and small bedroom and tiny kitchen.

NOTE: The Knox extension actually only ever had 1 single bedroom and was significantly compromised by a major (non-Knox) addition in the late 80's that joined it to the study and demolished the old Knox front door and entrance way. Part of this extension is wrongly attributed to Knox in the report and in the photos. A further filling in of the breezeway connecting the Pise (Harcourt) building took place in the early 1980's.



**Not surprisingly, none of this part of the Knox extension was photographed for this Heritage proposal.**

There are a number of other additions that are rather unsightly such as a hot water service plonked in the breezeway, asbestos piping to the north and solar fuse box and other fuse boxes added at the front. Solar panels are placed on the rusty corrugated iron roof of the extension, air conditioners are attached in various places, a water tank is installed to the north of the Knox living room, the Study roof leaks and the Study was poorly attached to the rest of the house in the late 80's (with another extension as earlier mentioned) and the old shingle (not tiles as has been assumed (p.128)) roof of the pise building was replaced with corrugated iron with an air conditioner installed on the east wall. The Pise building also houses an impossibly cramped shower and toilet, both needing to be made much bigger. No-one ever showers in the pise shower, as it was always too small and Katrine hated it from the start. (See attached photo's as examples.) There is no double bedroom.

**The Only photo's of the interiors of the 1959 Knox build in the Planning Authority documents, are Figure 16. Using a wide angle lense like a real estate agent of the only living/dining room (it is really, once again, of modest size and most would want to extend it in some way,) and Figure 15. which is described as the Gallery and entry of the 1959 extension.**

**No, it is not! It is in fact the extension my parents did when they moved in in the late 80's and is definitely not heritage and not Knox!** The source for this photo is listed as the Alistair Knox Foundation, which raises the question, what else has been embellished? How accurate is one of your key sources? This is particularly troublesome given the heavy reliance upon such documentation throughout this Heritage proposal given no site visit was undertaken.

The supporting documents quote from Mills & Westbrooke p.111, describing the study as a studio, and again quoting the Knox Foundation we are what we stand on p.115 it is described as a Studio. Even in the 2016 Revision (Mills & Westbrooke) p.79, they still get Mac's name wrong, it is Macmahon not McMahon (and again on p117) and the Study is still described as a Studio.

**It was never a studio, but always a study. This is confusing when the Pottery is also called a studio** at times e.g., p.117 photo caption. The family do not think it merits Heritage listing (as previously stated), and I note **no site visit was completed** p.117: so is this some sort of **AMBIT CLAIM?** The photo is, once again, from the Alastair Knox Foundation.

As many will tell you about **Alastair**, he was a big promoter of his stuff, but it is also well known that his earlier builds were not actually all that good, so it adds to my sense of unease about how it came to pass that the entire property is proposed to be Heritage listed. (An indication of the promotion of Knox is on p.80 of the 2016 Revision Document.)

On p.115 my grandmother is given the name [REDACTED] She signed her name with a letter [REDACTED] like a spy might do, but she was never Kay.

In addition, we [REDACTED] have all been named in this document (p.117) and had no warning that this would be so, and question why it be deemed appropriate to **breach our privacy** in this way? I served as a [REDACTED] and attempted (with others) to protect the Green Wedge with an updated ESO (Environmental Significance Overlay), thus making some enemies, some of whom were extremely threatening toward me in particular whilst I was in the Chair, displaying slitting the throat motions and pointing at me with an extremely loud and angry crowd, so therefore I value my privacy. As a consequence, I am concerned about the impartiality of the current Council as the Planning Authority.



### 3. Heritage to Title Boundaries and Planning Issues

Given the inaccuracies and concerns outlined above, and the fact that the proposal is for a **BLANKET COVERAGE OF a HERITAGE OVERLAY OVER 61/61A, to which we object**, I would like to quote a heritage specialist Dr James Lesh in Sunday Age July 2/2023 who says:

**"The 20<sup>th</sup> century has been rightly called the problem child of Heritage. Protecting the history of our suburbs requires new outlooks. "It's not as simple as identifying significant interwar and postwar streetscapes and houses and then instituting blanket heritage protections."**

**"New rules must empower residents to pursue their present-day version of the Australian dream. They must also allow densification such as subdivisions and apartments ..and environmental upgrades ."**

Blanket heritage cover, while not precluding subdivision, will, in effect make it very difficult because a) subdivision will have to occur ( see below) b) the house at 61 is very narrow but long traversing most of the width of 61 and the road access ( see supporting documents ) means the least invasive way to subdivide ( thus saving the old gum trees to the west of the Study) would be to cut a line through part or all of the 1959 Knox extension and reimagining the Pise room on one block and the old Study on the other. The family was hoping to be able to divide the property fairly between us and care for these Heritage worthy buildings in a sensitive way.

Ironically, if the whole property (5,735 sq m) has a heritage listing slapped on it, it may force a 4 generation Eltham family to sell and leave rather than sympathetically subdivide the land in keeping with its Heritage values, enabling the younger generation who are unlikely to be able to afford a property of their own, to continue to be connected to the area and its history. If sold as a whole, property developers, even with heritage constraints, are likely to be much less sympathetic, and potentially quite averse to preserving heritage. A lose lose outcome.

**The initial Plan of Subdivision that cut off our block is registered with the Titles Office (see attached) and shows a road to be built into the property to give our place (71) legal access.**

Our designated number of 71 is **indicative of the blocks that the State Government envisages** ought to be formed on this property and **for which the Rates have been based for decades**. It has always been in a Residential Zone of one sort or another as it lies in the old grid pattern of Eltham. See pp112-114)

**The missing Blocks are 65,66,67,68,69 and 70.**

### 4. Strategic Assessment of the Amendment and Ministerial Direction

The above begs the Question the Planning Authority asks itself but doesn't answer, namely **" How does the amendment implement the objectives of planning in Victoria?"**

**"Section 4 (1) (a) to provide for a fair, orderly, economic and sustainable use and development of land."**

Answer = it doesn't.

**"Section 4(1) (g) to balance the present and future interests of all Victorians."**



Answer= it doesn't.

The Strategic Assessment goes on to ask "Does this amendment comply with the requirements of any Ministers Direction applicable to the amendment?"

**1.4.1 Recognise the value of heritage when managing growth and change.**

**1.4.2 Stimulate economic growth through Heritage conservation.**

The Minister is clearly wanting to see growth and change, but this blanket coverage of an entire property and all its buildings would not allow for growth and change given the difficulties outlined above for the family to subdivide the property into the minimum block numbers as envisaged by the Victorian Planning Scheme if the Local planning Authority goes ahead with this Overlay as it stands.

At no stage would the property become a place of interest for research and be open to the public thus stimulating economic growth: these are private dwellings, not Montsalvat.

#### **5. Nillumbik Gap Study and the broader planning issues.**

The State Government is needing to find places for **infill housing in existing suburbs** with good amenity and access to public transport and parks.

The **Urban Growth Boundary** will inevitably continue to be pushed out given our high migration intake (not the subject here) but to place prohibitive restrictions on the land in question **would fly in the face of the broader strategic direction** of the State Government to keep the UGB in place, particularly recognizing Nillumbik as having the most intact Green Wedge Zone remaining with many critically endangered orchids and small mammals ( phascogales ) and the Powerful Owl etc all relying on the integrity of the bush to Eltham's north and north east.

#### **6. Significance level and Place History.**

The proposal determines this whole block as "significant" if it has "cultural" significance which is perplexing as under the **HERCON** criteria, it was decided by the Planning Authority not to use 2 of the Criteria, (B & H) and B is about rarity, H is about the special association of a person or group and their importance in our history (associative significance) 3.6 Draft Report Nillumbik Revision 28/04/22.

Why then, have you based your argument for inclusion on this Register, upon my grandfather's significance in the local community? (Comparative analysis of Place History p121-122 and Comparative Analysis of Integrity pp128-9)

In your analysis of

**PLACE HISTORY, a direct association seems to be enough to register built form, however altered or of poor quality when built, as long as there is 'associative significance' (eg p.129). And yet, Associative significance was specifically precluded? (3.6 of Draft Report 28/04/22)**

In addition, Mac Ball is **already remembered** with **Macmahon Ball Paddock** named after him on **land he donated** to the Council and the Friends group is organizing a memorial plaque outlining his life and work. (see p.122) (See Attached Vic Government Planning Property Report p.1 showing the **Paddock as a PCRZ** ).



**Criterion A (historical significance)** talks more about a pattern of our cultural history and yet the analysis is all based on the individual “associative” significance of Mac and Knox etc to mount a case for listing this specific place.

If our family history is to be laid bare, would it not be considered reasonable to expect that the Planning Authority consult with the family?

**Who’s history?** If history is written by people who have never engaged with the source, then how accurate is it going to be? What value does it have? Eg p.128 you state that Mac wrote many books “presumably working on many of these from his desk in the study”

**Wrong: He never used his study to write a) he was not able to be heard if he wanted K to feed/water him: he was a terribly spoilt man b) it was often very cold with only a fire place and they mainly had fires in the main living area. c) He used his rooms at Melbourne University.**

Using Mac’s life as a reason to preserve all of his house ( as it is now ), in effect another much newer house built in the late 80’s attached to a crumbling remnant that is “The Pottery”, and the huge block of land, when land is already donated, is frankly an overreach and if it was ever to be justified this Planning Authority needs to think about what culture they really want to preserve, because the men listed were mostly deeply flawed human beings, some of whom left a trail of destruction in their private lives, so to try and attach a “cultural” significance linking these men to place is deeply problematic. It was a time when many had lovers and the wives and offspring suffered. You don’t hear of these things when you draw your sources from the Alastair Knox papers and official Biographies. The integrity and function of the built form is also important of course, along with accuracy.

**The 1959 Knox Extension, is just that, an extension (see p.127 Fig 16) It is not a full house and it is not a good example therefore, of a Knox house.**

As the document attests, **Knox was prolific** and many good examples of **whole build houses** exist of his work, in many cases with **more integrity** than this extension. (p.123)

#### **Conclusion**

1. There is nothing to preclude the Planning Authority from listing a **part of or portions** of a dwelling, particularly in this case where support is to be had from the descendants of the original owners, for a listing **for Mac’s Study (Knox) and the Harcourt Pise Building** as the places of interest worthy of preserving if possible.
2. **The Knox extension** is an extension and therefore not a good example of a Knox house and it compromised the integrity of the Harcourt building, is not fit for purpose, lacks integrity and has been itself added to which has further eroded its function and integrity. In addition, the only feasible way to subdivide the property into the allotments as envisaged by the State Government would necessitate at least a partial demolition of the Knox extension (that portion not photographed anywhere in the Planning Authority documentation.)  
The lots are numbers **65,66,67,68,69 and 70.**
3. The **extent of the Overlay proposed “To title boundaries”** is a gross overreach of the Planning Authority **and in breach of the broader strategic direction of the State**



**Government** to see housing infill in existing suburbs and it fails to “manage growth and change” as per the Ministerial direction. Although the Planning Authority may argue subdivision would still be possible, it would prove problematic for the reasons earlier outlined and would place an unnecessary burden and many hoops and costs to boot upon the current and future custodians of this land.

4. **The Pottery** is falling down and for various reasons outlined earlier it ought to be deleted from the listing along with the house attached to it built in the 80's.
5. **The late 80's extension** to the '59 extension ought not be Heritage listed either (erroneously photographed as 1959 Knox) for the obvious reason and also the other reasons earlier outlined.
6. The **HERCON Criteria** is problematic for reasons already outlined and there is inaccuracy and second-guessing throughout the Document both about the built form and also the people who were involved, which leaves a sense of unease about the whole intent and purpose of this blanket Overlay proposed. The Planning Authority is **simply not accurate** in much of its assessment.

Who are the Planning Authority wanting to memorialize?

The buildings and the people who built them, or the Place where great men talked about international politics? If it's the former, the **listing of Mac's Study (Knox) and the Harcourt Pise Building is sufficient**, if the latter, his daughter [REDACTED] is adamant Mac has already been **remembered by the Paddock Mac donated (see Planning Property Report Attached p.1 zoned PCRZ)** being named after him later (and numerous ways external to Nillumbik) and now the **proposed Heritage Overlay on his Study**. Whose history are we preserving and who wrote that history? Or is history, a story, to be imposed upon the land without the descendants having a voice? This whole “cultural” assessment needs a rethink. Much of the past was not pretty and remains unsaid.

7. **Breach of Privacy and ramifications.**

As already identified.



*The front of [redacted] showing 1959 Knox Extension onto Harcourt building  
with further "infill" in 80's of "breezeway", solar panels,  
fuse box & laundry window*





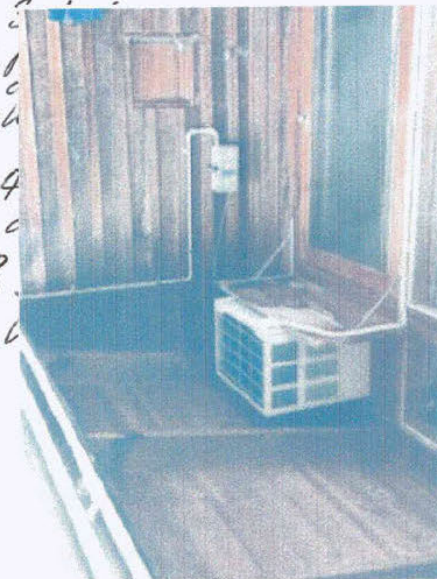
Air-Conditioner & Pool  
wiring - northern Knox extension



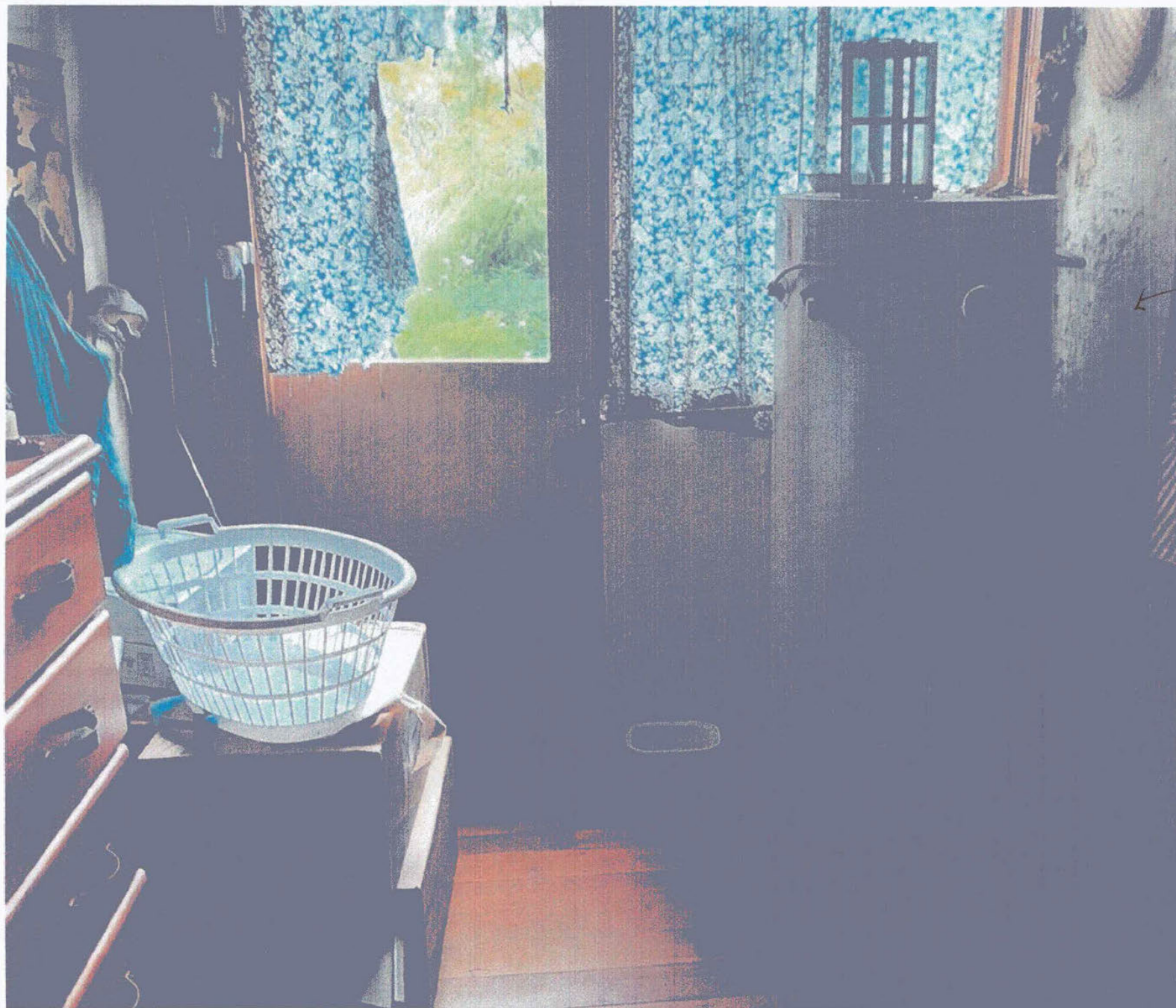
Air-Conditioner  
east wall, Rise (Harcourt)  
building



A 2  
is  
in  
ph  
A 4  
is  
to  
of

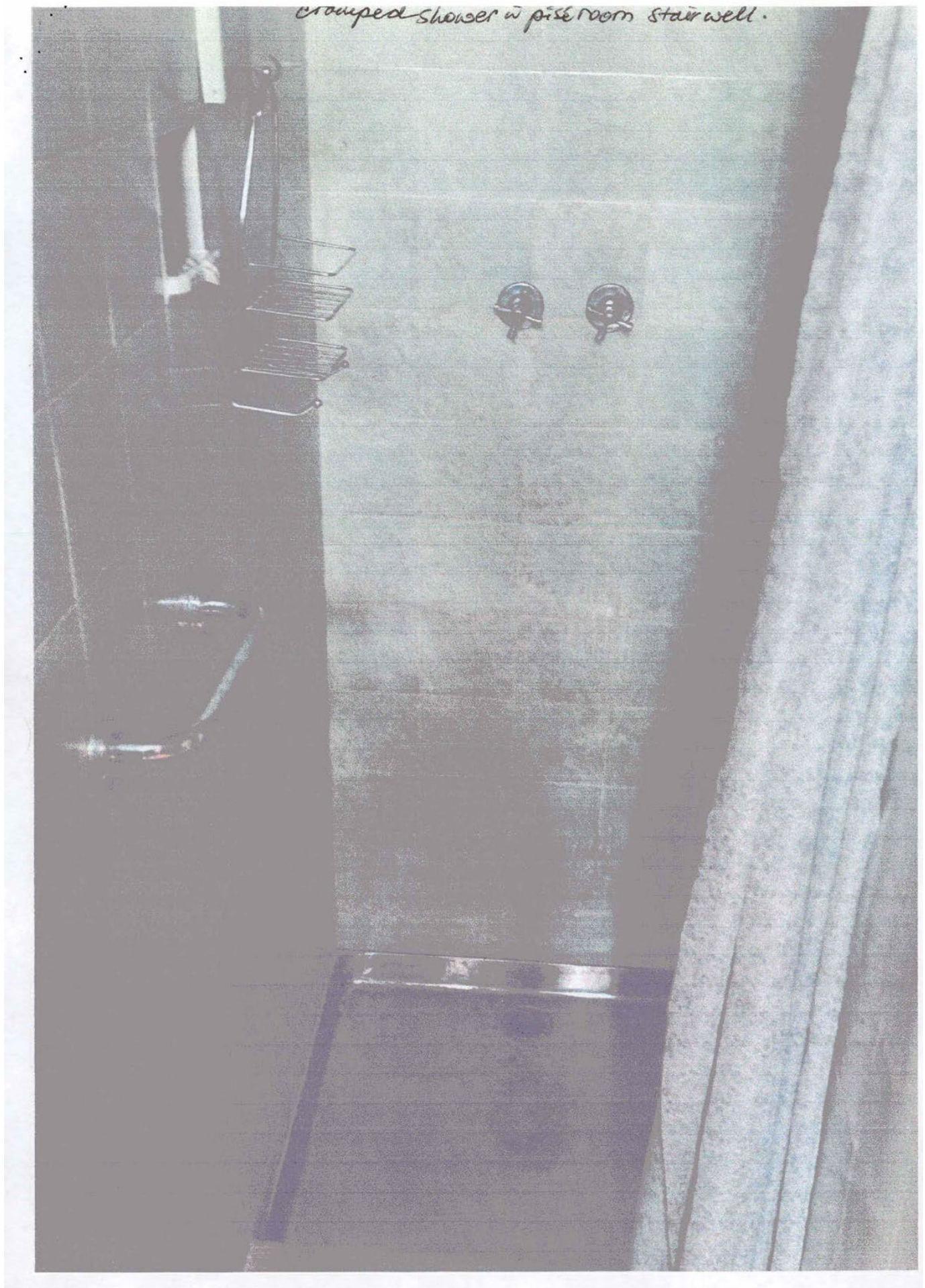




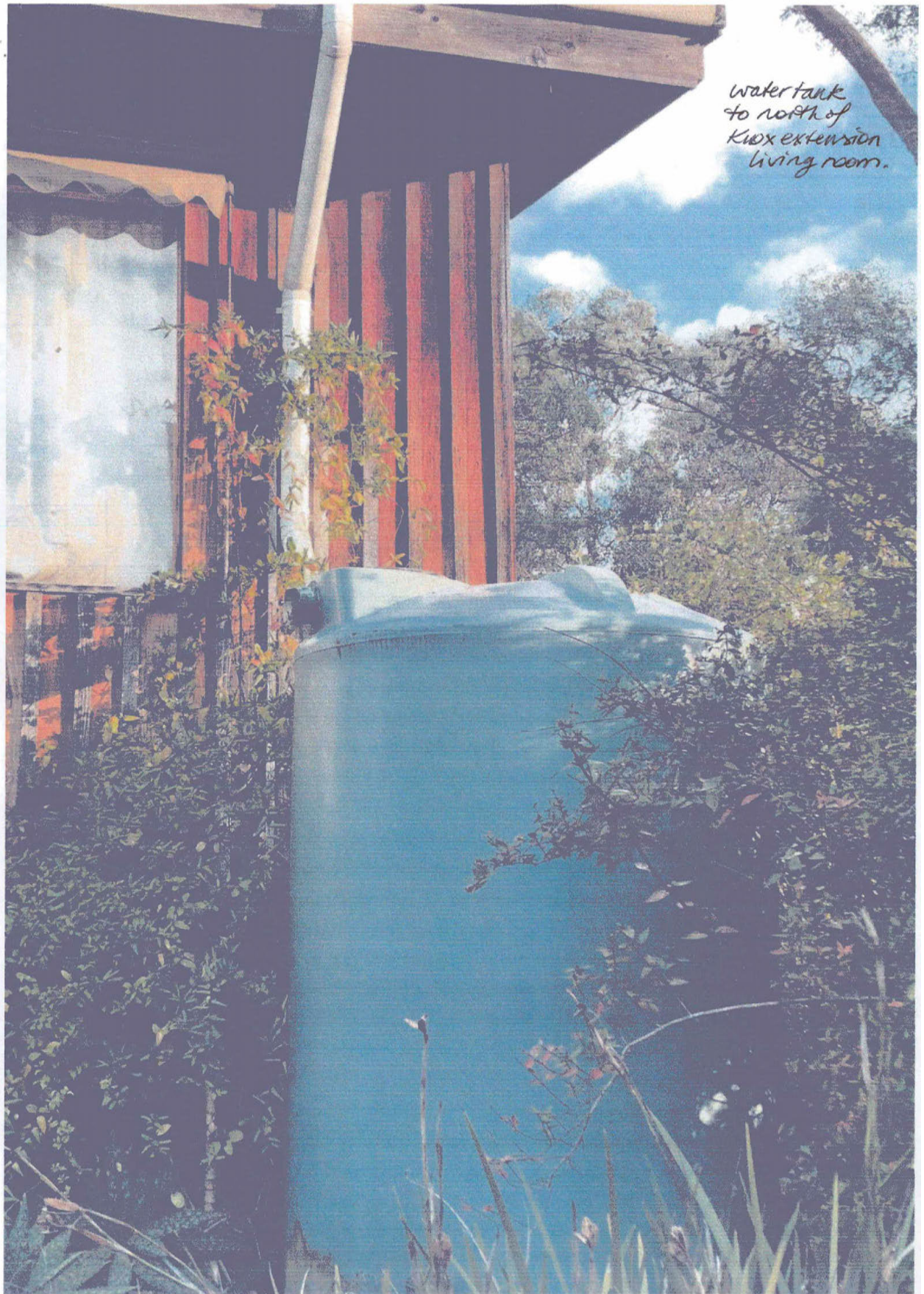


Internal  
breezeway  
showing  
pise  
wall  
with  
hot water  
service  
& added  
doorway  
(80's)

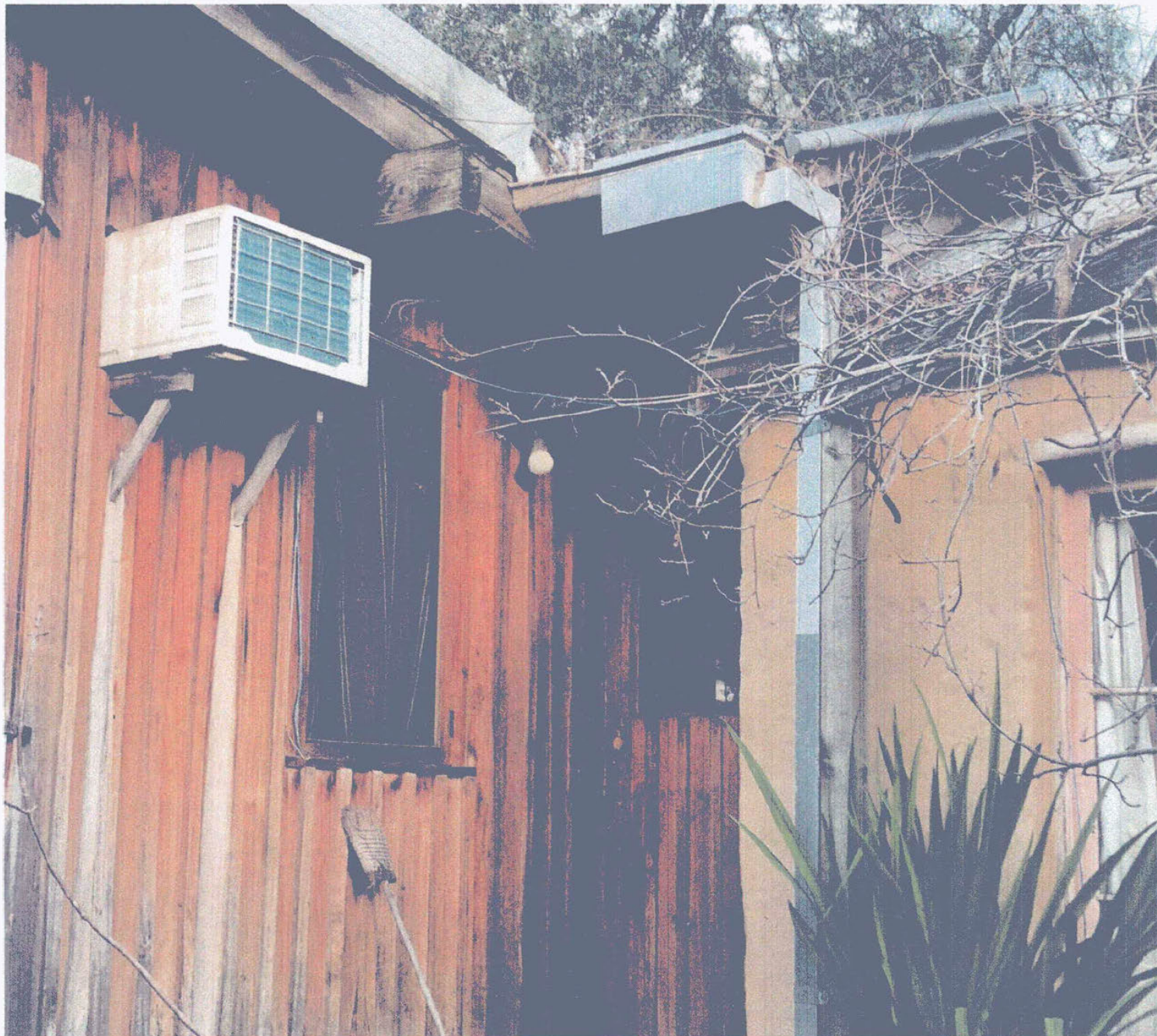






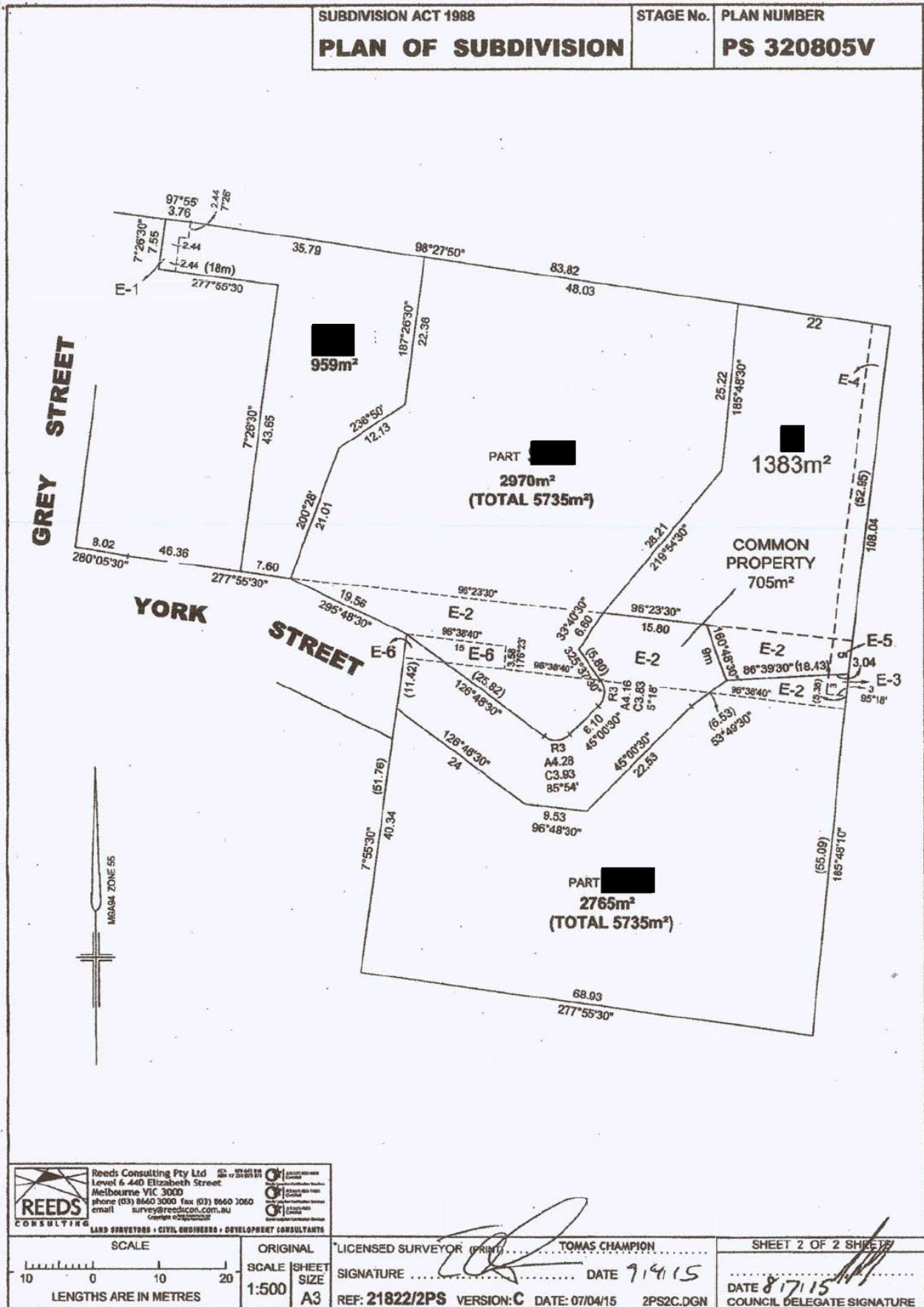






Where the  
old study  
is  
attached by  
late 80's  
extension.







## PLANNING PROPERTY REPORT



Environment,  
Land, Water  
and Planning

From [www.planning.vic.gov.au](http://www.planning.vic.gov.au) on 02 January 2019 02:04 PM

### PROPERTY DETAILS

Address: [REDACTED]  
 Lot and Plan Number: [REDACTED]  
 Standard Parcel Identifier (SPI): [REDACTED]  
 Local Government Area (Council): **NILLUMBIK**  
 Council Property Number: **194471**  
 Planning Scheme: **Nillumbik**  
 Directory Reference: [REDACTED]

[www.nillumbik.vic.gov.au](http://www.nillumbik.vic.gov.au)

[planning-schemes.delwp.vic.gov.au/schemes/nillumbik](http://planning-schemes.delwp.vic.gov.au/schemes/nillumbik)

### UTILITIES

Rural Water Corporation: **Southern Rural Water**  
 Melbourne Water Retailer: **Yarra Valley Water**  
 Melbourne Water: **Inside drainage boundary**  
 Power Distributor: **AUSNET**

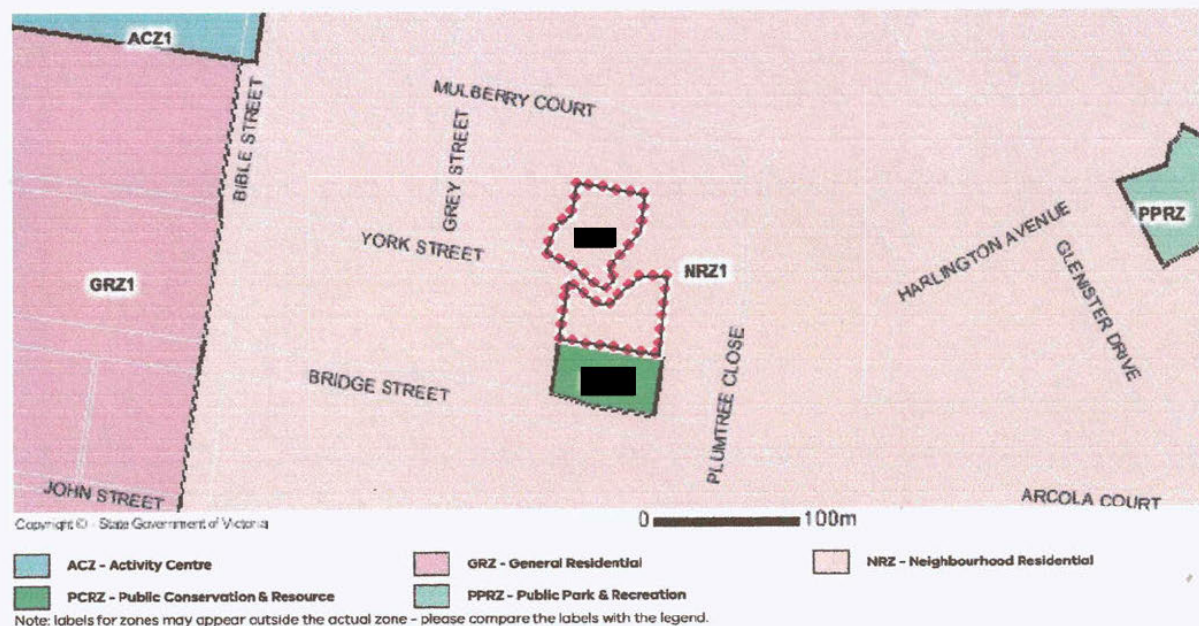
### STATE ELECTORATES

Legislative Council: **EASTERN METROPOLITAN**  
 Legislative Assembly: **ELTHAM**

### Planning Zones

[NEIGHBOURHOOD RESIDENTIAL ZONE \(NRZ\)](#)

[NEIGHBOURHOOD RESIDENTIAL ZONE - SCHEDULE 1 \(NRZ1\)](#)



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Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic).

PLANNING PROPERTY REPORT: 61A YORK STREET ELTHAM 3095

Page 1 of 4



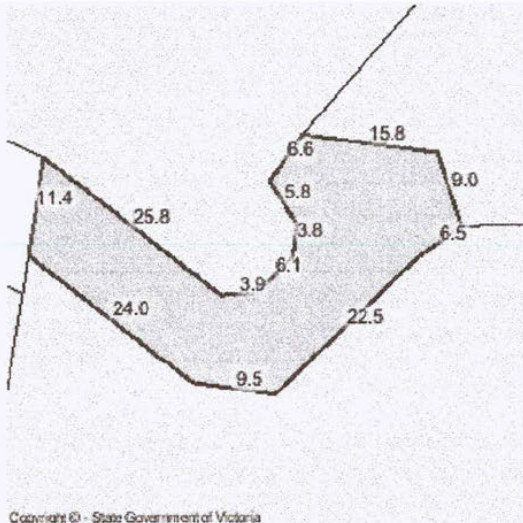
**Land**  
vic.gov.au

## Property Report from [www.land.vic.gov.au](http://www.land.vic.gov.au) on 15 February 2010 01:41 PM

Address: [REDACTED]  
 Lot and Plan Number: Lot CM [REDACTED]  
 Standard Parcel Identifier (SPI): [REDACTED]  
 Local Government (Council): NILLUMBIK Council Property Number: 188518  
 Directory Reference: Melway [REDACTED]

### Site Dimensions

All dimensions are approximate.



Area: 705 sq. m  
 Perimeter: 152 m

For this property:

— Site boundaries  
 — Road frontages

Dimensions for individual parcels require separate search, but dimensions for individual units are generally not available.

For more accurate dimensions get copy of plan at  
[Title and Property Certificates](#)

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### State Electorates

Legislative Council: EASTERN METROPOLITAN (2005)

Legislative Assembly: ELTHAM (2001)

### Utilities

Rural Water Business: Southern Rural Water

Metro Water Business: Yarra Valley Water Ltd

Melbourne Water: inside drainage boundary

Power Distributor: SP AusNet (Information about [choosing an electricity retailer](#))

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61-YORK-STREET-ELTHAM-DETAILED-PROPERTY-REPORT

**Victoria**  
The Place To Be

Page 1 of 2



**Land**  
vic.gov.au

### Planning Zone Summary

**Planning Zone:** RESIDENTIAL 1 ZONE (R1Z)

SCHEDULE TO THE RESIDENTIAL 1 ZONE

**Planning Overlay:** SIGNIFICANT LANDSCAPE OVERLAY (SLO)

SIGNIFICANT LANDSCAPE OVERLAY - SCHEDULE 3 (SLO3)

Planning scheme data last updated on 11 February 2010.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State, local, particular and general provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting Planning Schemes Online

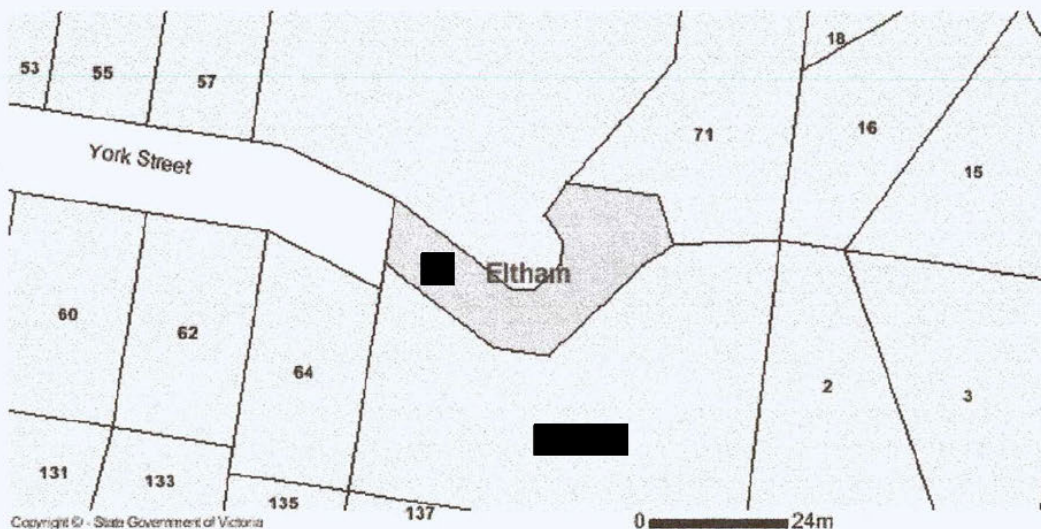
This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the Planning & Environment Act 1987.

To obtain a Planning Certificate go to Titles and Property Certificates

To view planning zones, overlay and heritage information in an interactive format visit Planning Maps Online

For other information about planning in Victoria visit www.dpcd.vic.gov.au/planning

### Area Map



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S1-YORK-STREET-ELTHAM-DETAILED-PROPERTY-REPORT

**Victoria**  
The Place To Be

Page 2 of 2



Response No:  
6

Contribution ID: 21936

Member ID:

Date Submitted: July 20, 2023

First Name

Last Name

-

Organisation

n/a

Email

Address

Details

Stage A - 13

Objection



20-Jul-2023

To whom this may concern,

We are writing a submission in relation to the letter we have received regarding **Amendment C149nill - application of the Heritage Overlay**.

We are writing this submission in opposition of the introduction, based on the following grounds.

1. The original house is in substantially altered form.
2. The original land owned by the Smith Family has since been subdivided (CT:V2182 F385; Greensborough Parish Plan).
3. Exterior cladding and corrugated roof are dilapidated and need replacing.

The original house owned by the Smith Family currently exists in extremely poor condition and a substantially altered form. The c1903 house is barely recognisable since the addition of the front verandah (which has changed the front facade), rear gabled section and the side garage. Furthermore, a new window opening is provided on the west elevation of the home, all window and door joinery on the primary elevation have been replaced and there is no chimney remaining. All of these changes compromising the integrity of [REDACTED].

The Smith Family originally owned Crown Allotment 1, approximately 20 acres which in 1974 was subdivided into two lots, with only the larger lot being retained by the Smith Family. The smaller lot of the subdivision is currently known as [REDACTED] (approx. 2,022m<sup>2</sup>). Historical context has prominently been based around the land and the significance of farming, and yet the biggest portion of Crown Allotment 1, being 19.5 acres (currently [REDACTED]), is not subject to the heritage overlay.

Stated within **Background Doc Stage A Heritage Study Report**, "Built for different members of the Smith family as the family expanded over time, [REDACTED] are a good example as a grouping of farming properties associated with one family." Although the property in discussion was owned and inhabited by the Smith Family, the land on which the farming occurred is not on the land in which [REDACTED] today resides. As mentioned, it is important to note that the larger parcel of land that was used for farming by the Smith family does not have a heritage overlay.

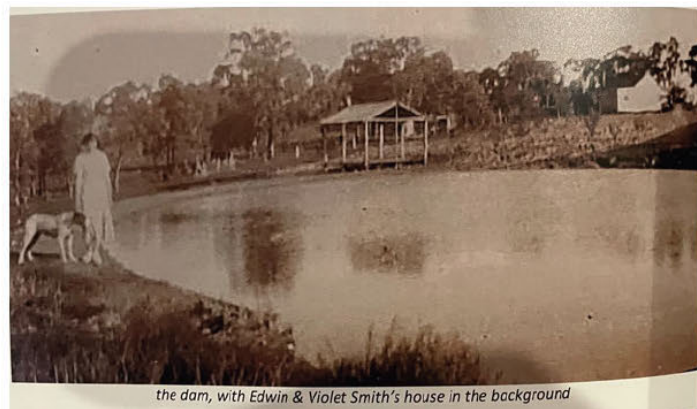


Figure 1. To the left is an aerial photograph displaying the approximate boundaries of the land owned by the Smith Family prior to the subdivision (in green dotted line) and today's [REDACTED] (highlighted in red). Above is a photograph of the dam used to provide water for irrigation for vegetables and orchards, which was essential to farming for the Smith Family.



20-Jul-2023

Referring to Figure 1, the dam pictured was essential to farming carried out by the Smith Family. This dam is not located on [REDACTED] and removes any discussion that the current property was important for farming for the Smith Family.

Whilst the c1903 house remains, the rear wing with skillion and gabled roofs are truly the only section of the 'original' house that is left. Although it still remains, the exterior weatherboard cladding of the rear wing as well as the corrugated skillion and gabled roofs are in terrible condition and need replacing. The original exterior cladding is rotted through and pieces of the rear wing are missing (refer to figure 2). The corrugated skillion and gabled roofs are extremely rusted, with holes in various places.



Figure 2. The original weatherboard cladding (circled) can be seen in terrible condition, missing pieces in various locations. The gabled roof is extremely rusted, with holes throughout.

The houses located at [REDACTED] are in immaculate condition and recognisable when compared to the older photographs taken of the properties back in the early 1900s that are included in **Background Doc Stage A Heritage Study Report**. Unfortunately in the condition 191 Cherry Tree Road currently sits, what remains of the property is not recognisable in its original design as Edwardian timber and it no longer sits on agricultural farming property, which is an important aspect of the introduction of a heritage overlay on this property.

The exterior of the dilapidated and extremely altered property paired with the fact it is located on half an acre of the original allotment clearly undermines the authenticity of Smith Family history and the potential for a heritage overlay on [REDACTED].

We appreciate the opportunity to provide a submission to the potential introduction of **Amendment C149nill** on our property. As discussed throughout, the way the property currently sits does not warrant a heritage overlay.

Kind regards,

[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]



Response No:  
7

Contribution ID: Email

Member ID:

Date Submitted: August 01, 2023

First Name

Last Name

n/a

Organisation

Email

The Secretary

Address

Details

Stage B - 18

Objection





## ARTHURS CREEK CEMETERY

CEMETERY ROAD, ARTHURS CREEK VIC 3099

SECRETARY: [REDACTED]

1<sup>st</sup> August 2023

Planning Department  
Nillumbik Shire Council  
Via Email

RE: Nillumbik Planning Scheme  
Notice of Preparation of an Amendment  
Amendment C149 Nill-Application of the Heritage Overlay

Our points are as follows:-

1. We have been advised that the Council does not have jurisdiction over the Arthurs Creek Cemetery, as it is located on Crown Land. We have asked for clarification from the Department of Health, Cemeteries & Crematorium Section.
2. The Trust has operated the cemetery for over 150 years, with history and heritage being a key focus. We do not believe that the putting a Heritage Overlay over the cemetery is in the cemetery's or the locals best interest.
3. The poor standard of the 'cut and paste' documentation with its errors and inaccuracies does not bode well for council insight. These errors indicate that there was no Council attendance at the cemetery prior to this report being done. It is disappointing that the expenditure allocated for this exercise could have been far better allocated to more important and urgent matters.

It is acknowledged though that council has addressed the entrance road and vegetation/declining cypress.

4. We see no value in your proposal.

If there are funds available we would be more than happy to accept them to further our duty to maintain our Cemetery, established in 1847 and one of the oldest cemeteries in Victoria.



[REDACTED]  
Secretary to the Trust

Email: [REDACTED]



Response No:  
8

Contribution ID: 23315

Member ID:

Date Submitted: Aug 01, 2023, 05:07 PM

Q1

Long Text

Type your submission to C149nill Heritage Review in the box below. If you are referencing a particular location or heritage place, please provide the full address.

Attention: [REDACTED]

RE: (Partial) Objection to the Planning and Environment Act 1987 NILLUMBIK PLANNING SCHEME AMENDMENT C149NILL to implement the recommendations of Nillumbik Shire Heritage Review Stages A & B and apply the Heritage Overlay as pertains to the property listed as [REDACTED] (Macmahon Ball house and study)..

Dear [REDACTED]

I would like to submit this partial objection to the proposed planning scheme amendment C149NILL as it pertains to [REDACTED]

#### Background

I am a part owner of the property in question, and a grandson of Macmahon Ball. No one appreciates the historical significance of the Macmahon Ball property more than his descendants, who have over the years made sympathetic changes - so sympathetic that they have confused the assessment team who have included photographs of contemporary additions, wrongly attributing them to Alistair Knox. It is greatly distressing therefor to find that the entire property is listed for a heritage overlay, the practical implication of which is that the entire property will have to be sold out of the family and the 4th generation connection to the history and culture of the region will be lost. It is neither necessary, nor consistent with the Planning and Environment Act 1987 to do this.

#### Planning and Environment Act 1987 NILLUMBIK PLANNING SCHEME AMENDMENT C149NILL EXPLANATORY REPORT

The property described as [REDACTED], encompasses the only access to another property, namely [REDACTED] (a house). The [REDACTED] subdivision was approved as part of a staged subdivision in the early 1990s not mentioned in the report. [REDACTED] has a current area of 6440m2 but is separated into 2 distinct parts, on either side of a proposed road reserve and is jointly owned by 3 descendants of Macmahon Ball, 2 of whom are resident. A fourth descendant owns number [REDACTED], but has no share in [REDACTED]

The proposal would place a heritage overlay on two, 2-bedroom houses, both of which are impractical dwellings, on a total land area of 6440m2 making subdivision difficult, if not impossible, in an area where lot sizes are usually under, if not well under, 1000m2. It is hard to see how this utilisation, coupled with the access issue for number [REDACTED] satisfies Section 4(1) (a) of the Planning and Environment Act 1987: - to provide for the fair, orderly, economic and sustainable use and development of land.

#### How does the amendment address any environmental, social and economic effects?

If the property of [REDACTED] street can no longer be sympathetically subdivided for future generations, the practical effect for this property, jointly owned by descendants, is that it will have to be sold as a whole with the next generation of descendants unable to live in the area.

This is contrary to the stated aims of the proposal's Social and Economic Effects: That the amendment is anticipated to have positive social effects through the recognition and protection of sites of heritage significance, for the benefit of current and future generations. This will benefit the community by improving the understanding of local cultural history and thereby contributing to sense of place and local identity. The amendment also has the potential to enhance the special character of some areas.

#### Does the amendment comply with the requirements of any Minister's Direction applicable to the amendment?

There appears to be an overreach. It is not clear why it is necessary to create a 6440m2 overlay to protect a couple of small dwellings. Furthermore, this overlay may make the practical adaptation of the site to modern requirements very difficult. In particular, this contravenes the directive 4.4.3 (Stimulate economic growth through heritage conservation).

Furthermore, the younger generation of descendants have a close connection with the site, and have grown up with the stories passed on by their grandparents, from their great-grandparents. The practical implication of an overlay over the entire property, is that this connection is likely to end, against the spirit of directive 4.4.4 (Protect Melbourne's heritage through telling its stories)

#### Proposal



I support:

- Partial heritage overlay on the Harcourt building (for reasons outlined in the Statement of Significance)
- Partial heritage overlay on the Macmahon Ball study designed by Alistair Knox, 1948 (for reasons outlined in the Statement of Significance)

However, the 1959 Harcourt building extension, Alistair Knox building project 252, was partially demolished in the late 1980s, with the old entrance, second bedroom and veranda taken down and replaced. The modification, which attached the previously free-standing study to the rest of the building, was so sympathetic that the heritage assessors apparently confused it with the original dwelling and included a photo (Fig 15) claiming it was part of the Knox building. The breezeway was also filled in in the 1980s. What remains of the 1959 building is essentially an extension, including one-bedroom. Not photographed is the remaining single bedroom and tiny inadequate kitchen. In other words, we support a heritage overlay on Alistair Knox's 2nd building (the Study), but not what remains of his 252nd project, much of which is sub-standard. The Statement of Significance, which mentions the 1959 main portion of the house, inclusive of its original built form, therefore needs to be clarified.

I request:

- What remains of the 1959 Harcourt Building extension (Alistair Knox project 252) be removed from the overlay for the reasons outlined above.
- Also, the remainder of the land area, including the largely vacant land in the southern section of [REDACTED] should not be subject to this overlay. Most of this area cannot even be seen from the proposed protected dwellings and no justification for its inclusion has been provided.

And also

- That the interior photograph shown as Figure 15 relating to the Macmahon Ball House and Study in the C149nill Background Doc Stage A Heritage Study Report – Context be removed because it is incorrectly identified as depicting part of the 1959 building whereas it was a recent extension.
- That Figure 16 and 17 be removed, as they are interior photographs of the house that have been taken without permission (as was Figure 15 also). While I have no objection to these being viewed in hardcopy off line, they should not be on public display, as this is a breach of privacy.

As someone who grew up in Eltham I feel passionate about protecting its cultural heritage, and am glad that Council is taking important steps to do so. But this proposal for [REDACTED] is inaccurate and its implementation, in its current, blanket, form, would be counterproductive - making the property no longer viable for future generations. This would be contrary to the otherwise sound intentions of amendment C149NIL. By reducing the scope of the overlay, it would actually enable a better, and more viable preservation of the site.

Regards,

[REDACTED]

1st August 2023

PS Also, as an aside, as a part owner, I did not receive any notification of this amendment, only hearing via family connections recently, which has impacted my ability to formulate a response.

Q2 First Name

Short Text

[REDACTED]

Q3 Last Name

Short Text

[REDACTED]

Q4 Email

Email

[REDACTED]

Details

[REDACTED]

Stage A - 077  
Objection



Response No:  
9

Contribution ID: 23267

Member ID:

Date Submitted: Jul 30, 2023, 02:21 PM

Q1

Long Text

Type your submission to C149nill Heritage Review in the box below. If you are referencing a particular location or heritage place, please provide the full address.

This submission relates to the application and implementation of the proposed Heritage overlay as it relates to [REDACTED]

As the owner of [REDACTED] I support to inclusion of the property in the HO but submit that the following changes should be made:

1. The Statement of significance should be revised to provide a clear and accurate basis for implementing the HO and background documents should be updated accordingly to reflect information provided since the Stage A study, which was a desktop assessment. Revisions should accord with the Gard'ner tracked changes version of the Draft Citation (attachment 2), including references to:

? the remnants of the Gordon Ford landscape design under "What is significant", "How is it significant?" and "Why is it significant?"

? the Eltham Style and furniture should be deleted.

2. The extent of the cartilage of the HO275 should be reconfigured, as recommended by Jim Gard'ner of GMH Heritage, to protect the elements of the place that are of heritage significance, i.e. the house, carport, and remnants of the Gordon Ford garden with an appropriate approach and setting.

I am emailing a full submission to [REDACTED]

Q2

First Name

Short Text

Q3

Last Name

Short Text

Q4

Email

Email

Details

Stage A - 03

Support with changes



## 1 Introduction

### 1.1 What is proposed?

Amendment C149 proposes to include [REDACTED] to the Heritage Overlay (HO275 [REDACTED]). The carport would not be exempt from permit requirements and solar system controls would apply. It is not proposed to apply external paint, internal alteration or tree controls. The *“Statement of Significance: [REDACTED], Eltham, June 2021”* would be a C172.04 Incorporated document and the following C172.08 Background documents are proposed:

- Nillumbik Shire Heritage Study - Stage A (Context, 2021)
- Nillumbik Shire Heritage Study - Stage B (Trethowan, 2022)
- Nillumbik Gap Study Stage B - Thematic Environmental History Post-war Update C149 (Trethowan, 2022)
- Nillumbik Shire Thematic Environmental History Revision 2016 (Nillumbik Shire C149 Council, 2016)

### 1.2 Scope of Submission

This submission relates to the application and implementation of the proposed Heritage overlay as it relates to [REDACTED]

As the owner of [REDACTED] I support to inclusion of the property in the HO but submit that the following changes should be made:

1. The Statement of significance should be revised to provide a clear and accurate basis for implementing the HO and background documents should be updated accordingly to reflect information provided since the Stage A study, which was a desktop assessment. Revisions should accord with the Gard’ner tracked changes version of the Draft Citation (attachment 2), including references to:
  - the remnants of the Gordon Ford landscape design under “What is significant”, “How is it significant?” and “Why is it significant?”
  - the Eltham Style and furniture should be deleted.
2. The extent of the curtilage of the HO275 should be reconfigured, as recommended by Jim Gard’ner of GMH Heritage, to protect the elements of the place that are of heritage significance, i.e. the house, carport, and remnants of the Gordon Ford garden with an appropriate approach and setting.

### 1.3 Background

#### Heritage Study Process

In 2019 a review of studies was undertaken in Nillumbik identified 77 properties as appropriate for assessment. In October 2020, Council engaged Context (now GML Heritage) to undertake the Nillumbik Heritage Review Stage A (the Study), with priority accorded to properties identified under ‘citation to be prepared’ in a 2019 review. The Part A Study identified [REDACTED] was one of 22 properties identified as meeting the threshold for inclusion in the HO for which Draft Citations were prepared.

The Nillumbik Heritage Review: Stage B encompassed three main elements:

1. Review draft citations and prepare final citations of potential heritage places.



2. A Gap analysis of post-war and late twentieth century periods, focusing in particular on the Eltham Style and post-war housing development.
3. An update of the Thematic Environmental History to support the inclusion of postwar heritage in the HO. It is noted that the Nillumbik Gap Study Stage B - Thematic Environmental History Post-war Update (Trethowan, 2022) lists the date of various post WW2 "milestones" and has a strong emphasis on the "Eltham Style" of residential development.

The report to Council relating to the Heritage Review and authorisation of Amendments to implement the Study recommendations commented:

*In Stage A, 4 property owners accepted the offer and for Stage B it was 9. The low uptake of the offer of a visit is commonplace in relation to heritage protection activities where many owners consider the identification of heritage significance (for various reasons) is not warranted.*

*37. The 35 properties in Stage B for which draft citations had already been prepared, were given the same opportunity of a visit when that initial work was undertaken.*

As an owner of one of these properties:

- I received a letter advising of the Stage A study. Despite multiple attempts to contact both the relevant Council officer and the consultants preparing the Study, I did not receive any response, a site visit did not occur, and the consultants relied on a desktop analysis. Covid appears to have compromised the rigor of assessments, particularly for places such as [REDACTED] which are not visible from the street.
- I did not receive further advice regarding a site inspection during Stage B of the Study. This was despite a development application being in progress (see below) and multiple Council officers /consultants undertaking site visits. Three representatives of GML Heritage did undertake an inspection of [REDACTED] on 8 June 2022 and were provided with full access to the property (inside and outside) and to original plans.

Despite further information being provided, site visits and some change in the view of the Study authors relating to the heritage significance of the garden/ponds at [REDACTED], the citation and background document have not been revised in the exhibited documentation.

#### **Development Application Permit Application 1230/2021 /03P (the Application)**

The Application to construct to construct a second dwelling, associated vegetation removal and subdivision of the land into 2 lots was lodged 9/12/2021. It provides useful information relating to the heritage values of [REDACTED].

The Application foreshadowed my support for the inclusion of my property in the HO. It included advice from a highly reputable heritage expert, Jim Gard'ner of GJM Heritage, which provided tracked changes to the Draft citation to correct errors and identified an appropriate curtilage to protect the heritage values of the property. His "letter of advice" (attachment 1) provided a more detailed assessment than the Draft citation, although it did not include a site visit due to Covid constraints at the time. This advice included a tracked changes version of the Draft Citation (attachment 2). In preparation of the VCAT hearing (which was withdrawn), a further letter of advice (attachment 3) was obtained from Jim Gard'ner who inspected the property and also viewed the original plans. His second letter of advice confirmed his earlier assessment. The substance of advice is referred to later in this submission.



Impacts on the potential heritage values of the place being were raised in two objections to the Application, which stated:

1. *The proposed subdivision is inconsistent with Clause 15.02-1S (Heritage Conservation) and will eliminate original remnant canopy trees along the ridgeline the property, which has been recommended for protection with a significant cultural heritage overlay to the full boundaries and has been cited as potentially significant at the State level.*
2. *The proposed subdivision is inconsistent with Clause 15.02-1S (Heritage Conservation) and will eliminate original remnant canopy trees along the ridgeline the property, which has been recommended for protection with a significant cultural heritage overlay to the full boundaries and has been cited as potentially significant at the State level.*

The heritage aspect of the objection asserted:

- Loss of much of the cultural heritage value and character of “*the current buildings, landscaping and original bush*”.
- The application circumvents assessment of heritage values and should not be assessed until heritage recommendation finalised.
- The HO should apply to full boundaries.

It is noted that few remnant trees in the western part of the proposed lot remain and, canopy trees are not identified as being of heritage significance.

Council heritage advisers (3) attended the site on 8 June 2022. They were provided with access to the whole of the property and documents held by the current owner including original plans, architects’ courtyard design sketches etc.

Council heritage advisers/authors of the Study assessed the Application against relevant heritage policy (clause 15.03-1), *the Burra Charter: The Australian ICOMOS Charter for Places of Cultural Significance 2013*, and Clause 43.01 Heritage Overlay (although it did not apply to the property). In summary, that heritage advice considered the proposed house to be acceptable and modification of the subdivision boundary in the vicinity of the eastern leg of the existing driveway with appropriate landscaping could address concerns relating to the subdivision. (see discussion below)

Verbal advice from officers indicated that heritage advisers’ concerns could be addressed via a permit condition and it was not necessary to modify the plan.

The determination of the Application, under delegation, included the following ground of refusal:

3. *The proposed subdivision is inconsistent with Clause 15.02-1S (Heritage Conservation), as it will adversely impact on the heritage significance and landscape character of the subject site.*

#### **Victorian Heritage Register (VHR)**

In October 2022 Council nominated [REDACTED] for inclusion in the VHR, although the Stage A Study citation indicates that inclusion in the VHR was not recommended.

It is surprising that the nomination by a Planning Authority relied on the Study citation identification of the property as locally significant and did not attempt to address criteria for State Significance. Heritage Victoria (HV) noted:

*“I see that most of the work relates to the Heritage Overlay and the question of local-level cultural heritage significance. Were any heritage consultants asked to turn their minds to the question of State-level cultural heritage significance? That is what we look for when assessing places and objects for inclusion in the Victoria Heritage Register (VHR).” (email 16/11/22)*



I provided relevant documents to HV, including the Application documents. The Manager of the Heritage Register and a Senior Heritage Officer (Assessments) undertook an extensive internal and external site visit (6/12/2022) and were provided with access to the original plans.

HV was aware of the Application, and it can be inferred that the significance of the place was not deemed to be threatened as an Interim Protection Order has not been applied to the property. Given there is only a handful of post-1970 houses on the VHR, the work necessary to establish thresholds for inclusion in the VHR is unlikely to be undertaken in the foreseeable future. This imposes significant obligations on the owner of the property without any prospect of resolution.

## 2 Submissions

### 2.1 Support for inclusion in the HO

As a long time supporter of protecting the best of relatively recent architecture, I reaffirm my support for the inclusion of my property in the HO. As noted in Jim Gardner's letter of advice (23/3/23):

*... the Context P/L Heritage Citation provides a prima facie case for including Choong House in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme against Criterion E (aesthetic significance) and Criterion H (associative significance).*

I have a demonstrated appreciation of the [REDACTED] and am committed to maintaining its integrity. All maintenance I have undertaken, except for the installation of solar panels and heat pump hot water, has respected the significance place eg like for like replacement of decks, the front door, gutters, repolishing floors, roof repairs, replacement of water pipes etc.

### 2.2 Revisions to provide a clear accurate citation

The incorporated Statement of Significance will be a statutory document that establishes the basis for future decisions under the HO. It is important that the citation provides a clear, accurate statement of the significance of the place based on known information.

The exhibited citation for [REDACTED] was adopted by Council on 29 June 2021. This submission restates substantial concerns expressed in the Application. as the desk top draft Citation has not been updated It is disappointing that the interim HO and the exhibited Amendment include the Draft desktop citation without updating in the light of additional information, corrections, and the Council heritage advisers inspection..

Aspects of the exhibited citation that are questioned are cited below in relation to specific concerns.

#### **The Gordon Ford landscape design**

The Statement of Significance identifies the Gordon Ford designed landscape design as being of heritage significance with references including:

*What is significant?*

...

*Elements that contribute to the significance of the place include the:*

- ...
- *elements of Gordon Ford's original bush garden landscape design, including the central atrium and courtyard spaces, ponds, volcanic boulders and native plantings; and*
- ..

*Why is it significant?*







- As illustrated in the 1987 and 1991 photos below from the Gard'ner advice, little of the "remnant" bush was retained around the house and many of the larger trees in the photos were dead/ chopped down before I bought the property in 2016. Some screen planting in the vicinity of the boundary near the adjoining service areas to the south remains and, while the oaks were in the palette of plants used by Ford, their planting to the west of the pond and between the western deck and "spinal wall" appears to be later than 1991.



1987 (Source: Landata Victoria)



1991 (Source: Landata Victoria)

Jim Gard'ner commented:

*"The 1987 aerial indicates that the house was constructed amongst established bushland. There is no evidence to determine the original extent of the garden designed by Gordon Ford, and further, the Context citation for the place indicates that the extent of the Ford landscape design is limited to the immediate vicinity (and within the central atrium) of the house. The large pond was built between 1991 and 2010, at the western tip of the house and it appears that during this period, further plantings were added between the wings on the west side of the house".*

Gordon Ford did not "design" the treed setting, which is discussed below. Further, it is noted that reference to the design of a "bush garden" could undermine clarity as it has a different meaning in



Nillumbik neighbourhood character policies i.e. a suburban garden with planting of native plants and canopy trees on suburban size blocks.

The forgoing discussion demonstrates that only remnants of the Ford garden design remain, namely 10-12 large boulders at the entry to the house and in the northwestern courtyard and the ponds within the house footprint.

- 1) It is submitted that Amendment documents should be revised to accord with the Gard'ner tracked changes version of the Draft Citation, including references to the remnants of the Gordon Ford landscape design under "What is significant", "How is it significant?" and "Why is it significant?".**

#### **References to the "Eltham Style"**

The Statement of Significance suggests, under Why is it significant, that:

*"The use of fluid lines, refined metal and glazing juxtaposes with the house's solid limestone massing; both a reference to and clear break from the 'Eltham style'. The architects also designed furniture for the interiors of the house, showing an integrated approach to all aspects and functions of the site."*

It is submitted that it is difficult to discern much at all that references the Eltham style. As Jim Gard'ner commented:

*While this house has been written about extensively and there is a substantial amount of critical analysis about the property, we note that some of the views expressed – while no doubt genuinely held – are contradictory. These include Sydney architect Graham Jahn describing the house as "...avoiding any obvious relationship with the outdoors"<sup>1</sup> while in contrast, Melbourne-based architect and urban designer, Vanessa Mooney (incorrectly referred to as Kate Mooney in the citation) writing for architectureau.com noting that "Biltmoderne ... was aware of this architectural heritage (the Eltham mud brick house tradition), adopting the efficiency and handcrafted quality of solid masonry construction for the [REDACTED] while introducing a lightness and vigour through more fluid architectural form. The Choong House both reinforces and contradicts the Eltham mudbrick tradition, an endearing paradox."<sup>2</sup>*

*The citation relies extensively on Mooney's 2017 article, and it is our view that the paraphrasing of Mooney's critique by Context has shifted its original intention and meaning to a degree. In our view the article attributes substantially less of the design of the [REDACTED] to the 'Eltham Style' of Alistair Knox and others than is asserted in the Context citation.*

The Nillumbik Gap Study Stage B - Thematic Environmental History Post-war Update C149 (Trethowan 2022) listed dates of post war development but had a particular focus on the "Eltham Style". The following quotes from the Stage B study are indicative of characteristics of the Eltham Style:

*The 'Eltham-style' of architecture primarily uses mud brick or adobe wall construction coupled with the use of exposed timber structural elements such as posts and beams and timber and/or recycled doors and windows.*

*... Characteristics include the use of mud brick and recycled materials, adobe walls and timber frames, gabled corrugated metal roofs with broad eaves.*

*... an important subset of the 'Eltham Style' belongs to the design work of local personality Alistair Samuel Knox (1912-1986) ... Many of the dozens of plans available in archives*



*demonstrate the recurring themes in Knox's designs, such as shallow pitch, rectangular plan, low-set houses with handmade brick, timber framed expansive glazing, timber beams and encircling or broad verandahs. Other features include clerestory windows, full height windows, low central or off-center chimneys and often display irregular site orientations or split levels. While most assume rectangular modular plans, other stand-outs include square plans with central clerestory windows, trapezoid or diamond plans, L-shape or T-shape plans, and flat roofs*

I appreciate the characteristics of the Eltham Style as my previous home of two decades was an Alastair Knox muddie (with a Gordon Ford Garden) that epitomised the features described above. It is difficult to attribute any of the features of my current home to the Eltham Style, apart from full length windows and, perhaps, the use of a robust natural material. In many ways, the bold presence and "sharp, clean" lines and materials of [REDACTED] are the antithesis of the mud brick and recycled materials, gabled corrugated metal roofs with broad eaves that characterise the style.



The reference to Builtmoderne designed furniture in the Statement of Significance elevates is not warranted. The furniture was not part of the heritage assessment (the authors are unlikely to know what furniture was designed by Builtmoderne) and these objects are not subject to the HO.

- 2) It is submitted that the Amendment documentation, should be revised as shown in the Gard'ner tracked changes version delete references to the Eltham Style and reference to furniture.**

### **2.3 The Curtilage of the HO**

The Amendment proposes to apply HO275 to the whole of 10 Diosma Road. The expert view of Jim Gardn'er in 2021 on the extent of any proposed HO was:

*"In relation to establishing an appropriate curtilage or Heritage Overlay extent PPN1 provides the following guidance:*



*In many cases, particularly in urban areas and townships, the extent of the curtilage will be the whole of the property (or example, a suburban dwelling and its allotment).*

*However, there will be occasions where the curtilage and the Heritage Overlay polygon should be reduced in size as the land is of no significance. (page 5)*

*PPN1 goes on to identify suggested steps in establishing an appropriate Heritage Overlay extent/polygon, which can be summarised as follows:*

- *Identify what features contribute to the significance of the place and ensure the polygon captures those elements.*
- *Ensure an appropriate setting or "buffer" (curtilage) is included for those identified elements.*
- *Ensure the polygon boundaries are as uncomplicated as possible.*

*In this instance, the property is a large 1.1 ha (2.7 acre) site, with the house and carport located within a native bushland context. In our view it is not necessary to include the whole property in the Heritage Overlay extent to protect the elements identified in the Context citation as contributing to the cultural heritage significance of the place. These elements are the house, the carport and the remnants of the Gordon Ford-designed garden and courtyard features. Further, we acknowledge that there are no views from the public realm that need to be considered, as the house has a deep setback from the road and the view is already blocked by houses fronting [REDACTED]*

*We are of the view that a minimum curtilage of 10-15m from the northern, eastern and southern most points of the house (or carport) would provide an adequate native bush setting for the house. We recommend a larger 20m curtilage be provided to the west to protect the front of the house as it was intended to be viewed by visitors. We also consider that the driveway entry should be included in the mapped extent of the Heritage Overlay as is common practice. Figure 6 provides our recommended curtilage with the polygon taken to the nearest boundary corner where appropriate."*

Mr. Gard'ner reaffirmed this view in March 2023, including the recommended extent of the HO.



Recommended Heritage Overlay extent (shaded in pink) and proposed subdivision boundary outlined in white



#### **An appropriate setting**

The analysis associated with the Application is useful to inform the extent of the HO necessary to maintain an appropriate setting for the elements of the property identified as contributing to its potential heritage significance (the house, carport and remnants of the Ford landscape design).

There was consensus between Council's heritage advisers and Mr Gard'ner that the key considerations are:

- the driveway entry from [REDACTED] and native vegetation along its length
- the final stretch of the driveway from the west side of the property to the carport (including its serpentine layout)
- views towards the west elevations of the house on approach from the west (from the top corner of the driveway).

Council's heritage advisers commented that "... *important elements of the Ford-designed garden at [REDACTED], should be understood to extend to the broader site. The garden setting surrounding the house and its transition to the outer areas of the site which appear to be natural or 'unspoilt', are therefore both important.*"

Council's heritage advisers recommendation in relation to the application for subdivision (below) implies the extent of land seen as necessary to protect the setting and views to the house:

***A revised subdivision boundary may be considered appropriate providing that the subdivision boundary is revised (in particular the north boundary and northeast corner of the proposed lot 1) to increase the set back from the serpentine driveway (in lot 2) and ensure that an appropriate landscape setting, approach experience and views of the house on approach are conserved and enhanced within the proposed lot 2.***

This recommendation was translated into a draft permit condition.

It is noted that:

- tree controls are not proposed under the HO 275
  - other overlays that apply to the property (ESO1 and SLO3) provide an effective mechanism to maintain a treed setting for the house and carport.
  - As discussed above:
    - the Gordon Ford design related to boulders, internal courtyard ponds and atypical planting in the house courtyards.
    - The setting, particularly the western approach to the house and carport, post-dates involvement by Gordon Ford.
- 3) It is submitted that the extent of HO275 recommended by Jim Gard'ner of GMH Heritage will protect elements of the property of heritage significance.**

#### **2.4 Resource Implications**

The Amendment Explanatory Report indicates in relation to the resource and administrative costs of the responsible authority that the Amendment may contribute to a minor increase in the number of planning permit applications which can be accommodated within the existing resources and will be off-set by a reduction in the need for individual responses to the possible demolition of significant heritage places.



This seems to be an optimistic view. Council's budget should anticipate that additional expert heritage advice will routinely be required to assist in guiding application processes and to avoid costs to Council from appeals due to failure and poorly informed decisions.





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ABN: 62 348 237 636  
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[REDACTED]  
[REDACTED]  
[REDACTED]

[REDACTED]

24 September 2021

Dear [REDACTED]

**PEER REVIEW & PRELIMINARY ADVICE – [REDACTED]**

You have requested that we undertake a peer review of the citation and Statement of Significance prepared by Context P/L on behalf of Nillumbik Shire (Council) for your property at [REDACTED]. We understand that the assessment was prepared as part of the *Nillumbik Shire Heritage Review 2021* and that Council intend to progress a planning scheme amendment to include [REDACTED], amongst other properties, in the Schedule to the Heritage Overlay.

You have also sought specific advice on the proposed extent of the Heritage Overlay and we note that you are seeking a subdivision of the property.

We understand that you do not object to the inclusion of your property in the Heritage Overlay, but seek to ensure that the details contained in the citation and Statement of Significance are correct and supportable, and that the extent of the Heritage Overlay curtilage is appropriate.

Due to Covid-19 restrictions, this advice has been informed by a desktop review only. We have reviewed the citation prepared by Context and additional information provided by you. You have informed us of errors in relation to the assertions made within the citation; in particular, that no plantings remain that are associated with the Gordon Ford-designed elements of the garden, that the garden pond elements (excluding the entrance water feature and atrium ponds) and adjacent landscaping were added in c. 2005 to designs by Sam Cox, and that the limestone 'spine' walls are made up of a combination of straight and curved elements. We have also undertaken limited additional historical research and analysed Nearmap and historical aerial imagery.

We have not reviewed the methodology or other aspects of the *Nillumbik Shire Heritage Review 2021*.

**2021 Context Citation and Statement of Significance**

The historical research undertaken to inform the citation is comprehensive and is of the standard expected for a heritage assessment. While this house has been written about extensively and there is a substantial amount of critical analysis about the property, we note that some of the views expressed – while no doubt genuinely



held – are contradictory. These include Sydney architect Graham Jahn describing the house as “...avoiding any obvious relationship with the outdoors”<sup>1</sup> while in contrast, Melbourne-based architect and urban designer, Vanessa Mooney (incorrectly referred to as Kate Mooney in the citation) writing for architectureau.com noting that “Biltmoderne ... was aware of this architectural heritage (the Eltham mud brick house tradition), adopting the efficiency and handcrafted quality of solid masonry construction for the Choong House while introducing a lightness and vigour through more fluid architectural form. The [redacted] both reinforces and contradicts the Eltham mudbrick tradition, an endearing paradox.”<sup>2</sup>

The citation relies extensively on Mooney’s 2017 article, and it is our view that the paraphrasing of Mooney’s critique by Context has shifted its original intention and meaning to a degree. In our view the article attributes substantially less of the design of the [redacted] to the ‘Eltham Style’ of Alistair Knox and others than is asserted in the Context citation. Likewise, the architectural description within the citation appears to draw on the 2017 article but makes conclusions, such as that the garden ponds and adjacent native plantings were the work of Gordon Ford, whereas those assertions are not, to our reading, borne out in the source material. We therefore recommend the removal of this material. These changes also impact on the section entitled ‘Integrity’ (insofar as it relates to the description of the garden) and the Statement of Significance.

The ‘Comparative Analysis’ discusses a number of place types including Eltham-style mudbrick homes, other Modernist houses in Nillumbik Shire and other domestically-scaled buildings designed by Biltmoderne / Wood Marsh across Melbourne and the Mornington Peninsula. The introduction to the Comparative Analysis also briefly discusses the house in an Australian and international context of ‘post-tech’ architecture. The analysis accompanying the Comparative Analysis solely focuses on the work of Biltmoderne and Wood Marsh and predominantly draws on very recent examples of their work. The lack of Comparative Analysis in the context of postwar or late twentieth century modernist housing in Nillumbik Shire makes placing the Choong House in a municipal context difficult.

In the ‘Stage A - Key Findings and Citations’ report prepared for Nillumbik Shire and considered at the Council meeting of 29 June 2021, Context notes under the heading ‘2. Limitations’ that:

*Gaps observed in the HO during the course of the study included a general lack of representation of postwar (c.1945-1975) and late 20th century (c.1975-1990s) places. (Context, 7 June 2021, p.5)*

This, along with our observations above, suggests that the rigour of the Comparative Analysis could be improved through a more targeted and comprehensive survey of the postwar period of development in Nillumbik. If no relevant local comparators exist then the citation should explicitly state this in our opinion.

We note that the [redacted] was constructed between 1985-1987, making it a relatively recent building to be considered for heritage-listing. *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018) (PPN1) provides no guidance on the minimum age for places to be assessed or listed on a local Heritage Overlay. Notwithstanding this, it is a generally accepted heritage practice that a generation (approximately 25-30 years) should pass before determining whether a place is of heritage value. This allows for a sufficient passage of time to elapse to ensure the enduring cultural heritage values of a place can be rigorously and objectively assessed. This principle is captured in the *Victorian Heritage Register Criteria and Thresholds Guidelines* (Heritage Council of Victoria, 3 December 2020, p.3). We consider that the [redacted] – which is now 35 years old – is of an age where it is appropriate for consideration for recognition in the Nillumbik Planning Scheme.

<sup>1</sup> Jahn, G. *Contemporary Australian Architecture*, Singapore, Craftsman House and G&BArts International, 1996, p.11.

<sup>2</sup> Mooney, V. ‘Revisited: [redacted] architectureau.com, 22 September 2017 [https://architectureau.com/articles/130-136-ah116\\_revisited\\_choong/](https://architectureau.com/articles/130-136-ah116_revisited_choong/) (retrieved 21 September 2021)



The Context citation does not recommend external paint controls, tree controls or internal alteration controls. The entry in the Schedule to the Heritage Overlay under 'Outbuildings or fences not exempt under Clause 43.01-4' is proposed to read 'Yes – Carport'.

Following our review, we consider that a reasonable case has been made for inclusion of [REDACTED] in the Schedule to the Heritage Overlay; however we recommend that the citation and Statement of Significance be amended to make corrections and to reduce reliance on the Mooney article from 2017. A 'tracked change' version of the citation is attached to this letter of advice.

### Extent of Heritage Overlay

We note that the Context citation does not provide a mapped extent but describes the proposed extent as being 'To title boundaries'. The boundary extent is shown at Figure 1 below.

**Figure 1:**  
property  
boundary  
outlined  
in red



(Source: Neapmap)

Our review of the Context citation, readily available historical information and an analysis of historical aerial photographs dating from the construction of the house (1985-87) to the current day, has informed our view in relation to an appropriate Heritage Overlay extent.

The 2021 Context citation states in the Description (emphasis added):

*Water, a leading design principle of landscape designer Gordon Ford, is integrated throughout the property's bush garden landscaping and into the building and its courtyards. Ponds featuring at the entrance to the house as well as in the atrium at the heart of the residence. Ford's signature volcanic boulders and native groundcover plantings complete the design. As the planned landscaping falls away from the house's immediate surroundings, natural vegetation covers the remainder of the site, mostly mature eucalypts.* (page 38)

Historical aerial photographs show that the subject site, and surrounding area was occupied by bushland prior to residential subdivision and development. The [REDACTED] was constructed amongst native trees, which



have been largely retained at the property to date. The series of aerial photos from 1987 to May 2021 below demonstrate the changes to the property and its consistent native vegetation character.

**Figure 2:** The new house is evident. The area west of the house is less vegetated. A majority of the property is heavily vegetated by native bushland.

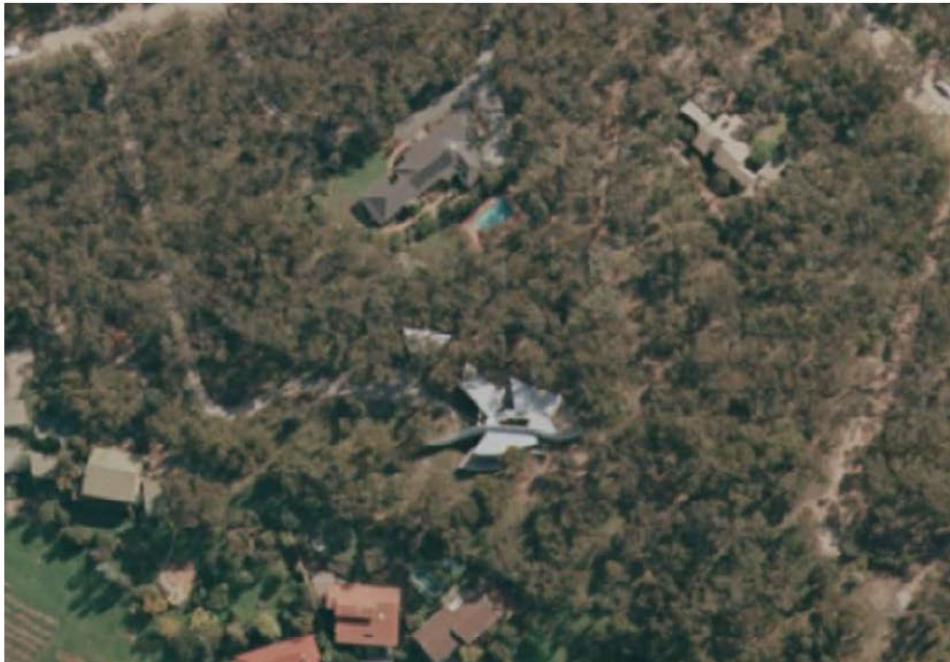
1987



(Source: Landata Victoria)

**Figure 3:** The 1988 carport has been constructed to the north-west of the house.

1991



(Source: Landata Victoria)



**Figure 4:**  
Dec 2010

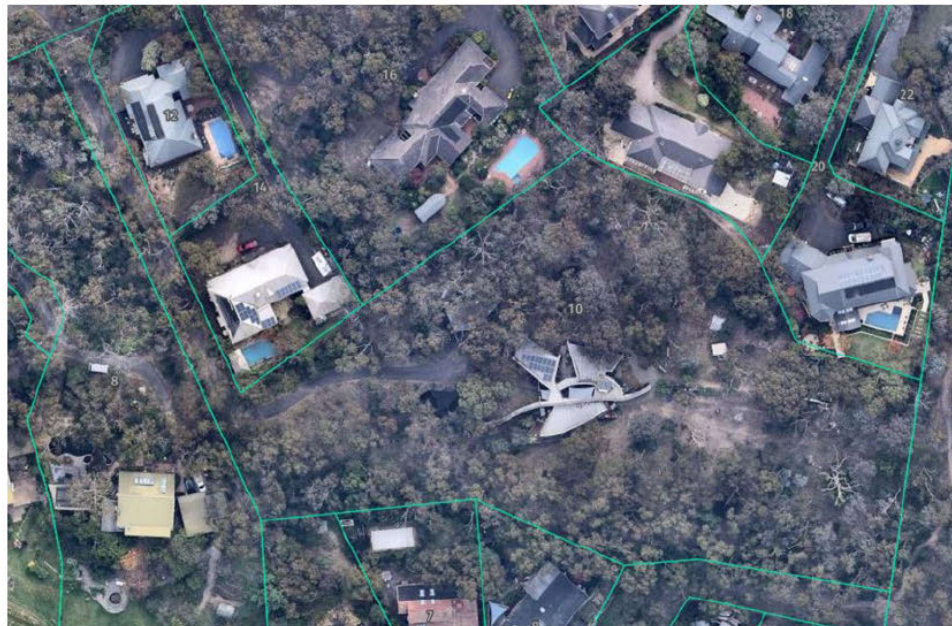
A large pond is evident just west of the house. Plantings between the wings of the house, particularly along the west side, appear to have matured in size, or appear to be new plantings. Trees east of the house appear to have died, and/or thinned.



(Source: Nearmap)

**Figure 5:**  
May 2021

Plantings in between the wings of the house have matured in size.



(Source: Nearmap)



The 1987 aerial indicates that the house was constructed amongst established bushland. There is no evidence to determine the original extent of the garden designed by Gordon Ford, and further, the Context citation for the place indicates that the extent of the Ford landscape design is limited to the immediate vicinity (and within the central atrium) of the house. The large pond was built between 1991 and 2010, at the western tip of the house and it appears that during this period, further plantings were added between the wings on the west side of the house.

In relation to establishing an appropriate curtilage or Heritage Overlay extent PPN1 provides the following guidance:

*In many cases, particularly in urban areas and townships, the extent of the curtilage will be the whole of the property (or example, a suburban dwelling and its allotment).*

*However, there will be occasions where the curtilage and the Heritage Overlay polygon should be reduced in size as the land is of no significance. (page 5)*

PPN1 goes on to identify suggested steps in establishing an appropriate Heritage Overlay extent/polygon, which can be summarised as follows:

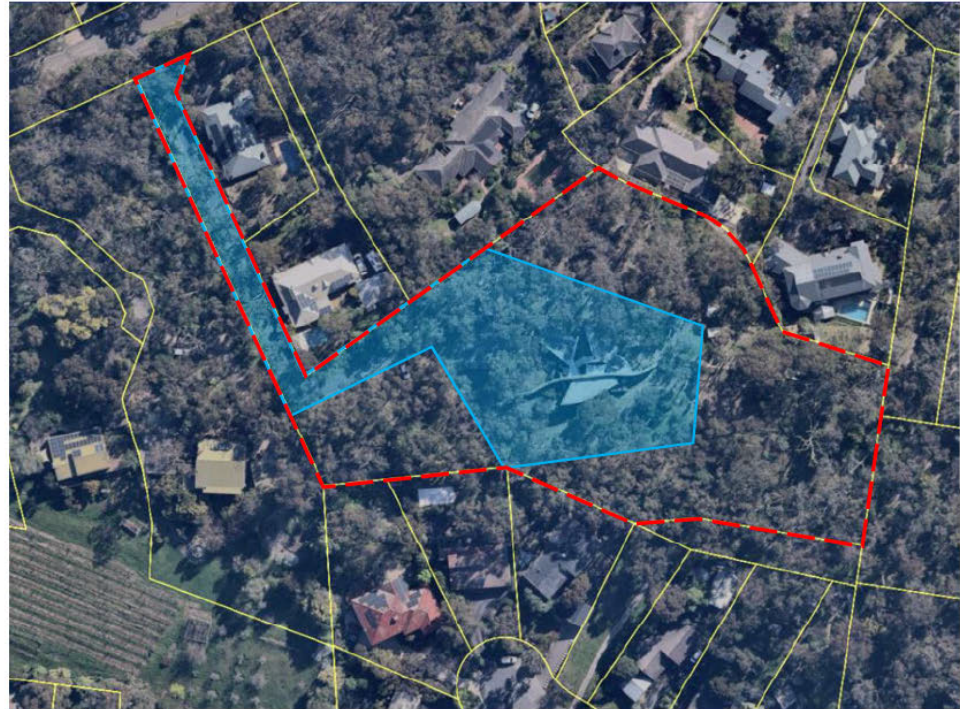
- Identify what features contribute to the significance of the place and ensure the polygon captures those elements.
- Ensure an appropriate setting or “buffer” (curtilage) is included for those identified elements.
- Ensure the polygon boundaries are as uncomplicated as possible.

In this instance, the property is a large 1.1 ha (2.7 acre) site, with the house and carport located within a native bushland context. In our view it is not necessary to include the whole property in the Heritage Overlay extent to protect the elements identified in the Context citation as contributing to the cultural heritage significance of the place. These elements are the house, the carport and the remnants of the Gordon Ford-designed garden and courtyard features. Further, we acknowledge that there are no views from the public realm that need to be considered, as the house has a deep setback from the road and the view is already blocked by houses fronting Diosma Road.

We are of the view that a minimum curtilage of 10-15m from the northern, eastern and southern most points of the house (or carport) would provide an adequate native bush setting for the house. We recommend a larger 20m curtilage be provided to the west to protect the front of the house as it was intended to be viewed by visitors. We also consider that the driveway entry should be included in the mapped extent of the Heritage Overlay as is common practice. Figure 6 provides our recommended curtilage with the polygon taken to the nearest boundary corner where appropriate.



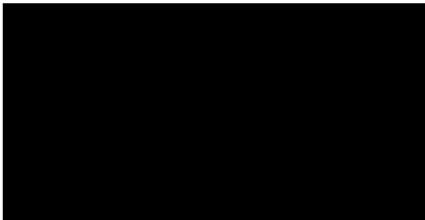
**Figure 6:**  
recommended  
Heritage  
Overlay extent  
(shaded in blue)



(Source: Neapmap)

We trust this assists in your consideration of this matter and please do not hesitate to contact me on [REDACTED] if you wish to discuss this advice further.

Yours sincerely,



GJM Heritage



[GJM recommended changes tracked]

Prepared by: Context	Survey date: March 2021 [GJM revisions Sep 2021]
Place type: Residential	Designer: Biltmoderne Pty Ltd (house), Wood Marsh (carport), Gordon Ford (landscape/garden)
Significance level: Significant	Builder: Steven Basic
Extent of overlay: Refer to Figure 14 To title boundaries Major construction: 1985-87 (house), 1988 (carport)	



Figure 1. West elevation of the [redacted] . (Source: realestate.com.au 2016)



Figure 2. Southwestern elevation of the [redacted] . (Source: realestate.com.au 2016)



## HISTORICAL CONTEXT

This place is associated with the following historic themes taken from the *Nillumbik Shire Thematic Environmental History* (2016):

### 6 BUILDING TOWNS AND SHAPING SUBURBS

#### 6.6 1960s and 1970s suburbanisation

*From the mid-1960s the main suburban expansion in the former Eltham Shire area was east from Eltham, aided by the construction of the new Fitzsimons Lane (Eltham-Templestowe) bridge in 1963. This expansion was limited by topography and by methods of corridor planning including the green wedge and rural zoning. As a result, the eastwards trend would not extend past Research. The occupants of this new residential area were typically high-income families commuting to work in the city. When author and diplomat Graham McInnes returned to Melbourne in 1969 after leaving in the 1930s, he said that one of the most noticeable differences was that 'Eltham was the country, now it is right in Melbourne'. (Mills & Westbrooke 2016:87)*

*Residents who had established themselves in the early postwar period questioned the bona fides of this new wave of aspiring bushland homeowners. Knox described how 'the rich and affluent eastern suburbanites started casting sheep's eyes at this unkempt bushscape ... Eltham was once again under threat from the land profiteer, who would butcher the living qualities of its inhabitants to make their Roman holiday.' On the other hand, the middle-class professionals of this new influx were environmentally conscious, politically well informed and numerous enough to exert a profound effect on the conservation of the surrounding landscape. (Mills & Westbrooke 2016:87)*

*By the 1970s, the aesthetics of the bush that had been developing throughout Australia were influencing the more sought-after city fringe suburban developments. These suburban developments adopted some of the trappings of environmental building that had been developed, in part, by the Eltham mud brick pioneers. The environmental thinking had been translated into a set of standard approaches, including preservation of existing trees, adaptation to contours, underground services and establishment of a network of linked bush parks. Road planning strategies such as cul-de-sacs enabled isolation from busy through streets. Roads were softened with low-profile gutters and the transition from road to driveway was softened with the use of paving materials in the road surface. Even so, these developments substantially remade the landscape. (Mills & Westbrooke 2016:88)*

*In the 1970s the Nillumbik area and nearby suburbs were graced with a number of residences designed by up-and-coming architects of the day including Kevin Borland, Charles Duncan and Morrice Shaw. Philip Goad describes their works as 'free and inventive compositions' and 'programmatically innovative'. Their designs featured informality, woodsy detailing, mezzanine floors and sliding doors opening onto timber decks. Other features included bagged brick, or brick seconds, window frames stained brown or pale eucalypt green and diagonal timber lining boards. (Mills & Westbrooke 2016:89)*



*Some architects chose not to blend with the bush environment. Peter Burns declared that his own 1967 house at Kangaroo Ground made 'no attempt to blend with the natural landscape but stands out as something distinctively man-made'. Perched high on a ten-acre site, the house was severely triangular in plan with inward sloping unpainted fibro walls and a flat metal deck roof. The house was 'a cheap practical envelope for living'. Acrylic domes replaced conventional windows. Burns did, however, consider himself a conservationist, installing 'a non-polluting system for the disposal of household wastes', as well as underground power and telephone cables. The clean white geometrical form of Ken Robinson's Zadnik house, located on a steeply sloping wooded site in Banoon Road, Eltham, was similarly intended to stand out 'in contrast to the rugged terrain'. The walls were of painted bagged brick and the roof of metal deck. It featured as an Age-RAIA House of the Week in 1975. (Mills & Westbrooke 2016:90)*

## **LOCALITY HISTORY**

Eltham, situated in hilly country northeast of Melbourne, is located on the country of the Wurundjeri-willam clan of the Woi wurrung, one of the five tribes of the Kulin Nation. A small, short-lived reservation south of Eltham on the Yarra River was set aside for Aboriginal people in 1852. The area is situated near the junction of the Yarra River and its tributary, Diamond Creek.

Pastoral settlers moved into the area from around 1840 and took up pastoral leases (Bartolomei 2008). It was located proximate to the track used by the Ryrie brothers to provide access between their 'Yering' run, near Yarra Glen, and the Heidelberg village (Victorian Places 2015). In 1841, William Bell and Thomas Armstrong occupied land for a squatting run east of Diamond Creek in what was to become the Eltham district (Eltham District Historical Society 2000: np).

A plan for 50 allotments in the Township of Eltham, Parish of Nillumbik, was announced in 1848, with the name officially gazetted in 1851. The township, near the junction of Diamond Creek and the Yarra River, was laid out in an area bounded by Baxter Street, Diamond Creek, Dalton Street and Bolton Street. The township plan shows that a track to a bridge across Diamond Creek and Main Road was noted as the 'Track from Melbourne' (Butler 1996:32). This area is known today as Eltham South.

Present-day Eltham, however, was not established on the township reserve, where land proved difficult to sell. Instead, the town grew from allotments in Section IV of the Parish of Nillumbik located on Main Road, to the north of Dalton Street and the township reserve (Butler 1996:32). In 1851, Melbourne property developer Josiah Holloway purchased one square mile (or 5120 acres) of this land, which he subdivided immediately, calling the subdivision Little Eltham. The central area of current-day Eltham is contained within the Little Eltham subdivision. A number of large farming properties around the township were purchased from the early 1850s (*Nillumbik Parish Plan* 1951).

Eltham township grew during the 1850s around a cluster of buildings at the corner of Pitt Street and Main Road within the Little Eltham subdivision. Located on the road to the Caledonia goldfields, this small township became a service centre for the surrounding mining areas, and by 1854 supported a population of 282. In this period Eltham had two hotels, a brewery, and a scattering of shops along Main Road (known in the 1850s as Maria Street). The town had a steam flour mill operated by Henry Dendy, and a tannery was located on the Diamond Creek. The Little Eltham School, opened by the Church of England was built in 1853 near Swan Street and closed in 1872. A second school, a national school (later Eltham Common School No. 209) opened in Dalton Street in 1856. A Wesleyan chapel opened in 1858. Public buildings constructed at this time included a courthouse and a police



station in Main Road in 1860. The 'flat land', which is now the Eltham Lower Park, near the Yarra, was used as a racecourse (Kellaway cited in Butler 1996:32-33; Eltham District Historical Society 2000:np). A cemetery was established in 1858. The township and wider area was administered by the Shire of Eltham, established in 1856.

Between the 1860s and the 1880s, Eltham supplied food and produce for the goldmining communities of the Caledonia goldfields at Queenstown (St Andrews) and Panton Hill. It also became a stopping place on the route to the Woods Point diggings. Eltham's population grew in response (*Victorian Places* 2015).

A Primitive Methodist chapel was built in 1860. The following year St Margaret's Anglican Church, designed by the notable Melbourne architect Nathaniel Billing, was built. In 1881, a Wesleyan church was constructed by George Stebbing to the design of Melbourne architects Crouch and Wilson (Butler 1996:33). A new state school, constructed of local sandstone, opened in 1876.

Several large properties surrounding the township had absentee owners, who subdivided their properties into smaller farms either for lease or for sale. The smaller properties, especially in the Little Eltham township, were run by farmers who often made a modest living as wage labourers. Like many later Eltham residents, they were attracted by cheap land and the country life (Butler 1996:33).

In 1884 Eltham was described as:

*... a pretty little township on the Yarra Flats road ... It has a population of nearly 400 inhabitants, but in addition it is the centre of a large district extending over 208 square miles, having a population of 2344. The land in the district is mostly used for grazing purposes, although as a rule the small farms grow a good deal of wheat, oats and other agricultural produce. A large quantity of fruit, especially raspberries and strawberries, is also produced (Illustrated Australian News 20 December 1884, cited by Carlotta Kellaway in Butler 1996:33).*

The *Australian News* noted that gold had been found in the vicinity of the township, 'but not in remunerative quantities' (cited by Carlotta Kellaway in Butler 1996:33).

In the 1880s agitation began for the extension of the railway line from Melbourne to Heidelberg to serve Eltham and districts further afield such as Kangaroo Ground. The railway station in Eltham opened in 1902, however the line was never extended to Kangaroo Ground. The railway brought excursionists from Melbourne, many of whom picked wattle during the flowering season, and focused development of the Eltham township around the railway station. Eltham was a picturesque village with the advantage of its proximity to metropolitan Melbourne and to attractive countryside with farms and uncleared stringybark forest (*Victorian Places* 2015). The bush scenery attracted artists, writers and nature-lovers.

In 1903 the *Australian Handbook* described Eltham as part of an orcharding and grazing district. In 1901, 4289 acres were under cultivation, of which 2506 acres were planted with orchards and market gardens. The township, with a population of 377, included a state school, a branch of the Commercial Bank, and Catholic, Anglican, Wesleyan Methodist and Primitive Methodist places of worship (cited in *Victorian Places* 2015). From 1909, rural properties were increasingly subdivided to create residential estates on the outskirts of the Eltham township (Mills & Westbrooke 2017:69).

The electrification of the railway line was extended to Eltham in 1923, eliminating the need to change to steam train at Heidelberg and allowing faster through-trains and shorter commuting times. The



establishment of new residential estates in Eltham followed (Mills & Westbrooke 2017:71). Reflecting the town's growth, a higher elementary school was opened in 1926 (Victorian Places 2015).

Eltham was described in 1940 as 'residential, horticultural, dairying and grazing ... a beauty spot for artists and picnickers'. By this time, the town had three recreation reserves, swimming baths, tennis courts and a fire brigade (Victorian Places 2015).

Eltham has attracted a number of writers and artists over the years. The landscape painter Walter Withers (1854-1914) moved to Eltham in 1902 when the railway opened; other artists, including members of the Heidelberg School, painted in the area in the open air. Clara Southern and May Vale, landscape painters and students of Frederick McCubbin, settled in the region. Vale resided at Diamond Creek and Southern at Warrandyte (Bartolomei 2008). The war artist Will Longstaff also lived in Eltham for a period. From 1910, painter William 'Jock' Frater and cartoonist Percy Leason often camped and painted in the area. Artist Justus Jorgensen established the notable Montsalvat artists' colony buildings, on land he purchased in 1934. Seeking a closer engagement with the natural environment, the establishment of Montsalvat, with its adobe and rammed earth buildings, influenced future mudbrick construction in the area. Several local designers, including Alistair Knox, specialised in mudbrick housing in the postwar period (Victorian Places 2015). Others who have been inspired by Eltham and have made the Nillumbik region their home include landscape architect Edna Walling; authors Alan Marshall and Carolyn Van Langenberg; artists Clifton Pugh and Danila Vassilieff; composers and musicians Graeme and Roger Bell; jewellers and sculptors Michael Wilson, Simon Icarus Baigent and Matcham Skipper; writer CB Christensen; poet Chris Wallace-Crabbe; and actor Kerry Armstrong (Bartolomei 2008; Pierce 1987:354).

Eltham experienced significant postwar development with a number of residential estates subdivided and put up for sale. The population of the town increased steadily as a result. In 1933, only 927 residents were recorded in the town in 1933; this had increased to 7177 residents in 1971. As a result, Eltham High School opened in 1950 and the Catholic Ladies College was relocated to Eltham in 1971 (Victorian Places 2015). The Eltham War Memorial Trust Baby Health Centre opened in 1951. New shire offices opened in 1965, and Eltham College commenced classes in 1974 (Eltham District Historical Society 2000:np).

A distinctive style in local building emerged in Eltham in the postwar period, with a strong use of natural materials, low form structures, and an integration with the natural environment. Houses were often sited in bush gardens, especially after the 1970s. This style was also adapted to community buildings in the area, with the Eltham Library being constructed in mudbrick and recycled timbers in 1994 (Eltham District Historical Society 2019).

The Shire of Eltham became part of the Shire of Nillumbik in 1994, with a small area becoming part of the City of Banyule.

## PLACE HISTORY

The [REDACTED], built in 1985-87 for [REDACTED], a partner in LIDI, and the [REDACTED]. It was designed by architects Roger Wood, Randal Marsh and Dale Jones-Evans who had established their design practice, Biltmoderne Pty Ltd, in Melbourne in 1983. The standalone carport was designed in 1988 by Wood Marsh (Figure 3) (Mooney 2017). Steven Basic is credited as the builder (Mooney 2017).

~~Influenced by the mudbrick homes in the area, Biltmoderne referenced the modular and handcrafted quality of solid masonry construction for the residence, while introducing a lightness and vigour through more fluid architectural forms' (Figure 3). Instead of using mudbrick, however, Limestone quarried from Mount Gambier (South Australia) was selected as a primary building material (Mooney 2017). Furniture for the house was also designed by Biltmoderne as part of the project (Age 2 June 2017).~~

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~~1987:25). A small garden featuring native plants by renowned garden designer (and Eltham local) Gordon Ford was also a feature of the design (Mooney 2017).~~

Architect Randal Marsh noted that Biltmoderne was aware of the architectural heritage of the Eltham area, 'adopting the efficiency and handcrafted quality of solid masonry construction for the [REDACTED] while introducing a lightness and vigour through more fluid architectural form' (Mooney 2017). Limestone quarried from Mount Gambier (South Australia) was selected as a primary building material (Mooney 2017). Furniture for the house was also designed by Biltmoderne as part of the project (Age 2 June 1987:25). A small garden featuring native plants by renowned garden designer (and Eltham local) Gordon Ford was also a feature of the original design (Mooney 2017).

Biltmoderne described the [REDACTED] as follows:

*The formal dynamic of the [REDACTED] is generated by the apparent collision and cantilever of disparate elements set against the weight and undulation of a spinal wall. The result of the composition is proudly dislocated from its suburban context. The spinal wall also serves as a point of reference both topographically and architecturally. Its position on the site acts (as a vertical cantilever) to locate the overall composition. Constructed from limestone and aluminium siding, the building operates as a positive, solid form as well as a reflecting, translucent object. This duality, combined with the lack of even perimeter, offers the building to the viewer as being non-specific and abstract (Jahn 1996:171).*

Sydney architect and author, Graham Jahn, wrote that the [REDACTED] was distinguished from its peers by being the antithesis of the sensory Australian pavilion. It, in fact, 'suggests the reverse, affecting its occupants more overtly than the landscape which surrounds ... nevertheless relying on the subtlety of the context for its total idea' (Jahn 1996:169). Jahn continued

*Part of the proposition of the [REDACTED] appears to be that true suburbia ... should allow buildings to be non-continuous objects within their sites and not conform to notions of planned relationships in an overall sense. The idea of the sculptural object, free of conventional motive and reliant on the sensual experience of its formal presence, is truly an extension of abstract modernism free of the stylistic rules which it is normally associated. Some similarity could be drawn between Biltmoderne's work and the domestic designs of Harry Seidler in a conceptual rather than a formal way, where over-complexity of some angles and space ultimately demand rest (Jahn 1996:171).*

Architect Roger Wood commented that the house:

*... contains certain core themes that have remained in their work over their 25 years of practice. 'The idea of converging blank walls to a door or an opening is something we are still doing in our most recent house, and in the Port Phillip [Estate] Winery (McCartney 2014:139).*

The [REDACTED] design won the 1987 RAlA Victorian Merit Award for Outstanding Architecture (Heritage Alliance 2008:201). The house was profiled in the media and in books on architecture, including Graham Jahn's *Contemporary Australian Architecture*, first published in 1994.

~~A subdivision of the property to allow four additional allotments was submitted in 2018 (BP 3-September 2018).~~



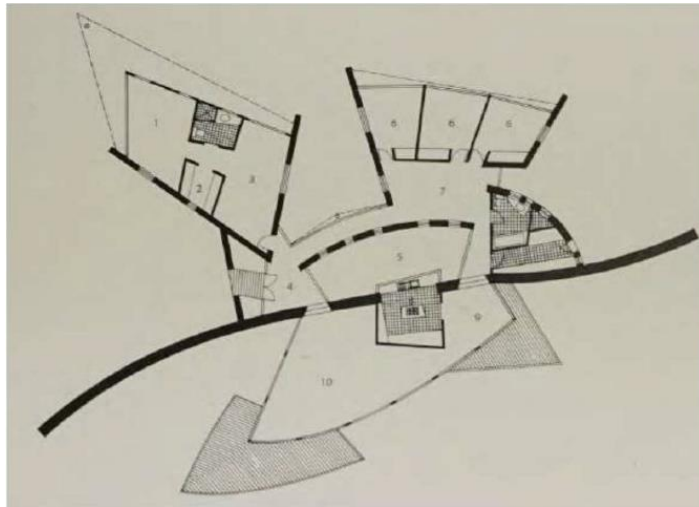


Figure 3. A floor plan of the [REDACTED]. The numbers designate the following: 1 Master bedroom; 2 Dressing room; 3 Study; 4 Entry; 5 Courtyard; 6 Bedrooms; 7 Play area for children; 8 Kitchen; 9 Dining area; and 10 Living area. (Source: Jahn 1996:171)

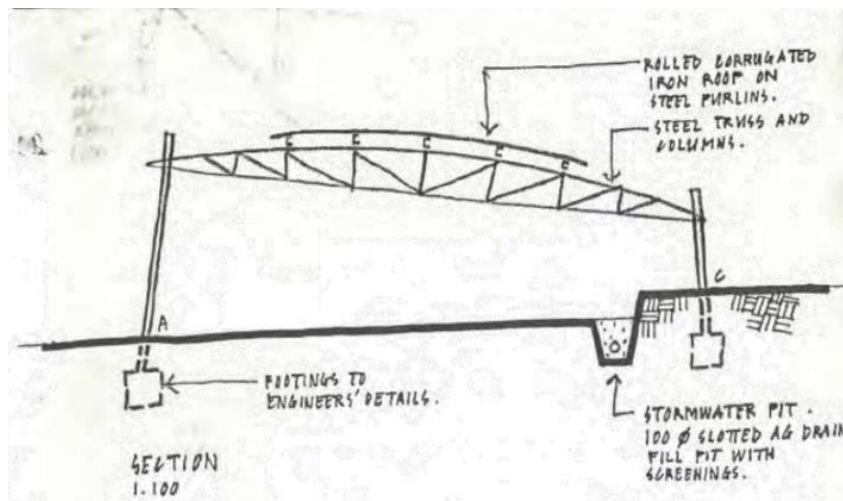


Figure 4. Plans for carport at the [REDACTED] by architects Wood Marsh. (Source: BP, undated)

#### ***Biltmoderne, architects, and Wood Marsh, architects***

Biltmoderne Pty Ltd was founded in 1983 by recent RMIT graduates Roger Wood, Randal Marsh and Dale Jones-Evans. The partnership rapidly gained a public profile in Melbourne's architectural scene, becoming well-known for nightclub fit outs and furniture and exhibition design (Built Heritage 2020:160).



In 1987, established Sydney architect Phillip Cox observed that Biltmoderne's individual style was receiving acclaim within architectural circles in Australia. Describing the firm as 'highly creative in a rather narrow field', he stated that they took 'Russian constructivism, a style of architecture popular before the Revolution... and made it incredibly trendy' (*Sydney Morning Herald* 19 November 1987:54). A newspaper article in 1986 described Biltmoderne as 'the grooviest architects within cooee' who zipped around redesigning nightclubs, asymmetrical swimming pools, many-roofed houses, angular couches, [and] wicked point tables' (*Age* 29 August 1986:29). An exhibition of furniture and architecture held at the National Gallery of Victoria in 1987, entitled 'From Robert Adam to Biltmoderne: the architect as designer', featured the firm's work (*Sydney Morning Herald* 19 November 1987:54).

Biltmoderne's projects included refurbishment of the Palace Theatre in Bourke Street, Melbourne, in 1986 to form the Metro Nightclub; the refurbishment of the Chasers Nightclub in Chapel Street, South Yarra; and the Inflation Nightclub in Melbourne in 1985; the latter project won a merit award from the Royal Australian Institute of Architects in the same year. The firm also refurbished Sweetman's Restaurant in Richmond and designed the Macrae and Way film production office, built in Francis Street, South Melbourne, in 1985 (*Age* 16 September 1986:14 and 21 July 1987:11).

Co-founder Jones-Evans left Biltmoderne in 1987 and took up practice as an architect and artist in Sydney in 1996, while Wood and Marsh formed their practice, Wood Marsh Architecture, in Melbourne in 1987 (Built Heritage 2020:160; Mooney 2017).

#### ***Gordon Ford, landscape designer***

Australian landscape designer Gordon Ford (1918-1999) was a pioneer of the natural Australian style of landscape design. Growing up in country New South Wales, he settled in Eltham, Victoria, after World War II. Ford began landscaping work in 1952-54 under noted landscape designer Ellis Stones (1895-1975), before commencing his own landscape company, working in partnership with his Eltham neighbour, landscape architect Peter Glass (1917-1997) in the 1960s and 1970s.

Over his 50-year career Ford became an important landscape designer and constructor. He had a significant influence on the evolution of a natural Australian style from the 1950s, alongside his predecessors and mentor (Edna Walling and Ellis Stones) and peers (Alistair Knox and Peter Glass). Ford, along with Glass and Knox, was instrumental in the foundation of the Australian Institute of Landscape Architects, established in 1967 (Alistair Knox Foundation).

Ford believed that garden and buildings should form a fully integrated whole, rejecting the notion that a house was simply surrounded by a garden (David Bick cited in Context 2010). Ford favoured Australian native plants, but integral to his design philosophy were spatial considerations (juxtaposing mass and void and concealing boundaries) and foliage texture and shape (Reid 2002:228). He worked on many commissions for domestic gardens, public parks and institutional landscapes. Noted landscape designs include those for his own properties, the Boomerang Residence, 195 Laughing Waters Road, Eltham, c1970 (HO111) and 'Fulling', 76 Pitt Street, Eltham (HO153), as well as the Billabong in the VHR listed Royal Park, Parkville (H2337), and for Monash University.

~~Ford died at home in 1999.~~

#### **DESCRIPTION**

The [REDACTED], is a substantial house constructed predominately of limestone blockwork, built in 1985-1987 to the award-winning design of architects Biltmoderne for



owner [REDACTED]. The house is centrally sited on an irregularly shaped block, ~~heavily vegetated block primarily vegetated with remnant bushland~~. It is accessed by a narrow driveway to the west that runs southwards from [REDACTED] (Figure 5). The land falls away from the centre of the allotment to the south and west.

~~Water and landscape elements, designed by notable landscape designer and Eltham local, Gordon Ford, are skillfully incorporated with the architectural design of the [REDACTED]. The house references the 'Eltham style' mudbrick home in the way it sits solidly in the landscape. The tactility of its weathered, fortress-like limestone walls are softened by the fluidity of the curving sculptural form, creating what Kate Mooney referred to in a 2017 retrospective as 'an endearing paradox' (Mooney, 2017). In this sense,~~ The [REDACTED] exhibits elements of organic architecture, with the design responding sensitively to the topography of its site and use of ~~earthy natural~~ materials. The ~~weightiness massiveness~~ of its ~~masonry limestone~~ walls is counterpoised by large areas of glazing and sections of ribbed aluminium cladding.



Figure 5. Site plan. (Source: realestate.com.au 2016)



Figure 6. Floorplan. (Source: Realestate.com.au 2016)

The house is arranged around a central limestone spinal wall that runs in an east-west direction extending beyond the enclosed spaces of the house into the landscape. It forms the southern wall of a central atrium from which radiates a series of geometrically distinct wings. Three wings containing the main bedroom suite and study, a set of three secondary bedrooms and the bathroom and laundry are located to the north of the spinal wall and also incorporate limestone wall elements. The wing containing an open plan living zone is located to the south and features large areas of glazing (Figure 6).

Each form has an independent flat roof that creates a jigsaw-like footprint when viewed aerially (Figure 7). When viewed from the front facade, the building presents as a sculptural arrangement of limestone walls (Figure 8). At the centre of this composition, the entry to the house is located between two high walls ~~curved angled~~ towards each other and is accessed by a small footbridge over a pond (Figure 9).





Figure 7. An aerial view of the [REDACTED]. (Source: Nearmap 2021)

Where the spinal wall projects at either end of the building it creates a series of semi-enclosed outdoor spaces which reflect the **curved** sculptural forms and irregular geometry of the house. (Figure 11).



Figure 8. On approach, the building presents as a collection of limestone walls. (Source: ArchitectureAU 2017)



Figure 9. The entry to the house. (Source: ArchitectureAU 2017)



Attachment 4. Submissions - C149nill Heritage Review - Redacted

CM.087/21

Nillumbik Heritage Review

Attachment 1. Nillumbik Shire Heritage Review - Stage A Key Findings and Citations.



Figure 10. Large expanses of glazing create window walls, allowing light and landscape to penetrate the internal spaces. Aluminium cladding (right image) and glazing work together to add a lightness to the building. (Source: ArchitectureAU 2017)

Water, a leading design principle of landscape designer Gordon Ford, is integrated ~~throughout the property's bush garden landscaping and~~ into the building and its courtyards. Ponds ~~featuring at the entrance to the house as well as feature at the entrance door and~~ in the atrium at the heart of the residence. Ford's signature volcanic boulders and native groundcover plantings complete the design. ~~As the planned landscaping falls away from the house's immediate surroundings,~~ natural Native vegetation covers the remainder of the site, mostly mature eucalypts (Figure 11). A larger pond and associated rock work was constructed immediate west of the house in c.2005 to a design by Sam Cox a protégé of Ford's.



Figure 11. The intersection of curved and straight walls creates outdoor spaces with a sense of enclosure. Aluminium cladding and glazing work together to add a lightness to the building. ~~Ford's bush garden landscaping blends seamlessly with the surrounding natural vegetation~~ (Source: ArchitectureAU 2017)



Figure 12. The central atrium garden features Ford's signature interplay of water and volcanic rock ~~with delicate native plantings~~ (Source: ArchitectureAU 2017)

A carport located to the northwest of the house was built for [REDACTED] in 1988 to a design by Wood Marsh, an architectural firm founded by two of the original partners of Biltmoderne. The structure is open on all sides and constructed of steel. The main piers are set on dynamic angles, with three curved, exaggerated steel trusses forming the roof structure (Figure 13).





Figure 13. The steel carport designed by Wood Marsh and constructed in 1988. (Source: ArchitectureAU)

### INTEGRITY

██████████ is highly intact with minimal to no changes visible to original and early fabric. The building retains its complex, flat roofed form, designed around a limestone spinal wall and atrium. Mount Gambier limestone walls, aluminium cladding, glazing and pattern of openings are also in evidence.

The integrity of the house is greatly enhanced by the high level of intactness of these main elements, including details such as the expanses of glazing and aluminium cladding, ~~and elements of Ford's landscape design including the various forecourt and garden spaces, ponds, volcanic boulders and native plantings.~~ The carport, constructed in 1988, shortly after completion of the ██████████, has retained its original sculptural form and has not been subject to visible changes. Overall, the site has very high integrity to the designs of Biltmoderne, Wood Marsh and Gordon Ford.

### COMPARATIVE ANALYSIS

Architect-designed homes became more common in Nillumbik, and its surrounds, from the 1970s. This period saw up-and-coming architects turn their hand to designing residences in the area, many of which responded to the tradition of informality, natural materials and integration with the natural environment that had become hallmarks of the 'Eltham style'. Many of these designs, however, exhibit aesthetic differences that reflect a wider engagement with evolving ideas within Australian architecture being explored within the profession at the time of their construction. Built in the mid-to-late 1980s, the ██████████ ~~both references acknowledges~~ the 'Eltham style' mudbrick homes that proliferated in the 1950s and 1960s ~~through the use of massive masonry walls and continue to be used in housing design in the area today.~~

In his 1991 book, *New Spirit of Architecture*, Peter Cook showcased the work of 41 international designers. ~~wrote that the was Australia.~~ Cook observed that the hotbed of 'post-tech' architecture internationally was Australia, identifying 'invention' as a mainstay of residential design in Australia during the period 1976 to 1991 (cited in Jahn 1996:11). Over these years, a small group of architects in Melbourne experimented with adventurous three-dimensional compositions and minimal detail, consciously avoiding any obvious relationship with the outdoors. The ██████████ is an example of this work (Jahn 1996:11).

The ██████████ sits solidly in the landscape. Its form, with its irregular, abstract and undulating sculptural geometries, infers a connection with the organic forms of the surrounding landscape. However, the dynamic forms and contrasting materials of the house are consciously articulated from the natural world. It presents as a discontinuous sculptural object within the landscape rather than



striving to integrate with it materially or formally. In this sense, the architecture of the [REDACTED] is more 'an extension of abstract modernism' (Jahn 1996:171) than having a strong affinity with the romantic and earthy Organic architectural style that influenced the development of the 'Eltham style'.

~~Throughout Nillumbik there are hundreds of 'Eltham-style' mudbrick homes, several of which are protected on the Heritage Overlay. Other high-quality~~ High-quality architect-designed houses in the locality include the [REDACTED] at [REDACTED], Warrandyte North (HO104, built c1955), designed by Fritz Janeba. The Buzacott House exhibits modernist characteristics, with a skillion roof, form designed to respond to its site context and use of natural materials, notably the heavy stone walls. Another comparison is the [REDACTED] at [REDACTED], Warrandyte North (HO105, built 1964), designed by Robyn Boyd, which employs the same use of stone walls as the nearby [REDACTED]. Due to their earlier construction date and disparate aesthetic preoccupations, these places provide limited comparison with [REDACTED]. For this reason, it is necessary to compare [REDACTED] with other buildings designed by the firm Biltmoderne, its successor Wood Marsh and the principal architects of these firms, despite them being located outside of the municipality.

#### Biltmoderne



Former McCray & Way Film production studios, [REDACTED], Port Phillip City (Contributory - H0440). (Source: realcommercial.com.au, December 2013)

A c1983 building, built for the McCray & WayFilm company. The building is noted for its two facades with shaped feature windows, outward curving and zig zag walls, decorative medallions and use of steel and glass. It is a Contributory-graded building in the HO440 Emerald Hill Residential heritage precinct in the City of Port Phillip, and has also been identified as being of potential historical and aesthetic significance as an Individually Significant place (VHD).



Gallery House, [REDACTED], Boroondara City (H0597). (Source: realestateview.com.au, 2004)

Gallery House was designed and built by architect Dale Jones-Evans between 1987 and 1991, who later became part of the innovative architectural practice Biltmoderne. Gallery House is of architectural significance to the City of Boroondara for its innovation recognised through the Royal Australian Institute of Architects Robin Boyd Award for residential buildings in 1991 (VHD).



#### Wood Marsh



Gottlieb House, [REDACTED]  
(Source: Google Maps)

A two-storey flat-roofed reinforced concrete house on an elongated and irregular plan designed and built between 1990 and 1994. Its street frontage is dominated by a blank elliptical volume penetrated by a projecting rectilinear bay with fin-like mullions and mirrored glazing, with a steel front door and a simple trabeated concrete slab carport. Recommended for inclusion in the City of Glen Eira Heritage Overlay as an Individually Significant place (VHD).



[REDACTED] Mornington Peninsula Shire  
(Source: Wood Marsh)

A 2010 residence designed by Wood Marsh. Designed to respond to the seaside conditions, with a pair of curved rammed-earth walls arcs across the landscape to divide the site and building. To one side of this central spine, views to Western Port Bay are captured and framed; to the other, the vista is back into the slope of the land, away from prevailing winds (Wood Marsh).



[REDACTED], Mornington Peninsula Shire  
(Source: Wood Marsh)

A 2012 residence designed by Wood Marsh. At the entry point, a monolithic earthen wall reveals a door. Heavily textured white walls echo the coastal environment and deeply recessed windows are framed in charcoal timber to emphasise their depth (Wood Marsh).



Towers Road House, [REDACTED]  
Stonnington City (Source: Wood Marsh)

A 2019 residence designed by Wood Marsh. Conceived as an abstract sculptural form, the house curves around a sloping site. The substantial concrete wall has a series of landscaped arcs that extend the garden to the street. The top of the building is a horizontal line, finished with a three-dimensional hemisphere made to look as though it gently penetrates the concrete mass below. Clad in zinc, this form references an inverted roof or dome (Wood Marsh).



#### Discussion

The [REDACTED], is comparable to the former McCray & Way Film production studios in Francis Street, South Melbourne, as an example of the work of architectural firm Biltmoderne, despite being built for a fundamentally different purpose. Key common architectural details can be seen across both buildings, namely the aesthetic contrast afforded by the use of heavy sculptural forms with the more dynamic steel and glazed elements.

When compared against later examples by Wood Marsh, key common elements also are evident. This includes the use of monumental masonry walls, sculptural massing, and an abstract response to site context. [REDACTED] bears similarity to Merricks House built 2010, with its similar curved 'spinal wall'. The Flinders House, built in 2012, features a similar entry way to the subject site, with a human scale doorway enclosed within monumental, fortress-like walls. While later Wood Marsh examples show a preference for concrete or rammed earth rather than limestone, all of the examples exhibit the same use of solid materiality and sculptural form that contrasts with more angular glass and steel elements. [REDACTED], as an excellent example of the work of architects Biltmoderne can be read as a formative piece of work that foregrounds the aesthetic explorations of many later commissions by its successor, Wood Marsh.



## STATEMENT OF SIGNIFICANCE

### WHAT IS SIGNIFICANT?

The [REDACTED], designed by architects Biltmoderne and built between 1985 and 1988 for owner [REDACTED], is significant.

Elements that contribute to the significance of the place include the:

- original ~~sculptural~~ exterior built form and ~~scale materials of the house~~, including the distinctive 'spinal wall' and central atrium;
- ~~remnant~~ elements of Gordon Ford's original ~~bush garden landscape design, including the~~ central atrium and courtyard spaces, ~~ponds, volcanic boulders and native plantings~~; and
- open steel carport, designed by Wood Marsh and built in 1988.

### HOW IS IT SIGNIFICANT?

The [REDACTED], is of local aesthetic and associative significance to the Shire of Nillumbik.

### WHY IS IT SIGNIFICANT?

The [REDACTED] is aesthetically significant as particularly well designed and detailed architect-designed house that is carefully sited within a bush garden ~~landscape designed by Gordon Ford~~. Designed by architects Biltmoderne, the building 's sculptural form is expressed in a palette of limestone, aluminium and glass. The use of fluid lines, refined metal and glazing juxtaposes with the house's solid limestone massing; ~~both a reference to and clear break from the 'Eltham style'. The architects also designed furniture for the interiors of the house, showing an integrated approach to all aspects and functions of the site.~~ In recognition of the innovative design, the house won the 1987 RAlA Victorian Merit Award for Outstanding Architecture and was profiled in the media and in books on architecture, including Graham Jahn's *Contemporary Australian Architecture* (published in 1994). The property's aesthetic significance is further enhanced by the ~~bush~~-garden elements ~~including designed by Gordon Ford including signature use of~~ ponds, volcanic boulders and native plantings in the various ~~garden courtyard~~ spaces, designed to blend with the surrounding natural vegetation on the site. ~~as well as the~~ The steel carport, built in 1988 to designs by Wood Marsh (the architectural firm created after Biltmoderne by two of its directors, Roger Wood and Randal Marsh) is complementary in style to the house. (Criterion E)

The [REDACTED] is significant as an important early residential commission for the firm of Biltmoderne. The firm were to ~~quickly~~ become Wood Marsh with the departure of founding partner Dale Jones-Evans in 1987, and as such the site is one of only a handful of residences designed by the earlier partnership. It can be read as a formative piece of work that influenced the designs of many of the later commissions by Wood Marsh. The commissioning of [REDACTED] coincided with a period of great recognition for Biltmoderne, where their work was celebrated widely in the architectural community. The firm has since become internationally recognised for their work. (Criterion H)



**CM.087/21      Nillumbik Heritage Review**  
**Attachment 1.      Nillumbik Shire Heritage Review - Stage A Key Findings and Citations.**

**RECOMMENDATIONS**

Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as an Individually Significant place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>Nillumbik Planning Scheme</b>	
External paint controls	No
Internal alteration controls	No
Tree controls	No
Outbuildings or fences	Yes – Carport
To be included on the Victorian Heritage Register	No
Prohibited uses may be permitted	No
Aboriginal heritage place	No
<b>Other</b>	
N/A	

**Extent of the Recommended Heritage Overlay**

To the extent of the property boundary as shown in Figure 14 below.

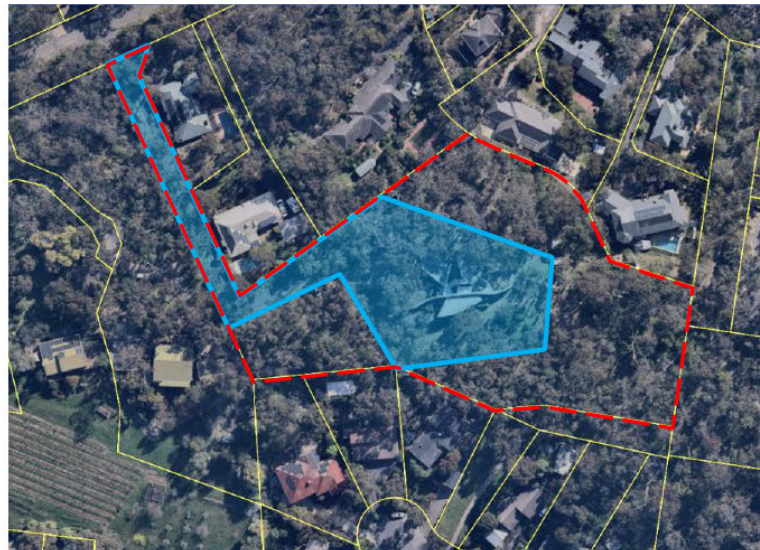


Figure 14.  
Recommended Extent of  
Heritage Overlay

**KEY**

Property boundary

Extent



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ABN: 62 348 237 636  
ARBV: 51910

[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]

By email: [REDACTED]

31 March 2023 - DRAFT FOR REVIEW

Dear Mr [REDACTED]

**VCAT PROCEEDING P1368/2022 – NILLUMBIK PLANNING APPLICATION  
1230/2021/103P: [REDACTED] – HERITAGE ADVICE**

I received the following instructions from you on 24 March 2023 in relation to the property [REDACTED] (the subject site):

1. *Review this letter and the attached brief of documents and provide a short memorandum summarising your opinion on:*
  - (a) *whether your preliminary advice dated 24 September 2021 in relation to the proposed heritage significance of Choong House remains current; and*
  - (b) *whether the proposal represents an acceptable heritage outcome having regard to the following:*
    - *your previous preliminary advice;*
    - *the proposed (amended) subdivision plan;*
    - *any other matter you consider relevant.*
  - (c) *having regard to your preliminary advice and the proposed (amended) subdivision plan whether the proposed subdivision represents an acceptable heritage outcome.*

As you are aware, I undertook a desktop peer review of the Heritage Citation and Statement of Significance prepared by Context P/L on behalf of Nillumbik Shire (Council) for the subject site and provided a letter of preliminary advice in respect



of the heritage assessment and the recommended extent of the Heritage Overlay. A site inspection was not possible during the preparation of my preliminary advice due to Covid 19 travel restrictions.

I concluded that the entire cadastral block did not need to be included in Heritage Overlay to effectively manage the assessed heritage values of [REDACTED] and the associated Gordon Ford-designed landscape features. In my preliminary advice I recommended that a smaller extent of land be included in the Heritage Overlay (refer Figure 1) and I recommended a number of other changes to the Heritage Citation and Statement of Significance contained within the *Nillumbik Shire Heritage Review 2021*.

In the preparation of this letter of opinion, I had the opportunity to inspect the house and the land in bright overcast conditions on 22 March 2023. During this visit I paid particular attention to the boundaries of the proposed subdivision and the siting of the proposed new dwelling to the southwest of [REDACTED]. I also considered the key view line towards [REDACTED] on approach from the east-west orientated driveway. A series of photographs taken during this site visit are provided as an appendix to this opinion.

I have also considered the material provided in your brief. In considering potential impacts on the assessed heritage values of the subject site I have had regard to the amended plans prepared by Terrain Consulting Group and Mont-Eltham Building Design. While I note that the property is not subject to the Heritage Overlay and there is therefore no permit trigger at Clause 43.01-1 of the Nillumbik Planning Scheme, I have considered the aesthetic (Criterion E) and associative (Criterion H) heritage values asserted in the 2021 Statement of Significance and the recommended content of the Schedule to the Heritage Overlay, being that external paint, internal alteration and tree controls should not apply. Further, I note that it is recommended that the carport should be subject to notice and review under Clause 43.01-4.

I address each of your questions to me in turn below.

***Whether your preliminary advice dated 24 September 2021 in relation to the proposed heritage significance of Choong House remains current?***

Having visited the subject site and reviewed my advice of 24 September 2021, I remain of the view that the Context P/L Heritage Citation provides a *prima facie* case for including [REDACTED] in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme against Criterion E (aesthetic significance) and Criterion H (associative significance). I also consider that the changes I recommend to the content of the Heritage Citation and the Statement of Significance remain appropriate and necessary to ensure that the assessment of the subject site's local heritage values is robust and accurate. As such, it remains my view that [REDACTED] demonstrates a *prima facie* case for local heritage significance for the following reasons (as per my recommended amended Statement of Significance):

[REDACTED] is aesthetically significant as particularly well designed and detailed architect-designed house that is carefully sited within a bush garden. Designed by architects Biltmoderne, the building's sculptural form is expressed in a palette of limestone, aluminium and glass. The use of fluid lines, refined metal and glazing juxtaposes with the house's solid limestone massing. In recognition of the



*innovative design, the house won the 1987 RAIA Victorian Merit Award for Outstanding Architecture and was profiled in the media and in books on architecture, including Graham Jahn's Contemporary Australian Architecture (published in 1994). The property's aesthetic significance is further enhanced by the bush garden elements designed by Gordon Ford including ponds, volcanic boulders and native plantings in the various courtyard spaces, designed to blend with the surrounding natural vegetation on the site. The steel carport, built in 1988 to designs by Wood Marsh (the architectural firm created after Biltnoderne by two of its directors, Roger Wood and Randal Marsh) is complementary in style to the house. (Criterion E)*

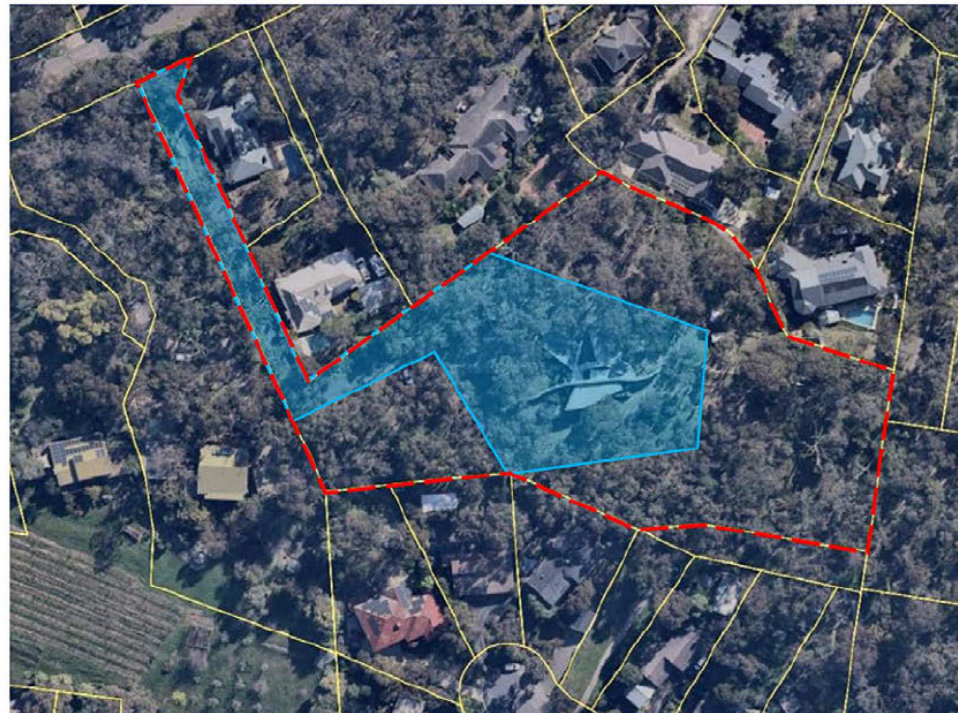
*[REDACTED] is significant as an important early residential commission for the firm of Biltnoderne. The firm were to become Wood Marsh with the departure of founding partner Dale Jones-Evans in 1987, and as such the site is one of only a handful of residences designed by the earlier partnership. It can be read as a formative piece of work that influenced the designs of many of the later commissions by Wood Marsh. The commissioning of [REDACTED] coincided with a period of great recognition for Biltnoderne, where their work was celebrated widely in the architectural community. The firm has since become internationally recognised for their work. (Criterion H)*

In my September 2021 peer review, I recommended a reduced Heritage Overlay extent that included the driveway and provided a 20m curtilage to the west and a 15m curtilage to the northern, eastern and southern points of [REDACTED]. Having visited the property in its bushland setting, I remain of the view that this extent of curtilage protects the key view of the house along the driveway to the west and provides an appropriately secluded setting consistent with the design philosophy of sensitively integrating the form of the house into the hill-top topography and vegetated setting.

I address the impact of the proposed subdivision on my recommended Heritage Overlay extent below.



Figure 1.  
Recommended  
Heritage  
Overlay extent  
(shaded in blue)  
from my peer  
review dated 24  
September  
2021.



(Source: Figure 6, GJM Letter dated 24 September 2021)

**Whether the proposal represents an acceptable heritage outcome having regard to the following:**

- **your previous preliminary advice**
- **the proposed (amended) subdivision plan**
- **any other matter you consider relevant?**

While my preliminary heritage advice acknowledged that subdivision of the subject site was under consideration, my previous analysis was not informed by a specific subdivision or development proposal and was based only on the assessed heritage values and fabric of the subject site.

The amended proposal before the Tribunal is for the subdivision of 892m<sup>2</sup> of land in the southwest corner of the subject site and the creation of common property over the north-south orientated driveway that services both [REDACTED] and the proposed new lot.

The proposed new dwelling is a contemporary style single-storey dwelling located to the south of the subdivided lot; a freestanding carport is proposed towards the western boundary. The house is massed around a central living space with a north-facing clerestory window. The roofs are flat and step down across the plan form in response to the topography of the land, which also helps break down the massing of the building. The house is proposed to be clad in a dark Hawthorn brick and Spotted Gum board and batten timberwork. The window and door joinery is



proposed to be powder coated in Colorbond 'Monument'; the roof cladding is Colorbond 'Ironstone' in Trimdek profile.

The existing vegetation substantially screens the new dwelling in views from [REDACTED]. While the new carport and house will be visible on the approach from the north-south orientated driveway, the single longer view towards the [REDACTED] and its associated carport and pond along the east-west orientated driveway will be maintained unaltered. The low single-storey form of the proposed new dwelling, coupled with its varied massing and recessive, natural materials palette, will minimise its the visual impact such that it will not detract from the assessed heritage values or the setting of [REDACTED].

The proposed new dwelling does not attempt to compete with the more expressive forms and architecture of the existing house and I consider the recessive design to be acceptable within the heritage context of the place.

Figure 2. extract  
of drawing  
20221D03s  
'Design  
Response'  
prepared by  
Terrain  
Consulting  
Group.



While the construction of the new dwelling and associated carport requires the removal of a number of trees, the landscape setting and screening provided to [REDACTED] will be substantially maintained and I note that tree controls were not recommended to be applied to the Heritage Overlay as part of the 2021 Heritage Review.



*Having regard to your preliminary advice and the proposed (amended) subdivision plan whether the proposed subdivision represents an acceptable heritage outcome?*

The proposed new lot is located in the southwestern corner of the subject site with the new title boundary located approximately 25m from the westernmost point of the projecting south wall. This provides a more than adequate curtilage for [REDACTED] its associated landscape features and heavily vegetated setting. The proposed subdivided lot generally fits within an area I have previously recommended be excluded from the Heritage Overlay extent and it is therefore my view that development on this land will have no adverse impact on the assessed heritage significance of [REDACTED].

Figure 3 below shows my recommend extent of the Heritage Overlay and the proposed subdivision boundary in the southwestern corner of the subject site.

*Figure 3.  
Recommended  
Heritage  
Overlay extent  
(shaded in pink)  
and proposed  
subdivision  
boundary  
outlined in  
white.*



(Source: Nearmap, 1 January 2023)

Even if the whole of the current cadastral lot was included in the Heritage Overlay, it is my view that proposed subdivision is an acceptable heritage outcome due to:

- The retention of a substantial bushland setting around [REDACTED] and its associated landscape features;
- The retention of all heritage elements (including [REDACTED], the carport and ornamental pond) on a single lot;
- The limited visibility of any new development on the proposed lot due to the retained vegetation, the distance of the new lot from the westernmost point of [REDACTED] and the natural fall of the land; and



- The maintenance of intimate views of [REDACTED] and the single longer view along the east-west orientated driveway.

In summary, although not included on the Heritage Overlay of the Nillumbik Planning Scheme, it is my view that the proposed subdivision proposal represents an acceptable heritage outcome for [REDACTED] in the context of its assessed heritage values.

Please do not hesitate to contact me if you require further heritage advice in relation to this matter.

Yours sincerely,



DRAFT FOR REVIEW



**APPENDIX: SITE PHOTOGRAPHS (22 MARCH 2023)**

Note: no images of the interior of the [REDACTED] are included below as the 2001 Heritage Review did not recommend that 'Internal alteration controls' be selected in the Schedule to Clause 43.01.



Figure A1. View from Diosma Road looking south up the drive way



Figure A2. View from the southern point on the driveway looking north towards Diosma Road



Figure A3. View from the southern point on the driveway looking east towards the [REDACTED]



Figure A4. View from the end of the driveway looking west



Figure A5. View along the driveway looking east towards the [REDACTED]



Figure A6. Carport





Figure A7. Ornamental pond west of the [REDACTED]



Figure A8. Entry of the [REDACTED]



Figure A9. Looking along the southern flanking wall toward the entry



Figure A8. Detail of the entry





Figure A11. Landscaped entry



Figure A12. Landscaped courtyard ('atrium')



Figure A13. [redacted] viewed from the southwest



Figure A14. [redacted] viewed from the east



Figure A15. South elevation



Figure A14. North elevation



Response No:  
10

Contribution ID: 23213

Member ID:

Date Submitted: Jul 26, 2023, 04:31 PM

Q1

Long Text

Type your submission to C149nill Heritage Review in the box below. If you are referencing a particular location or heritage place, please provide the full address.

It is important that Heritage status be given to places of historical, architectural, public, cultural and environmental significance in Nillumbik Shire. With pressure mounting to provide more and diverse housing it is even more crucial to apply a heritage listing to these places before they are lost.

There are many examples throughout the Shire of personal properties which need Heritage protection. Many of these are listed in the accompanying documents that are provided by the Shire. Nillumbik Shire is well known for its association and support of architects, builders, artists, landscapers and the like.

In the public realm one of the obvious areas to apply Heritage status to would be the Eltham War Memorial Building Complex at [REDACTED]. This complex was designed and built as a lasting reminder of the reasons that so many men and women went to war .....to protect the country and in particular the babies and children. These buildings, gates and gardens were built just after World War 2 by the women of the Eltham Area to provide the much needed services of health centre, children's library and later on kindergarten and meeting rooms. It was unusual to provide this as a War Memorial. Hence this needs have Heritage protection.

Q2

First Name

Short Text

Q3

Last Name

Short Text

Q4

Email

Email

Details

Stage A - 22

Support



Response No:  
11

Contribution ID: 22231

Member ID: 2233

Date Submitted: Jul 06, 2023, 08:01 PM

Q1

Long Text

Type your submission to C149nill Heritage Review in the box below. If you are referencing a particular location or heritage place, please provide the full address.

Heritage listing is a way of protecting, conserving and enhancing buildings, areas or other places of local heritage significance in accordance with the Planning and Environment Act 1987. The Nillumbik Shire Council uses a heritage overlay in the Nillumbik Planning Scheme to identify and manage such places, based on heritage studies and planning scheme amendments.

However, not all places that have historical or cultural value are necessarily suitable for heritage listing. Heritage listing should be based on clear criteria of local significance, such as architectural, aesthetic, social, historical or scientific importance. It should also reflect the preferences and opinions of the local community, who are the primary stakeholders and beneficiaries of heritage conservation.

One example of a place that may not warrant heritage listing is a dwelling at [REDACTED] which was constructed in a European medieval revival style in the 1950s. Although this style is associated with the former Shire of Eltham since the construction of Montsalvat (from 1934), it is not unique or rare in the area, nor does it have any special connection to the history or identity of Eltham. Therefore, it may not meet the threshold of local significance required for heritage listing. There are many examples which are present in the list which are regarded for heritage listing in Eltham if you drive around Eltham you would see many examples of.

On the other hand, some examples of places that may deserve heritage listing are those that have a unique or distinctive character, that represent the development or identity of Eltham and Nillumbik, or that have a strong community attachment or involvement. For instance, the Eltham Court House and Police Quarters (built in 1859-60) are among the oldest surviving buildings in Eltham and reflect its role as a former administrative centre. The Montsalvat artist colony (built from 1934) is a landmark of artistic and cultural expression and innovation in Eltham and beyond. The Eltham District Historical Society (established in 1967) is a vital source of local history research and education for the community. The Eltham Miniature Railway (operating since 1984) is a popular attraction and a showcase of engineering and craftsmanship by local volunteers.

These places may have more merit for heritage listing than others that are more common or generic in their appearance or function. However, ultimately, the decision should be informed by the views and values of the local residents, who should have a say in what they want to preserve and celebrate as part of their heritage. One way to gauge this is to conduct a poll on individual properties to see which ones are most valued and supported by the community for heritage listing. This would ensure that heritage listing is not imposed arbitrarily or without consultation, but rather reflects the collective will and interest of the people who live in Eltham and Nillumbik.

Q2

First Name

Short Text

Q3

Last Name

Short Text

Q4

Email

Email

Details

No specific property specified  
Object & Support



Response No:  
12

Contribution ID: 21973

Member ID:

Date Submitted: Jun 30, 2023, 04:20 PM

Q1

Long Text

Type your submission to C149nill Heritage Review in the box below. If you are referencing a particular location or heritage place, please provide the full address.

I must correct your description of the house "The house at [REDACTED] stands out as an example of a brick bungalow dwelling, rather than the more dominant weatherboard found during this period. Stylistically, [REDACTED] include earlier features and details, reminiscent of Edwardian-era design. Whereas [REDACTED] demonstrates the newer ideas and development of the brick bungalow. ". My Grandfather's house is weatherboard not brick and has suffered from the usual Termite infestation in the last ten years. The facade that makes it look like a Californian Bungalow was an addition to the original 2 room dwelling that he bought in 1928. It added a lounge room and master bedroom as well. All this information was provided to the young lady who came to view the house a few years back concerning the Heritage listing. If the Heritage overlay is based on that point of difference I must ask you to again come and check what you are doing. If any further information about the use of the block over the last 95 years is required please ask as my 86 year old Father has never lived anywhere else and could fill you in on most things.

Q2

First Name

Short Text

[REDACTED]

Q3

Last Name

Short Text

[REDACTED]

Q4

Email

Email

[REDACTED]

Details

[REDACTED]

Stage B - 366

Support with changes



Response No:  
13

Contribution ID: Email  
Member ID:  
Date Submitted: August 03, 2023

First Name

Last Name

Organisation

n/a

Email

Address

Details

Stage A - 10  
Objection



## Submission to the planning scheme amendment C149nill Heritage Review – [REDACTED], Eltham North

The following submission relates to the house located [REDACTED] Eltham North. We make this submission as the owners of that property and residents of the house.

We object to the inclusion of the house within the heritage overlay, and particularly to the proposed solar energy system control that is part of the *Schedule to the Heritage Overlay*.

With respect to the Context heritage consultant report (reference 1: *Shire of Nillumbik Advisory Consultant Services: Nillumbik Shire Stage A - Places Key Findings, dated 7 June 2021, Context Consulting*), and the Heritage Citation specific to the home (reference 2:

*Stage\_A\_Citation\_WORD\_* [REDACTED]), we submit that the heritage value and integrity of the house is overstated, and that the basis for heritage overlay application is inconsistent and thus poorly substantiated.

### Significance

We submit that the threshold for local significance of the house has not been met.

The house at [REDACTED], as a family home without historical significance or community renown, is not a place that is important to the Nillumbik community or locality. The *Nillumbik Shire Thematic Environmental History*, 2016 (reference 3), Section 6.6, relates to the period of construction of the home at [REDACTED], and is the historical context identified in the Heritage Citation (reference 2). However, the house's architect, Glyn Lewis, is not cited in that document among the architects known for working in the area during the period of the 1960's and 1970's suburbanisation, and does not appear to have had any significant role in the broader architectural movement at the time, or in the local area. In fact, the Context report also appears to question the relevance of the house in the historical context as the report includes a question mark against the theme: "6.6?" (reference 1, p. 29).

Further, the only reference to 'Glyn Lewis architect' among broad and lengthy web searches is in the real estate agent-generated promotional materials for the house's sale in 2017. Glyn Lewis does not appear in any searches of the online databases available from the National Archives of Australia or the National Library of Australia. We submit that just because the



real estate agent was able to identify the name of the architect, this does not, automatically, bestow 'renown' on the architect or his work. There is little evidence to suggest that Glyn Lewis is or was a renowned architect like Robin Boyd or Kevin Borland, nor an architect synonymous with Eltham like Alistair Knox.

Unlike other places under consideration for inclusion in the heritage overlay amendment, such as the Kevin Borland-designed house (Nichols House) at [REDACTED] the house at [REDACTED] did not win any architectural awards, and has no formal or architectural name, being simply listed as 'House' in the consultant report.

Assessment against Heritage Criteria

We agree with the Context report (reference 1) that Heritage Criteria A, B, C, F, G and H do not apply to the house.

However, the Context report (reference 1) is not clear or consistent with respect to the Heritage Citation (reference 2) in the basis for application of the heritage overlay. The Heritage Citation (reference 2) nominates Criterion D (representativeness) as the reason for heritage overlay application, however this is not consistent with the Context report that nominates Criterion E (aesthetic significance) (reference 1, p. 6), with no reference to 'representativeness' whatsoever.

We submit that Criterion E does not apply as no evidence was provided in the Heritage Citation to support it.

We further submit that Criterion D does not apply because, as stated above, there is not sufficient evidence that the house is representative of the theme 6.6 *Architect-designed housing in the 1960s and 70s* (reference 3). We submit, as further evidence, that the Context report itself (reference 1, p.6) does *not* identify Criterion D as applicable to the house. The houses used for comparison in the Heritage Citation (reference 2), are not significantly comparable to that of [REDACTED], beyond being originally architect designed and constructed during a similar time period. While it is correct that [REDACTED] departs from the typical 'Eltham Style' of mud brick construction and organic relationship to the surrounding landscape, it does not feature the key similarities of comparison properties such as the inward sloping walls or circular windows of the Burns House, or raw, exposed materials and cuboid forms of [REDACTED].



### Integrity

The Heritage Citation (reference 2) states that “overall, the house has high integrity to its original design by Glyn Lewis”. We submit that this is incorrect; the house’s integrity has been significantly overstated as it has been continually and significantly modified over its life.

From discussions with the original owners during the purchasing of the property at auction, we are aware of history of the house that is not included in the Context report (reference 1) or the Heritage Citation (reference 2), and several details from these documents that are incorrect.

The original construction of the house was undertaken between 1972 and 1975 according to designs by Glyn Lewis, however, the extension on the southern side of the home (referred to as a family room in reference 2) was undertaken between 1990 and 1991 without consultation with the original architect. This extension significantly changed the geometry of the roofline and building footprint on the southern side of the house to incorporate a large glass roof and attached pergola, in addition to an extension of an existing room and an additional room. The glass roof and pergola differ in their geometry and construction from that of the original building. The pergola incorporates a regular rectangular shape that is quite different from the irregular shapes of the original roof design, and the new room of the extension incorporates a gable and large cross section steel beam, neither of which can be seen elsewhere in the original design.

The 1990s southern extension resulted in the demolition of an external block work partition wall. This wall extended several meters beyond the roofline of the original construction, in the same manner as the walls on the north side of the home.

Further, the roofline at the northern entry of the home was modified after the original construction to add polycarbonate roof sheeting over the sloping path to the front door. This modification can be seen in the aerial photographs of reference 2, in the comparison of figure 4 against figures 5 and 2. The skylights on the roof (identified in reference 2 as elements that contribute to the significant of the place) are also not original, being added during remodeling of the bathroom, laundry and ensuite in mid-2000s (we understand at approximately the same time the garage was added). These skylights do not appear in the historical aerial photographs, (reference 2, figure 4), and directly impact the integrity of the original roof design.

Other clarifications to the details of the Heritage Citation are that the original construction in 1975 was with unfinished concrete blocks. Shortly after purchasing the property we were shown photos of the original unfinished concrete blockwork by the original owners. The Heritage Citation considers the “bagged concrete blockwork” as an element that contributes to the significance of the place, however the bagging (and painting) of the concrete



blocks was undertaken many years after the original build and has low integrity to the original design finish.

We understand that the heritage overlay aims to protect the heritage fabric of streetscapes from unsympathetic alterations and impacts. However, the streetscape of [REDACTED] has already been significantly impacted by previous unsympathetic alterations – the addition of the carport and garage at the front of the property in 2004 – and therefore has low integrity to the original streetscape. These additions are identified in the citation as being “shrouded in vegetation and not intrusive” (reference 2). This is only partially correct. While the garage is surrounded in vegetation, it does in fact block the view of the house from Progress road significantly. Figure 1 and 2 of the Heritage Citation (reference 2) depict the home from a point of view of someone standing on the driveway, well within the property boundary. This is not an accurate representation of the streetscape or how the property can be viewed from the street, as there is no footpath on the house side (southern side) of Progress Road. Due to the location of the footpath, as well as the position of the garage on the block, the garage significantly obstructs the view of the home. Figures 1, 2 and 3 (below) illustrate views towards the house from the Progress Road footpath. The views shown in figures 1 and 2 in particular depict the obstructed street view of the house by the garage.



Figure 1: Streetscape view from Progress road footpath looking southwest.





Figure 2: Streetscape view from Progress road footpath looking south.



Figure 3: Streetscape view from Progress road footpath looking southeast.



Recommendations associated with the Schedule to the Heritage Overlay

Should the heritage overlay for the house still be pursued by Nillumbik Shire Council despite our objections, we request that application of *solar energy systems controls* in the recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme, not be applied.

We submit that this is an unreasonable control to impose given the incredibly high and escalating costs of energy and the global and local imperative to transition to renewable sources of energy in the face of the climate emergency.

It is noted that the Victorian Planning Provisions, section 19.01-2R, Renewable energy – Metropolitan Melbourne Strategy reads: “*Facilitate the uptake of renewable energy technologies on a site-by-site and neighbourhood level during the master planning of new communities and in green wedge and peri-urban areas.*” We wish to understand how the Nillumbik shire council will seek to balance and prioritise this strategy with the heritage overlay in the current climate context.

We also note the recent VCAT decision with respect to a solar energy system (among other planning issues) installed on Zen Den café in the Nillumbik Shire (Copper Line News, July 2023). The building in this case was subject to a heritage overlay, and the applicant was partially successful in appealing a decision by the shire, that required the majority of the solar panels to be removed. As described in the Copper Line News article, there was “substantial financial cost” for the applicant to engage a heritage consultant, associated with the VCAT appeal process.

Personal Statement on the Impact of Heritage Overlay

Lastly we object to the application of the heritage overlay on the basis that this property is a family home, and has been so since it was constructed. The application of a heritage overlay would represent a burden to us as owners and potentially have adverse impact on its resale value by reducing the pool of potential buyers. It is worth noting that we were the only bidders for the home at its last sale in 2017.

As we have detailed in this document, the home has been extensively modified over its life to date. The permanent application of a heritage overlay would act as an impediment to any potential modifications that may arise in future to address needs associated with climate change, aging in place and multigenerational living.

Particularly the proposed application of solar energy system controls associated with the heritage overlay would prevent us as owners and residents of the home from making a direct contribution to addressing the



climate emergency and would greatly restrict avenues available to managing our energy costs.

Although it may not be material to the submission, we would also like the Council and panel members to be aware of the undue stress and anxiety that this process has had on us.

While we sincerely appreciate the opportunity to meet with Senior Strategic Planner - [REDACTED], (Nillumbik Shire Council offices, 11th June 2023), and the generous time he provided to help us understand the process and scope of the heritage overlay, the heritage process has not been straightforward or without impact on us.

We were first contacted by Nillumbik shire council approximately 3 years ago as part of the stage A survey undertaken by Context consulting. Since then, contact by Context and Nillumbik shire has been very sporadic and at times confusing. From the initial contact by Nillumbik shire officers in 2020 until a letter informing the status of the heritage overlay process in September 2022, it was not clear at all if the heritage overlay process was proceeding, or had been discontinued. The overall heritage overlay process has now been ongoing for three years.

We are a couple with two young children in primary school, who both work outside the home and provide care to our ageing parents and other family members. In the current climate of rising cost of living pressures, mortgage repayment increases, and the post pandemic return to office-based work, the ongoing heritage overlay process has been an unwelcome additional stress.

We do not own any other property and our home is by far our largest asset. We have concerns that the heritage overlay will adversely impact the value and utility of our home.

Lastly, we have written this submission ourselves because the cost of expert advice was outside our financial reach. Not being experts in this area, it has taken us significant time to understand the process, and research and draft this submission.



Response No:  
14

Contribution ID: Letter

Member ID:

Date Submitted: 03 August 2023

First Name

[Redacted]

Last Name

[Redacted]

Email

[Redacted]

Address

[Redacted]

Details

[Redacted]

Stage B - 30

HO323

Objection



## Owner Submission Proposed Heritage Overlay



3 August 2023

Strategic Planning  
Nillumbik Shire Council

32 Civic Drive  
Greensborough 3088

Dear [REDACTED]

I am writing in regard to the proposed heritage overlay for our property [REDACTED] as listed in Amendment C149NILL.

The concerns I have are the following:

-Whilst we understand the historical significance of the main building and the outbuilding, we do have concerns. At this stage we wish to leave the property externally in its current form, including colours and the complete under-roof footprint. We have however considered an extension to the side of or building a second story onto the property. These would be built to maintain a heritage appearance as currently displayed on the buildings. A caveat on the residence would preclude this and as such we strongly object to the Overlay. One of the reasons we purchased the property was due to its historical and heritage appearance, and as such we have no desire to modify the appearance in such a manner as to change it to appear anything but original aesthetically.

-The palm trees (3 identified) are not native to the area, and in fact are not native to Australia. The two trees at the front of the property are not in their original position and were moved to make way for the two-car garage. Currently one of the trees is in poor health and will require removal in the near future. I see no need for these trees to be included within the overlay as they have no significant historical nor aesthetic significance to the property, and as such strongly object to this inclusion in the Heritage Overlay.

-I will be at the council meeting on 26 September, 2023 to address the council regarding these matters.

Sincerely,  
[REDACTED]

### Contact



Mb [REDACTED]  
[REDACTED]



Response No:  
15

Contribution ID: Letter

Member ID:

Date Submitted: 03 August 2023

Name

Metropol Planning Solutions - [redacted]  
[redacted]

Email

[redacted]

Address

[redacted]

Details

[redacted]

Stage B - 37

HO330

Objection





Advisory — Advocacy — Approval

metropolplanning.com.au

**Metropol Ref. 1063**

3 August 2023

Strategic Planning Department  
Nillumbik Shire Council

Via email: [REDACTED]

To whom it may concern,

**Proposed Amendment C149 to the Nillumbik Planning Scheme – Heritage Review – [REDACTED]**

Metropol Planning Solutions acts on behalf of [REDACTED] owners and occupiers of [REDACTED] (the subject site).

On behalf of our clients we write to oppose the proposed application of the Heritage Overlay to the subject site on a permanent basis. We understand that the Heritage Overlay already applies to the site on an interim basis.

We submit that the application of a permanent Heritage Overlay to the subject site is not warranted given the substantial additions that have recently been made to the dwelling on the site and the numerous alterations and additions in terms of various outbuildings that post-date the use of the site for farming.

There are only two outbuildings that date back to the previous farming use of the site, comprising a weatherboard clad former egg incubator room located to the north west of the dwelling (close to the northern boundary of the site) and a half cellar located close to the dwelling immediately to its south west.

These outbuildings are either highly altered (the half-cellar was changed substantially in the 1960s with crumbling rammed-earth walls replaced with concrete blocks, concrete flooring with only the roof remaining in substantially original condition) or are in a dilapidated condition (in the case of the former incubator room). Refer attached photographs.

We note that the heritage study on which the recommendation to apply the Heritage Overlay to the subject site is based was not informed by a visit and our clients would welcome Council's heritage consultant or adviser arranging a suitable time to inspect the property and its current conditions to enable further consideration to be given to the inclusion of the property in the Heritage Overlay.

Should you have any queries regarding this matter please do not hesitate to contact me on [REDACTED] or via email: [REDACTED]

Yours sincerely,

cc: File

---

Metropol Planning Solutions Pty Ltd  
info@metropolplanning.com.au

COLLINGWOOD  
8 Gold Street, Collingwood  
PO Box 6081 Collingwood North VIC 3066

CAMBERWELL  
Second floor,  
555 Riversdale Road, Camberwell

T 03 9882 3900  
ABN 26 546 482 534



## Site photographs

Photograph 1: Looking at northern elevation of dwelling showing recently constructed additions





Photograph 2: Dilapidated outbuilding (former egg incubator room) located close to northern site boundary





Photograph 3: Dilapidated outbuilding (former egg incubator room) located close to northern site boundary



Photograph 4: Half cellar located close to dwelling





Photograph 5: Entrance to half cellar near dwelling





Response No:  
16

Contribution ID: Letter

Member ID:

Date Submitted: 03 August 2023

Name

[Redacted Name]

Email

[Redacted Email]

Address

[Redacted Address]

Details

[Redacted Details]

Stage B - 38

Objection





3 August 2023

[REDACTED]  
Manager Strategic Planning and Environment  
Nillumbik Shire Council  
Civic Drive (PO Box 476)  
Greensborough VIC 3088

Via email [REDACTED]

Dear [REDACTED]

### **SUBMISSION – AMENDMENT C149NILL — APPLICATION OF THE HERITAGE OVERLAY**

[REDACTED]  
Thank you for the opportunity to provide a submission to the proposed Planning Scheme Amendment C149nill. We congratulate Council on the progress made to identify places of heritage significance within the municipality and the progress made to providing protection to places of heritage significance.

This submission to the proposed Planning Scheme Amendment C149nill has been prepared on behalf of [REDACTED], the owner of [REDACTED], Yarrambat (the subject site). The subject site is affected by Heritage Overlay (HO331) which was introduced recently as an interim planning control via amendment C148nill.

[REDACTED] approached Niche Studio late last year with a view to redeveloping the site. At this time, he made Niche Studio aware of the proposed planning scheme amendment to introduce a heritage overlay and steps were taken to better understand the significance of this place and the state of the building. This investigation has identified the elements of the subject site that are of heritage significance as well as the providing an initial review of the work needed to restore the heritage fabric of the build.

In this instance, substantial work is needed to restore the dwelling on the site in a manner that protects the site's heritage values. To ensure that this will be financially feasible, we request that Council also amend Schedule 2 to the Design and Development Overlay that affects this site to ensure that a considered redevelopment of the site that incorporates the restoration of the heritage place can be undertaken as soon as practical. This will ensure that there is a wholistic approach to the protection of this heritage place that supports a practical outcome that is respectful of the heritage values of this site, as well as the other relevant planning provisions affecting the site and the surrounding urban context.

#### **Planning and Urban Design**

**ABN** 35 334 392 034  
**W** [nicheplanningstudio.com.au](http://nicheplanningstudio.com.au)

**VIC BOONWURRUNG COUNTRY**  
Unit 1, 286 Ferrars Street  
South Melbourne VIC 3205

**WADAWURRUNG & DJA DJA WURRUNG COUNTRY**  
Suite 8, 11 Davey Street  
Ballarat Central VIC 3350

**WA WHADJUK NOONGAR COUNTRY**  
Level 2, 896 Canning Highway  
Applecross WA 6153

**TAS PALAWA COUNTRY**  
Level 1, 14 Molle Street  
Hobart, TAS, 7000



We feel that there is a practical and relatively straight forward way to resolve this submission and would welcome the opportunity to meet with you to discuss this further.

We thank Council for consideration of our submission and look forward to participating in the forthcoming consultation process and contributing further to the conversation concerning the preservation of Nillumbik's rich natural and built heritage.

Yours sincerely,

A large black rectangular redaction box covering the signature of the Associate Director.A small black rectangular redaction box covering the name of the Associate Director.

Associate Director

**Niche Planning Studio**



Response No:  
17

Contribution ID: Letter

Member ID:

Date Submitted: 03 August 2023

First Name

[REDACTED]

Last Name

[REDACTED]

Email

[REDACTED]

Address

[REDACTED]

Details

[REDACTED]

Stage A - 12

HO284

Objection



**RE: Heritage overlay on** [REDACTED]

[REDACTED]

3 August 2023

[REDACTED]  
Manager Strategic Planning and Environment  
Nillumbik Shire Council

Dear [REDACTED]

I write to object to the process and proposed outcome of the application of a heritage overlay on my properties at [REDACTED]

I wish to stress that I have spent 50 years working to maintain the heritage of this area. I have spent literally thousands of hours organising residents, writing letters, and attending council meetings, VCAT hearings and public debates in an unfortunately fruitless effort to preserve the character of the Warringah Crescent precinct.

In addition to being too little, too late, by now applying these overlays it feels like the rare few of us in the area who have done our best to maintain the natural environment are being penalised financially to a substantial degree.

Now that Nerreman Park's McMansions are here, and the majority of other properties have been (and continue to be) divided up for development, what is the real value to the community of these overlays, and is that value commensurate with the cost?

If the council wants to create real value for the community in this area, revisiting the decision not to engage in a land swap with the developer-owner of number [REDACTED], which would secure the continued use of the walking path used daily for decades by thousands of school kids, dog walkers and families. To me, that would seem a much higher value use of the bureaucratic pen than applying a heritage overlay across my two properties.



It feels like people who've never set foot in Warringah Crescent nor understand how the community uses this area are deemed to have more say in how the area is developed and maintained than those of us who live here.

That impression was reinforced by the fact that the people who knocked on my door to inform me of the government's intention to seek a heritage overlay on my property were surprised my house wasn't a mud brick, had no idea who the architect was, didn't realise that there are two completely separate properties, and left unsure that they had even visited the correct address.

If there is truly value to the community in preserving this house, I would like to know how the council intends to help support that preservation. Wiring, plumbing, timber, roofing, etc, all decay over time. Informally, I've been told the cost to restore the house to a liveable state (as defined by the Victorian government's new rental laws) would be in the order of [REDACTED]. The cost to restore it to near original condition would be in the order of [REDACTED].

I love my house and would love to see it preserved after my death, but market forces on their own would never see that outcome. If the community really does see value in preserving it, then surely the community should contribute to that preservation? Otherwise, why should that cost be borne by an 80 year old widow?

In conclusion, I wish to stress that I believe protecting and preserving the natural, architectural, and cultural heritage of this area is important.

In the interests of fairness, I would like to see:

- the application for heritage overlay to apply only to the property the house was designed to inhabit [REDACTED] was purchased separately long after the house was built),
- council commit to financial assistance such that the shared public value created by the heritage overlay is not unfairly borne by a few individuals such as myself.

Sincerely,

[REDACTED]



Response No:  
18

Contribution ID: Letter

Member ID:

Date Submitted: 03 August 2023

Name / Organisation

[Redacted]

Email

[Redacted]

Address

[Redacted]

Details

[Redacted]

Stage A - 22

Support with changes



Amendment C149nill - Heritage Review [REDACTED]

Eltham Community Action Group Submission

3 August 2023

Eltham Community Action Group has held a long interest in the above site and in recent years has undertaken a detailed study of the War Memorial Buildings after nominating them for inclusion on the Victorian Heritage List.

ECAG made a submission to the Heritage Council Victoria and while a decision was ultimately made not to include the War Memorial Buildings on the state heritage list, the points we made in that submission are applicable for heritage listing at local level. Therefore please accept the attached submission to the Heritage Council as our submission in support of a Heritage Overlay being placed on the site.

We note that while the Heritage Council did not consider the buildings significant at state level, the Council recognised the local significance of them stating (our bolding):

*The Heritage Council has determined, pursuant to section 49(1)(c)(i) of the Heritage Act 2017, that the Eltham War Memorial Buildings complex at [REDACTED] is not of cultural heritage significance to the State of Victoria and is not to be included in the Victorian Heritage Register, but **refers the recommendation and all submissions to the Nillumbik Shire Council for consideration of an amendment to the Nillumbik Planning Scheme to recognise the heritage values of the Place to the local community.***<sup>1</sup>

As per the points made in the attached submission, ECAG supports the application of a Heritage Overlay on the Eltham War Memorial Buildings.

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<sup>1</sup> Para 67 Heritage Council Determination. Eltham War Memorial Buildings 903-907 Main Road, Eltham 4 May 2021



## ELTHAM WAR MEMORIAL BUILDINGS



Hearing submission prepared by

**Eltham Community Action Group**

For

**The Heritage Council Victoria**

**20 January 2021**

Name: Eltham War Memorial Buildings

Location: [REDACTED]

Hermes: Number 202079

Heritage Overlay Number: HO126 Eltham War Memorial Cenotaph (covers World War I obelisk only; no buildings are covered)



## HEARING SUBMISSION

For the Heritage Council hearing Eltham Community Action groups intends to rely in part on its previous written submission (*Appendix A*) made in relation to the Executive Director's recommendation.

In addition, we wish to comment further on the point that the Eltham War Memorial Buildings might not enjoy widespread recognition outside of the local community and would therefore likely meet the criteria for local significance but perhaps not state significance.

The Executive Director noted in his recommendation that while Criterion G was likely to be satisfied, it did not pass the second step and would likely not be satisfied at State level, commenting that

*"There is no evidence that the social value of the Eltham War Memorial Buildings resonates across the broader Victorian community"*

Contrary to this, it is of considerable note that shortly after the closing date for submissions relating to the Executive Director's recommendation, the Eltham War Memorial Complex was one of only 18 sites featured on the 75<sup>th</sup> Anniversary website, WWII at Home (<https://www.iathome.com.au>). This website, which was developed by the National Trust of Australia (Victoria) along with the Centre for Architecture Victoria | Open House Melbourne and supported by the Victorian Government, sought to portray the themes of response, reflection and rejuvenation that emerged in Victoria following World War II.

The fact that the Eltham War Memorial Complex was chosen as one of only "18 sites of significance that represent the transformative impact the Second World War had on Victoria" demonstrates that the significance of the War Memorial Buildings does indeed extend beyond the local community to state level. That the War Memorial Buildings were selected for such a website shows that, contrary to the Executive Director's findings, the Eltham War Memorial Buildings are of significance beyond just the local community and can be elevated above other examples in the State.

Going back to the Executive Director's recommendation, he noted that Criterion E was also likely to be satisfied, but again it did not pass the second step and would likely not be satisfied at State level. He noted that



20 January 2021

Eltham War Memorial Buildings

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*“The aesthetic characteristics of the Eltham War Memorial Buildings have not received critical recognition or wide public acknowledgement of their exceptional merit.”*

If the buildings have merit, then surely the solution to an issue such as this is not to simply accept lack of awareness or knowledge of these merits but rather to preserve the buildings and then educate and inform the wider public?

We would hope that the Heritage Council would see the merits of the aesthetic and historical value of the site, regardless of the widespread public understanding of that site. By awarding heritage listing it will focus attention on the buildings and allow both the local and wider community to celebrate their architectural significance and the important historical stories the complex has to tell of a period of significant social change in Victoria, particularly of women’s roles in that change.

Nillumbik Shire Council is currently offering grants to fund history and/or heritage projects in the Shire and we intend to apply for a grant in order to promote knowledge of the significance of the War Memorial Buildings.

At the hearing, we also seek to speak of the response to our recent request for the community to comment on what they think of the Eltham War Memorial Buildings and why they consider them to be significant.

In a few short weeks to 20 January 2021, we have received 48 responses (which are included as **Appendix B**) indicating notable feeling that the buildings are considered important by those who are aware of them. We hope that the Heritage Council will decide to include the Eltham War Memorial Buildings in the Victorian Heritage Register so that the significance of those buildings can be learned and appreciated more widely.



**APPENDIX A**

**Eltham Community Action Group's written submission**



## ELTHAM WAR MEMORIAL BUILDINGS



Submission prepared by

**Eltham Community Action Group**

For

**The Heritage Council Victoria**

**17 July 2020**

Name: Eltham War Memorial Buildings

Location: [REDACTED]

Hermes: Number 202079

Heritage Overlay Number: HO126 Eltham War Memorial Cenotaph (covers World War I obelisk only; no buildings are covered)



## **INTRODUCTION**

Eltham Community Action Group (ECAG) would like to make a submission objecting to the Executive Director's recommendation not to include the Eltham War Memorial Buildings in the Victorian Heritage Listing.

ECAG submitted the original nomination in 2018 for the inclusion of these buildings and we are concerned that the Executive Director's recommendation did not adequately respond to some of the points we made in our nomination.

One of the key points in our nomination was that the Eltham War Memorial Buildings are significant and unique in Victoria due to being a complex of child-related buildings rather than a standalone baby health centre or kindergarten. We feel that the importance of this as a reflection of what was happening in Victoria in the post-war period has not been fully addressed in the recommendation.

A further key point that we feel has not been fully appreciated was the significant and special association with firstly, a community, in this case of women, and secondly, a group of people of importance in Victoria's history.

In both of these areas, we do not agree with the recommendation that the buildings are only of local rather than state significance and we will address these points in more detail under the criteria which follow.

Whilst recognising the limitations in place due to the Covid-19 situation, it is disappointing that the recommendation appears to have been made without a full inspection of the buildings. Due to their modest scale and unobtrusive siting below Main Road, along with the insensitive and unattractive external works that have been carried out to render the complex compliant with accessibility regulations, we maintain that a survey from the pavement does not allow a full understanding of the significance of the buildings.

We note that our interest in the Eltham War Memorial Buildings was not sparked by Nillumbik Shire Council's 2018 intention to sell the site on which the buildings sit. ECAG opposed and objected to the relocation of the World War I obelisk into the front grounds of the buildings and support its future relocation to an alternative site.



## CRITERIA

### Criterion A

#### *Importance to the course, or pattern, of Victoria's cultural history.*

Whilst many standalone infant welfare centres and kindergartens were constructed as war memorials in Victoria, the complex of Infant Welfare Centre, Pre-School and Children's Library is unique in the state. If taken separately, the individual buildings in Eltham may not be of any more interest than other standalone examples.

However, alongside its association with the widespread movement away from erecting monuments as war memorials, its unique nature as a complex of children-related buildings renders it particularly significant in another area of Victoria's history. The War Memorial Buildings reflect not only the already well-established belief of the time in the importance of preventative health work (the Infant Welfare Centre) but also the emerging emphasis in the value of this health work being undertaken in conjunction with monitoring and supporting the early stages of child development and education (the Pre-School and Children's Library).

This combined approach was advocated by Dr Vera Scantlebury Brown, Director of Infant Welfare for the Victorian Department of Health until her death in 1946, and was further implemented in the post-war period by her successor, Dr Barbara Meredith. Like her predecessor, Dr Meredith was a very significant woman in the history of Victoria as shown below in Criterion H.

Contrary to the Executive Director's recommendation, we argue that in embracing this important initiative regarding infant and child development in a way that standalone war memorial buildings did not, the Eltham War Memorial Buildings do in fact allow this particular phase of community facilities being constructed as war memorials following World War II to be better understood than examples of standalone war memorial kindergartens or infant welfare centres in Victoria.



**Criterion B**

***Possession of uncommon, rare or endangered aspects of Victoria's cultural history.***

As explained above, we contend that other child related war memorial buildings in Victoria do not reflect, in the way that the Eltham War Memorial Buildings do, the growing interest of the time in combining the health, education, welfare and development of young children.

The Eltham War Memorial Buildings are unique in this respect and contrary to the Executive Director's response that there is a reliance on too many qualifiers to justify rarity, we argue that it is precisely this association of the construction of community facilities as war memorials following World War II with the movement for education facilities to be developed in conjunction with infant health welfare services that makes this complex of buildings so unique and worthy of protection.

The uncommonness, rarity (indeed uniqueness) and endangered aspect of this complex of buildings is further argued in our comments under Criterion G.

**Criterion D**

***Importance in demonstrating the principal characteristics of a class of cultural places or environments.***

The Executive Director recommends that the Eltham War Memorial Buildings are likely to meet Step 1 on this criterion. It is not disputed in the recommendation that the buildings are largely intact and that the principal characteristics defining infant health care centres are evident in the functional design, domestic scale, wide areas of glazing and access for prams. However the Executive Director recommends that they are unlikely to satisfy Step 2 at State level.

We believe that the buildings' modest scale and unobtrusive siting below the level of the road, along with intrusive changes to the surroundings may be factors as to why the aesthetic characteristics of the buildings have not received critical recognition or wide public acknowledgement of their exceptional merit to date.



We submit that sensitive and appropriate remediation to the surroundings, coupled with the intact nature of the buildings themselves, would allow the buildings to become 'notable examples' as required by Step 2.

#### **Criterion G**

***Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions.***

The Executive Director's recommendation does not specifically respond to the point made in the original nomination that there is a special association between these buildings and women.

Whilst it is almost certain that there were many strong women involved behind the scenes in projects which took place throughout the middle part of the 20th century, there appear to be few such projects where documentation explicitly shows women's involvement, let alone such a leading role as women undertook in achievement of the Eltham War Memorial Buildings.

Elaine Martin wrote that the "*post-war era from the mid-1940s through to the mid-1960s in Australia was a time of high consensus on conservative social values, which emphasised the importance of the family and the domestic responsibilities of women, rather than their participation in public life and in the workforce. This social ideal was strongly promoted during the 1950s, though there were undercurrents of change.*"<sup>1</sup>

The women of Eltham, in bringing about the War Memorial Buildings, appear to simultaneously both reject and reinforce this ideal by participating heavily in public life, against the prescribed norms of the time, but in the work they did in this field, significantly supporting the importance of the family and the domestic responsibilities of women in parenting.

At the end of the 1950s, British researcher, Norman MacKenzie, conducted an inquiry, commissioned in 1958 by the Social Science Research Council of Australia, into the

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<sup>1</sup> Social work, the family and women's equality in post-war Australia, Women's History Review, 2003. 12:3, 445-468



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role of Australian women in professional and public life. According to the *2002 Year Book* "he [MacKenzie] was surprised at the general absence of women from government-appointed bodies."<sup>2</sup>

Exclusion of women was not limited to governmental roles. In 1963, Thelma Hunter reviewed Norman MacKenzie's subsequent book, *Women in Australia: a report to the Social Science Research Council of Australia*, stating "Nor are women to be found at executive level within the extra parliamentary machines. Their role, though important in certain respects, is essentially subsidiary. Women are to be found mainly relegated to auxiliary bodies concerned with social and money raising activities, rarely with the formulation of policy."<sup>3</sup>

Notwithstanding the irony of a man being commissioned to undertake a study on the role of women, MacKenzie's wife, Jeanne, accompanied her husband on his 1959 research trip and produced her own, though non-commissioned, book in which she also expressed her views on women's roles beyond those in government bodies. According to Stuart Macintyre, Jeanne "was struck by the subordinate status of Australian women, trapped in suburban domesticity and relegated to support roles even in lawn-bowling clubs."<sup>4</sup>

Therefore, more than a decade earlier than the MacKenzies made their observations, a cohort of women were already bucking these Australia-wide trends. By not merely fundraising but by being involved, indeed leading, in every step of the way of a sizable project, they are of significance in the social history of women in Victoria, not just Eltham.

Unfortunately, despite the documented evidence<sup>5</sup> that women were variously solely or largely responsible for the initiation of the memorial trust, fundraising, project management and even design of the memorial buildings, the significance of this was barely recognised at the time beyond the immediate community.

In a narrative typical of the time, and since, in the case of this particular complex of war memorial buildings, the fanfares and ceremony which occurred at significant moments during the progress of the memorial buildings were dominated by males. Photos and

<sup>2</sup> Australia Aust Bureau of Statistics, 2002 P87

<sup>3</sup> Australian Women, *Women in Australia* by Norman Mackenzie Review by: Thelma Hunter The Australian Quarterly, Vol. 35, No. 1 (Mar., 1963), pp. 79-84

<sup>4</sup>Macintyre, Stuart. *The Poor Relation* Melbourne Univ. Publishing, 2010 P147

<sup>5</sup> Stanley S. Addison *An Outline History of the Eltham War Memorial Trust*



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media articles reflect how the contribution of the women who were primarily responsible for the construction of these buildings was reduced to a mere auxiliary role, elevating men and even boys to centre stage.

A photo from the time shows the ceremonial turning of the first sod, undertaken by local boy, Albert Feldbauer, under the direction of state president of the RSL, Major Frank Stevens. Despite that getting to this point was almost entirely due to the efforts of women, the photo shows the women relegated to the position of observers in the background, only too clearly demonstrating the lack of recognition of women as being significant in the construction of the war memorial buildings.



*Albert Feldbauer and Major Frank Stevens undertaking the turning of the first sod<sup>6</sup>*

Only a few short months later another man, Governor of Victoria, Sir Dallas Brooks, laid the foundation stone. A newspaper article<sup>7</sup> of the time makes no mention of the women behind the War Memorial Buildings other than a fleeting mention that “*officials of the Memorial Trust were present.*”

<sup>6</sup> [https://elthamhistory.files.wordpress.com/2018/03/edhs\\_01813-16.jpg](https://elthamhistory.files.wordpress.com/2018/03/edhs_01813-16.jpg)

<sup>7</sup> Article- The Age (Melbourne, Vic. : 1854 - 1954): Saturday 25 November 1950  
<https://trove.nla.gov.au/newspaper/article/206418754>





*Sir Dallas Brooks laying the foundation stone<sup>8</sup>*

Although, finally, it was a woman, Dr Barbara Meredith, who two years later formally opened the infant welfare centre, little recognition since then has been offered to women in their vital role in the success of the War Memorial Trust and the construction of the buildings.

The Eltham War Memorial Trust was initiated by a woman (Mrs Louise Cairns Officer); women did the overwhelming amount of fundraising and were largely responsible for managing the entire project (Mrs Louise Cairns Officer, Mrs Vera Addison, Mrs Beatrice Morrision, Mrs Dorothy Tingate, Mrs Ada Lyons, Mrs Jean Attiwell, Mrs Elizabeth Dagnall, Mrs Valmai Nation and Mrs Evelyn Kerr); the land on which the buildings stand was purchased from a woman (Miss Shillinglaw); it is likely a woman designed the infant welfare centre (Jessica MacFarlane), and women and children continue to be the primary users of the complex.

There is an undeniable close association between women and the War Memorial Complex. As outlined below in response to Criterion H, the significance of a number of these women extended state-wide and their importance was clearly evident beyond the local area.

Including the Eltham War Memorial Complex in the Victorian Heritage Register would assist in providing recognition to women and the evolving and increasingly significant public role they played in the post-war period.

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<sup>8</sup> Stanley S. Addison An Outline History of the Eltham War Memorial Trust



## Criterion H

***Special association with the life or works of a person, or group of persons, of importance in Victoria's history.***

The War Memorial Trust was created and the War Memorial Buildings were constructed at a time when, after a brief period during the war years when they had been encouraged to undertake traditional "men's roles" to assist with the war effort, women in Australia were expected, indeed encouraged, to return to a domestic, family-oriented role. However, despite the heavily promoted ideal of women being mothers and homemakers, change was occurring. The women involved in the creation of the Eltham War Memorial Buildings included many who were very significant in this period of Victoria's history. To the initiators of this scheme - in particular Louise Officer - inspiring the local community to take action to meet local needs was part of a much broader social agenda.

### Louise Officer

Mrs Louise Officer was arguably the driving force behind the formation of the Eltham War Memorial Trust and subsequent construction of the Eltham War Memorial Buildings.

Mrs Officer was also a significant figure in Victorian charity work and politics holding senior positions in organisations such as the Victoria League, the Queen's Fund, the Ministering Children's League, Australian Women's National League and the Liberal Party of Australia's Victorian Executive.



Louise Officer<sup>9</sup>

<sup>9</sup> <https://trove.nla.gov.au/newspaper/article/47122786?>



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Mrs Officer was a strong advocate for children's health and welfare and for country library services across Australia and her involvement in the Victoria League's bush library service helped provide thousands of books to outback schools and to children educated by correspondence. It is perhaps no coincidence that the Eltham War Memorial Buildings contained a Children's Library, a unique feature in war memorial buildings in Victoria.

Mrs Officer initiated the formation of The Women's Auxiliary of the (proposed) Eltham War Memorial Trust and was responsible for setting up the trust through a registered company. She became the first chairperson of the Eltham Memorial Trust where she worked tirelessly to ensure that the purposes of the trust were kept on track and, through her role as president of the Trust's Women's Auxiliary, to ensure that sufficient funds were raised to achieve those purposes.

#### **Vera Addison**

Like Mrs Officer, Mrs Vera Addison was heavily involved from the outset in the Eltham War Memorial Trust. Similarly, she was also of significance beyond local level, serving in the Australian Red Cross Society in England during World War I, following which she was awarded the British War Medal. Closer to home Mrs Addison held senior positions in the Setters' Welcome Committee and, for 25 years, the Victoria League.



Vera Addison and Louise Officer held senior roles in the Victoria League<sup>10</sup>

<sup>10</sup> <https://trove.nla.gov.au/newspaper/article/12503206?>



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### **Jessica MacFarlane**

A K Lines & MacFarlane (later A K Lines, MacFarlane & Marshall) was commissioned to design the war memorial buildings. This small architectural partnership was well-regarded in Victoria and Albert Lines was twice president of the Victorian Society of Architects.

MacFarlane joined the firm of A K Lines as a clerk in 1928 and around the early 1940s went on to become one of the first women to achieve partnership in an architectural firm in Victoria, an incredible achievement at a time where working women were rarely regarded as equals.



*Jessica MacFarlane<sup>11</sup>*

Although we have not been able to unequivocally establish that MacFarlane designed the war memorial buildings, given that she remained with the firm until the late 1950s, it is reasonable to assume that she was heavily involved in the project, professionally.

Along with the notion of the time that children and most things child-related were the domain of women, lending further support to the assumption that MacFarlane was heavily involved in the war memorial buildings is the fact that Bruce Marshall, who became partner in 1948, was apparently more commercially and industrially minded and would have been less likely to have been as interested in infant and child-related buildings.

Furthermore, MacFarlane served in the Australian Women's Army Service between 1942 and 1945 and was an organiser of the AWAS post-war reunions. Her war service, along with her brother Kenneth's own service in the AIF, would have provided her with her own emotional connection to the war memorial buildings.

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<sup>11</sup> <https://www.clanmacfarlanegenealogy.info/genealogy/TNGWebsite/showmedia.php?mediaID=4206&medialinkID=4901>



### Beatrice Morrison

The daughter of Sir William Hill Irvine and Lady Irvine, Beatrice Morrison completed a science degree at the University of Melbourne. She was a botanist, identifying and recording native vegetation, birds and animals in a keen desire to preserve the habitat for wildlife at her property along the Yarra River in Eltham, to which she moved to in 1923.



*Beatrice Morrison (née Irvine) with her father, Sir William Irvine in 1923<sup>12</sup>*

Beatrice's personal commitment to safeguarding the native habitat along the Yarra River assisted in preventing the loss of endangered fauna and flora, laying the foundations for what is now Laughing Waters Park. This park has been assessed as having *Very High - Category 1* habitat significance "*due to it supporting many high reference stand habitats and a high diversity of regionally rare or threatened species*" and it being "*the most intact site representative of the hills to alluvial plains transition remaining in NEM [North East Melbourne]. It contains the most downstream occurrences of extensive and intact stands of foothill woodland/forest and their fauna in the Yarra system.*"<sup>13</sup>

This natural habitat which Beatrice Morrison strove so hard to preserve is described by Parks Victoria as "*relatively undisturbed nationally significant remnant areas*".<sup>14</sup> Beatrice Morrison contributed in many ways to her local community but the significance of her contribution extends far beyond Eltham and she can be credited with some influence in the preserved nature of the Yarra River from which so many Melburnians and Victorians benefit.

<sup>12</sup> <https://trove.nla.gov.au/newspaper/article/2001002>

<sup>13</sup> Beardsell, Cam. Sites of Faunal and Habitat Significance in North East Melbourne, Nillumbik Shire Council 1997. P23

<sup>14</sup> Yarra Valley Parklands management plan / Parks Victoria.2008. P27



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Both of Beatrice's parents were active members of the First World War Welcome Home Committee and Lady Irvine was known for donating books to local schools. It is no surprise that Beatrice followed in their footsteps in community work, working with the War Service Committee, fundraising for the Red Cross and becoming one of the key women involved in the Eltham War Memorial Trust, including becoming chairperson for some years.<sup>15</sup>

#### **Dr Barbara Meredith**

Dr Barbara Meredith played an important role in the field of child welfare in mid 20<sup>th</sup> century Victoria. Some of her notable achievements were being awarded a World Health Organisation fellowship in 1950 and being appointed OBE in 1960.

Dr Meredith was a driving force in the growing advocacy for infant health services being undertaken in conjunction with services which monitored and supported the early stages of child development and education.

In 1946 she became Acting Director (Director in 1947) of Maternal, Infant and Pre-school Welfare in Victoria where

*"During her term of office the number of infant welfare centres in Victoria doubled (from 296 to 600), pre-schools increased from 185 to 458 and municipal prenatal clinics grew tenfold to 30."*<sup>16</sup>



*Dr Barbara Meredith opening the Eltham Infant Health Centre in 1952<sup>17</sup>*

<sup>15</sup> Woollard, Jane. Laughing Waters Road : Art, Landscape & Memory in Eltham, Nillumbik Shire Council 2016/ P80

<sup>16</sup> Kerreen M. Reiger, 'Meredith, Winifred Barbara (1895-1979)', Australian Dictionary of Biography, National Centre of Biography, Australian National University, <http://adb.anu.edu.au/biography/meredith-winfred-barbara-11112/text19785>

<sup>17</sup> Stanley S. Addison An Outline History of the Eltham War Memorial Trust



On 15 November 1952 Dr Meredith officially opened the infant welfare building. However, as can be inferred from speeches made by Vera Addison and the records kept by her husband, Stanley, Dr Meredith continued her involvement in the Eltham War Memorial Buildings, meeting with representatives of the War Memorial Trust, guiding the plans and helping obtain grants.

#### **Dr Doris Officer**

Dr Doris Officer was another significant woman in the history of infant welfare in Victoria, holding the position of honorary secretary of the Victorian Baby Health Centres Association for 30 years in addition to many other significant roles, being awarded Queen Elizabeth II's coronation medal in 1953 and appointed O.B.E. in 1959. A strong advocate for child health services, she was responsible for encouraging state-wide interest in baby health centres.<sup>18</sup>

Dr Officer was involved with the movement to establish an infant welfare centre in Eltham as early as at least 1945 when she addressed Eltham Shire Council offering "to assist the Council in any way possible in order to provide a Centre in the Township of Eltham".<sup>19</sup> Dr Officer attended the opening of the temporary Eltham Baby Health Centre in 1945 and along with Dr Meredith, she helped guide the plans and obtain grants. Doris Officer was closely related by marriage to Louise Officer.

With a cast of such significant Victorian women responsible for the construction of the Eltham War Memorial Buildings, we argue in the strongest possible terms that these buildings do indeed have 'a direct association with a person or group of persons who have made a strong or influential contribution to Victoria's history'.

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<sup>18</sup> Cheryl Crockett, 'Officer, Doris Lyne (1898-1967)', Australian Dictionary of Biography, National Centre of Biography, Australian National University <http://adb.anu.edu.au/biography/officer-doris-lyne-11288>

<sup>19</sup> Eltham Shire Council minute books



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## **CONCLUSION**

In 1965, Mrs Louise Officer, reminiscing about her time as first President of the Eltham War Memorial Trust said:

*“I wonder how many of you will remember our beginnings?”*

Failing to protect these significant buildings at a State level would mean to fail to remember those beginnings of which Mrs Officer spoke. It would mean to continue to ignore the extraordinary outcome of the War Memorial Buildings following the emergence of a group of strong, industrious and capable women who were responsible for these buildings’ construction, just as they were responsible for significant events in mid 20<sup>th</sup> century Victoria and just as they were responsible for laying the groundwork for movement towards equality, not only for future generations of women in Eltham but, indeed, future generations of women across all Victoria.



## **APPENDIX B**

### **Comments from locals on the Eltham War Memorial Buildings**



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
■■■	■■■	We only emigrated to Eltham in 2016 but I have read the history of the area and would agree the War Memorial buildings deserve Heritage Listing.
■■■■■	■■■■■	I think it's highly significant for us to have a forward-looking war memorial in our local community. It gives meaning to the lives of those who died, and reminds us that war should only ever be carried out in the name of preserving life and freedom, and never for its own sake. Just as importantly, preserving this living memorial gives value to the efforts and philosophy of the women who organised and built it. Too often the efforts of women are written over by those of men in history - so let's make sure this won't be the case in this instance.
■■■■■	■■■■■	<p>These buildings are representative of our community fabric bringing together our people then and now. Generations having grown up here and recieved health checks during childhood here in these buildings are a testament to those that both left and came after.</p> <p>May they never be forgotten.</p>
■■■	■■■■■	As the Head of Archaeology and History at La Trobe University I am passionate about recognizing the important heritage in our community that span all time periods. The War Memorial complex is an important Australian landmark that celebrates the ambitions and changing nature of society during the post war period, and women's greater influence and role in society. In particular it also celebrates the amazing women who helped to build Melbourne, one of the major urban centers of the world. It celebrates and sadly often overlooked story of how women helped to shape Eltham as we know it today. As an Eltham resident I also have a more personal connection, having visited the facility for a number of reasons, be it to rummage around second hand book sales, community meetings, or in the first days of my son's life, with sessions for baby massage and critical vaccinations. We, like other countries must learn to embrace all aspects of our past and heritage, and realize that what may seem like an unassuming building is of massive import for telling certain stories that shaped our world. The War memorial complex has that unique story that means that it should be given the protection of Heritage listing, so that it does not suffer the same fate as other buildings whose significance has been realized too late and suffered destruction at the hands of a developers excavator.
■■■	■■■	<p>I grew up near Eltham and attended Eltham High School in the 60's</p> <p>Eltham was quaint with a country air near the city but slowly it is losing its charm and heritage.</p> <p>I remember a winding narrow road that passed the war memorial. Now I read of its history and feel keeping it and celebrating such efforts after the war is a way to keep the Eltham spirit alive.</p>



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
		I was so touched to read Sir Dallas Brooks words-just as a human being must have a heart, so must a shire, town, or city.
■■■	■■■	It is part of Eltham history which feels like is quickly disappearing in Eltham.
■■■■■	■■■■■	These buildings are an important community asset. Fundraising by the community built them, and the community owns them in my view. I believe they are only one of four such examples in the whole country of this type of memorial. The most important aspect of the buildings is their representation of the Fallen members of our community, who never returned from serving our country in WW1 and WW11, and these buildings were expressly raised to represent the "little ones" these heroes left behind. Heritage protection will ensure their survival. Thank you for considering.
■■■■■	■■■■■	Represents the beginnings of what has been the continued ethos in Eltham, community. That this entire project was initiated, funded and driven by women, not as a token of war but as a symbol of community in action as a living, functioning memorial of what has been gained and what is possible out of that time of war, is an invaluable and essential piece of Eltham's history. Dare I say it, even more so than the artists' colony at Montsalvat.
■■■	■■■■■	I grew up in Eltham in the 70's and lived there for 32 years . I went to Eltham pre school in 1974. It was literally the heart of Eltham. This building must be protected as a link to the past. Although I have been living elsewhere for 20 years. I still regard Eltham as home. Whenever I return to my hometown, the first thing I love to see is my old kindergarten.



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
██████	██████	<p>Dear ECAG,</p> <p>thank you for the opportunity to comment on this important issue. Though I do not live in Eltham I have many friends there and for 35 years of my life I worked there, commuting everyday from Hurstbridge. I often shopped there too for things I could not buy in my local town. So, Eltham is important to me.</p> <p>The historical relevance of this complex of buildings to me lies partly in its original conception of a Memorial that looks forward not backward and in the fact that this project was conceived, initiated and overseen by women. Its focus on children, those whom our brave soldiers fought for and in whom the future of our country is invested, gives it a poignance and significance that should be preserved.</p> <p>Architectural Style Form and Colour. The distinctive style of the 1950s included extensive use of the cream brick and a more cubic form of building. Many of these buildings no longer exist or have had their facades rendered over with poor quality acrylic render. However the humble cream brick helps to define a particular style in the history of architecture. In its day it would have been a pleasing modern feature of Eltham's main road juxtaposed against the tin shed monolith of Brian's bus depot next to the station.</p> <p>The symbolic importance of this complex of buildings cannot be overemphasised. If internal modifications or modernisations are necessary my fervent wish is that they could be achieved sensitively whilst preserving the distinctive style of the 1950s.</p> <p>We have lost many of our historic features in the Shire of Nillumbik. World War 2 was a defining occurrence in the 20th century and memorialising our dead in such an innovative and positive way makes preservation and protection of what is left of our history of vital significance.</p> <p>Yours truly,</p> <p>██████████</p>



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
██████	██████	<p>My sisters and myself all went to The infant welfare center in the 60s. As did my children in the 80s.</p> <p>We also attended the kindergarten in that building.</p> <p>If the history is taken away, than what's left to remember the man and Women who served.</p> <p>As my father did.</p> <p>The RSL has gone.</p> <p>The very reason people love Eltham is been lost.</p>
██████	██████	<p>These buildings represent both the pain and grief, and the hope for the future of the mothers and family of those who gave their lives . The returned service people could see something positive in those buildings.</p> <p>Many of them spoke little of their experiences but may well have looked at that memorial and felt something hard to express.</p> <p>When I took my first born to the Child Health Centre there I was well aware that my child would have a good life thanks to those no longer here and those who served.</p> <p>The mothers of those men would never get over their loss but to have such a valuable memorial that contributed to the well being of their home community must have been of great importance to them. The efforts of the women who began this memorial deserve to be acknowledged.</p> <p>My uncle's name is on the oberlisk there. My father made sure we knew of him and respected his memory. This memorial is not just bricks and mortar. It is tears, hope, connection, history and stories worth telling. Should this be lost there will be a lot of explaining to do in future years. For many families this is part of the story the family will pass on through generations. The buildings will become outdated and old but what they represent will always be so very imprtant to so many people past, present and future.</p> <p>Who of you will put a price on this?</p>



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
██████	██████	<p>I've just left Eltham after 31 years residence. The War Memorial is an area of significance to me. I was a child during WW2 and realised the extent of sacrifice from so many at that time. In our extended family we lived daily with evidence of the sacrifices of WW1.</p> <p>The attractive thing about this memorial is that it reflects the pragmatism and optimism on display when we are at our best. The fact that this "Living memorial" was proposed and supported by people of both the Right and Left of politics reflects the widespread support for the idea.</p> <p>Some forty years ago we came under the influence of an Economic theory that valued things only in terms of their exchange monetary value and ignored the cultural and spiritual values that go to make us fully human.</p> <p>It may well be that the present buildings need to be redeveloped but it is important that their use continues to be for the benefit of the local community and that the area's role as a War memorial be continually promoted.</p>
██████ ██████	██████	<p>Having lived and worked in Eltham for over 30 years, the retention of 'core' community buildings remind us of place and time. We thank and applaud previous generations for their sincerity in devising, creating and maintaining such a well structured memorial complex. It continues to serve the current generation well, and we trust this will continue for generations to come.</p> <p>The complex was developed by the Eltham War Memorial Trust Inc., as a form of living memorial as a 'constant reminder to us of those who fought for us and the little ones for whom they fought and died'.</p> <p>It remains as a living memorial, established from funds raised from within the community by public subscription, with a specific focus for the welfare of children of the district.</p> <p>As locals, we should know, trust and expect that Eltham's heritage can be guaranteed for future generations to similarly respect, appreciate and enjoy.</p>



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
■	■	The War Memorial buildings are a functional reminder of the history of white Australia and indeed of “ old ‘ Eltham. Since living in the town for 40 years I have attended activities the buildings including Infant Welfare and Toy Library for my own children and kindergarten with my Grandchildren. While Eltham Town is changing as the population grows I believe these buildings add a depth to the identity of this town. They continue to be living, vital places in our special town.
■	■	<p>Back in March 2018, I marched for something very important... OUR community open spaces and what I reflected on that day holds true for both open and community spaces:</p> <p>My family has lived in the Diamond Valley since my Great Gransparents moved here in the 40's. My parents live where they lived, where I grew up, amongst the trees and paddocks. What I loved most growing up, the social time spent in our neighborhood learning many of life's lessons.</p> <p>Reflecting on this at the march I thought about the wonderful time I had with my kids at The Rocks in Sydney and how hard it was to get my first born out off The Rocks Museum. How fortunate The Rocks was not lost in the early 70's to development. Ironical to see this quote on a t-shirt, "Your parks are your breathing spaces. Guard them, cherish them... Patrick White 1972". It was he who was instrumental in saving The Rocks.</p> <p>And then I thought of The Lorax, written in 1972 and wondered what has changed? Once-lers have no place in a healthy community.</p> <p>Lucky Fabbro Fields is State Government land for all to enjoy without threat.</p> <p>Our Community Spaces and Open Spaces are just that,communal for now and the future... Save our spaces for their intended purpose... for healthy and respectful communities to honour the past and strengthen for their future.</p>



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
		This site is sacred for our healthy future, please honour the history and its desired future where family and community are strengthened through the built environment and protect Eltham's War Memorial precinct.
■■■■	■■■■	As I have stated previously or words to this effect that the War Memorial buildings belong to our Community to be retained as a reminder to all of the sacrifice made by those who helped to protect our country during times of war and to those who died during those times. It is too awful to think that those buildings will be destroyed in the name of whatever Council decides. It's a very painful issue for so many of us. Please leave this precious site alone. In other words do not destroy it.
■■■■ ■■■■	■■■■	We have lived in Eltham since 1975, raised our children who both attended the child care centre and the kindergarten at the Eltham War Memorial Building. This is a cornerstone of Eltham's history, along with the old court house, Shillinglaw cottage, Monsalvat and Walter Withers house. We have seen many changes with population expansion, but must preserve this unique building as part of Eltham's unique history.
■■■■	■■■■	The building were donated by women's auxiliary as a memorial for the fallen Soldiers of the WW 2 for the benefit to the whole Eltham community. I think this should be kept for future generations to appreciate the sacrifices of our ancestors.
■■	■■■■	It is important to remember and commemorate the role that women have and still do play in our local history. It is important to recognise that the group of pioneering local women understood the need for community to come together, not just in the planning and fulfilment of this project, but in providing a physical building where many health educational and social needs of families could be met.
■■■■	■■■■	These buildings hold many memories for families in and around eltham. They are one of the few existing heritage landmarks remaining on elthams streetscape. The site where the health and care of our children was considered and s memorial to those taken by war.



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
██████ ██████	██████	<p>The Eltham War Memorial buildings may be to some an ageing group of architecturally common buildings.</p> <p>The STORY behind these buildings are the important historical markers in this bid.</p> <p>This, as a group of community funded, community planned, community used buildings. A true “community hub”.</p> <p>A post war women’s initiative I believe to be quite unique in Victoria and should be retained and revered as a honoured part of our local history.</p> <p>Celebrating who we were. Who we are. Who we’ve become and who we will be.</p> <p>This is a story of local women creating real social action. And it is a story about how a “memorial” can be a living, useful and functional community asset while still serving to remember those lost in war, a sacrifice for the children being fought for.</p> <p>This is a message of hope. A message to look forward, but to remember the past.</p> <p>These buildings say “If we don’t write children and young people INTO community, then (by definition) we are writing them OUT of community!”</p> <p>These buildings, while historically important, are also functional and used.</p> <p>The kinder operates as a revered community “bush” kindergarten.</p> <p>The War Memorial Hall has recent use as a youth services space, teaching barista and other programs. In the not distant past it was an after school care space.</p> <p>This complex of buildings has had continued connection and use to “children and young people” since their inception and the intended use.</p> <p>This is a story that needs to be known. Needs to be told! (And won’t be should these buildings be eventually demolished.)</p> <p>It is not good enough for a council, at any time, to delete significant local history in order to gain extra funds for which to brag “economically responsibility” for short term political gain. Like many historically significant sites, the land these buildings are on is sadly considered more financially valuable to some than the story it</p>



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
		<p>speaks, lessons it teaches and the functions it currently provides.</p> <p>For these and a myriad of other reasons we must protect these buildings.</p> <p>We must tell these stories. Share the history. Promote the ideals of Community and the role-model women who made these buildings happen, as a live example and way to encourage and support future generations to engage with each other. To have the will and foresight, the courage and spirit to join together as a community to selflessly support new initiatives.</p> <p>This is not simply a Group of random buildings.</p> <p>This is a story (a lesson) of compassion, of hard work, of future-proofing and an historic look at women's initiatives in a time when men considered most such projects.</p> <p>This is a lived history. A verbally supported history, with those women who remember the donations and collections of money from families in the local area, who remember the women meeting and planning. These women now coming to the end of their lives with those direct memories passing.</p> <p>Please support the history and story of this group of special buildings by affording them the protection they deserve.</p>
■	■	<p>My Mother-in-law, ■ ■ ■ ■ ■ Ian, my late husband's mother was one of the original instigators in creating these facilities. She together with many other friends worked hard to raise the money so the community would benefit. These buildings belong to the community and its people and should be Heritage listed.</p>
■	■	<p>Although I have been a user of the Eltham War Memorial Buildings for over 6 years, it is only in the last 2 and a half years that I have come to know the history of them. As a woman, a mother and a member of a community, learning about how the buildings came about has provided me with an appreciation for them and, even more so, for the women who worked together to make it happen. I find what they did to be inspiring and believe that if the story of this unique memorial were more widely known, it would inspire other women and communities of women to work together to provide meaningful contributions to their communities.</p>
■	■	<p>We need to retain Eltham's history and local sites</p> <p>Stop destroying Eltham</p>



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
■	■	Many moons ago my children attended MCH and School Dentist in the War Memorial buildings, then 20 years ago I became a teacher at Eltham Preschool. I've daily witnessed the intention of the War Memorial Trust continuing to support young Eltham families with early childhood services in an easily accessible, prominent location in the heart of Eltham town. A very early example of an integrated childrens centre. Over the years the preschool has adapted according to community needs and best practise, while always maintaining connections with neighbouring services, schools, shops, library, environmental groups and general community. We chat through our fence to familiar locals, many sharing stories of their own connection with our buildings years ago. Our preschool building might be turning 65YO this year, but is still a light filled open space, with extensive outdoor play spaces benefitting from the shade of mature original trees. In this time of plastic fantastic and rooftop play centres, our families can connect with real nature right in the heart of Eltham, with real trees, real soil and real plants and local wildlife. We were the original kindergarten in Eltham, and have been operating continuously since 1956. We need to respect the history of the buildings and grounds, and the intention of those who had the insight to honour their lost family members by building strong families in the future through these buildings. Imagine the generations of families who've grown up and shared their lives together through our doors, becoming Eltham's community! If Eltham really values its 'town feel' and 'green wedge', it wont achieve it by losing these original examples right in the heart of Eltham!
■	■	The buildings are important as they represent all Eltham....the Women who thought of the idea and put all their efforts and hard work into building a Memorial..... the Men who fought in WW2, those that came back and sadly those that didn't.... and all the Babies and Children who have been cared for and vaccinated by the IWC Sister/ MCH Nurse and lastly all the Children who have had the benefit of a great Pre School education, thanks to the dedicated Pre School Teachers
■	■	The buildings are important as they represent all Eltham....the Women who thought of the idea and put all their efforts and hard work into building a Memorial..... the Men who fought in WW2, those that came back and sadly those that didn't.... and all the Babies and Children who have been cared for and vaccinated by the IWC Sister/ MCH Nurse and lastly all the Children who have had the benefit of a great Pre School education, thanks to the dedicated Pre School Teachers



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
■■■	■■■	<p>I love that they were created by the Women's society of Eltham as a living memorial to honour our fallen soldiers of the world wars</p> <p>and the children they fought and died for</p> <p>It seems in those days ,there was Respect of our soldiers and our community</p> <p>They need to be protected under the heritage Act as there isn't much history left in Eltham, with making money being the main focus of our councils</p> <p>It should never have been sold to council</p>
■■■	■■■	<p>The War Memorial Complex is important to me for three reasons:</p> <ol style="list-style-type: none"> <li>1. The child care related buildings connects me to other mothers who lived and raised children in Eltham.</li> <li>2. The group of women who, as volunteers, worked hard to raise funds for, and organise the building of the War Memorial Complex of buildings inspire me to make a meaningful contribution to the Eltham community.</li> <li>3. The achievements of Jessica MacFarlane, as a female architect, working in a male-dominated profession, forty to sixty years before I started doing the same thing, connects me and my daughter who is currently doing her Masters in Architecture to a lineage of female architects in Victoria. When I consider how the Eltham Pre-school, designed by A.K Lines and MacFarlane, has used space, light and connection to the outdoor environment to bring delight and nourishment to the spirit of young children for decades, in a way that only good architecture can, it deepens my resolve to improve and use my design skills to produce architecture that will do the same for others.</li> </ol>
■■■	■■■	<p>My Grandmother was greatly involved in charity work in the area. I feel it is extremely important to acknowledge the work that volunteers contribute to such community buildings and facilities. To acknowledge the great sacrifices that were made &amp; indeed led to benefitting the whole community. Rather than tearing things down for financial benefit of a few.</p>
■■■	■■■	<p>It's a significant historical site for our children to remember the sacrifice made during war for our peaceful lifestyle now and learn about the community, teamwork and in particular women in leadership.</p>
■■■	■■■	<p>The wealth of history surrounding these buildings is extremely important - the initiative of the group of women who contributed to creating the whole site 'for future generations of children and families' should be commended and protected for generations to come.</p>



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
██████	██████	<p>As a student of Architecture at the University of Melbourne, as well as an Eltham resident, in January 2019 I took it upon myself to write a (First Class Honours) research essay on the Eltham War Memorial buildings, for a coursework subject run by Dr James Lesh.</p> <p>In this paper, my contention is as follows:</p> <p>“Reflecting on attitudes surrounding the Eltham War Memorial’s inception, various ritualistic inaugurations as well as its humanistic, functional architecture, this essay primarily seeks to dignify the living memorial whilst also casting light on the mechanisms which work to suppress feminine narrative and experience.”</p> <p>After an excavation of newspaper clippings, old photographs, site visits and archives (scoured in person at the Public Record Office Victoria), and in the spirit of Laurajane Smith’s AHD (Authorised Heritage Discourse) critique, I conclude:</p> <p>“Over time, processes of male valorisation and female suppression have taken their toll. Where the obelisk memorial stands, polished, proud and static as ever, the living memorial has become tired and scruffy with age, threatened by an impending demolition and commercial redevelopment. Whether or not an ardent public will be enough to save and rejuvenate this vital place – the ‘heart of the shire of Eltham’ – remains to be seen.”</p> <p>As a member of the public, and a budding female architect myself, the living memorial is important to me as its inception, design, operation, and now preservation, is borne by industrious and proactive women of Eltham. The living memorial's demolition will erase the concrete presence of this lineage, and along with it my hope that the present generation of women may receive equal respect and equal opportunity to their 'obelisk' counterparts. If current authoritative attitudes are not supportive of women's history (of which so little is tapped into) then how can we ever expect to be supported presently as working women, as mothers, as daughters?</p>



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
██████	██████	<p>The war memorial has stood as a 'living tribute' to those who have fought and fallen and who continue to fight for our country. The site serves as a point of connection to community through firstly the MCH centre and more significantly through the Pre school where life long connections and support are made. For over 60 years children have been supported to develop, learn and grow on this site. It is at the heart of our community , it needs to be protected so</p> <p>That future generations are able to benefit from those who fought so valiantly, so that they are honoured and never forgotten.</p>
██████	██████	<p>This war memorial is a living, useful tribute to the people who fought and died for our community. The memorial was funded and driven by the community and deserves to be recognised for what it is, despite not being a "traditional" war memorial. It is memorials like his that make us think about what war actually meant and why it was fought. This is an important and unique part of Eltham's and Victoria's story.</p>
██████	██████	<p>My father was an office bearer of the Trust and spent many hours of community service involved in the Trust and working to maintain upkeep of the buildings.</p>
██████	██████	<p>The War Memorial is In a prominent position and readily available to visitors, including children. I believe it helps foster interest from children about it's Importance. And is a frequent reminder to us all about though who served, as we go about our daily business.</p> <p>As parents of a young child we have recently had a very positive experience at Eltham Preschool, and been indulged by the beautiful surrounds which have provided many learning opportunities for the children.</p>
██████	██████	<p>The war memorial building have been the place I first felt part of a special community here in Eltham, seeing the wonderful health nurses after having my first baby, through to my son finishing kinder at Eltham preschool. The Preschool is such a wonderful establishment and I am looking forward to my next two children attending for the next four years!</p>
██████	██████	<p>My mother took me there for check ups as an infant and young child and I remember attending a few after school care sessions in 1980s after school at Our Lady's Primary.</p>
██████	██████	<p>Historically significant to my family</p>
██████	██████	<p>The buildings are very important and unique part of Eltham - past and present .</p> <p>Too many of our historical buildings are being lost . This Memorial is a strong reminder not only of those that they were built to honour , but a reminder in these times of diminishing community spirit , of what can be achieved by communities when they work together .</p>



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
██████	██████	<p>My first visit to the War Memorial Buildings was shortly after my son was born in 2008, to see the maternal child health nurse. From here new mums were placed in a 'mum's group' where we would meet at the buildings for our first 6-7 gatherings. This was one of the most important connections as a new mum, meeting other people going through the same highs and lows. I still today count my mothers group as friends and we now catch up without the children. When it was time to look at Kinder's the Eltham Pre School was a natural choice, it was within walking distance, close to town and the local library and park.</p> <p>We enjoyed 3 fabulous years at the Pre School and have very fond memories of the amazing play spaces.</p>
██████	██████	The War Memorial represents an important part of Eltham Community History and should be preserved for future generations.
██████	██████	Because they were funded by the community including my grandparents for the community. There are NOT council owned and cannot be sold. The pioneers of Eltham would be horrified in this development. You cannot and must not sell the war memorial buildings EVER. My grandfather help dig the old pool by hand, planted all the trees that are still around the footy oval and volunteered in the community from the time he returned from WW1. Please do not erase history.
██████	██████████ ██████	I was born & educated in Eltham. We attended the maternal child centre and attended the kindergarten in the 1960's. This complex of buildings is important to me personally because they have been a part of Eltham all of my life. However they are also an important part of Eltham's history and were built because of an amazing group of Eltham ladies. I think it would be dishonourable to their memory and intent as well as that of the service men and women to whom the buildings were dedicated to and for the future history of Eltham. People who come to live in this beautiful area should know and understand why we have these buildings. Too much of our history and the buildings of bygone eras have already been lost.
██████	██████	Too often now we are seeing the destruction of Melbourne's heritage base due to economical 'progress'. It is more important now, than ever, for everyone living in Melbourne to preserve and appreciate our history and green spaces rather than consistently give way to destructive developers (who have a tendency to not only demolish historical buildings but also to remove all traces of the tree canopies/greenery and replace the area with concrete and steel simply to 'make money'). As rate collectors the council are usually only too ready to give way to this but it is time we 'rethink' the process and realise that green space, historical preservation and knowledge and ultimately well-being is more economical and refreshing in the long run.



First Name	Family Name	Please let us know why the Eltham War Memorial Buildings are important to you
██████	██████	<p>I attended my after school program here in the 1990s and it became a special place to me then. I have so many fond memories of special times playing in the gardens there.</p> <p>After visiting the Somme, and battlefields in France, I believe that remembering and acknowledging the soldiers, the people and the times of war are immensely important not only to recognise sacrifices made, lives lost and our past, but also for future generations to learn from it. The Eltham War Memorial Buildings are one of the first buildings you see when driving into our Town and they must remain this way. This is our town and we love it as it is.</p>



Response No:  
19

Contribution ID: Letter

Member ID:

Date Submitted: 07 August 2023

First Name

[REDACTED]

Last Name

[REDACTED]

Email

[REDACTED]

Address

[REDACTED]

Details

[REDACTED]

Stage B - 26

HO319

Objection



[REDACTED]

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**From:** [REDACTED]  
**Sent:** Monday, 7 August 2023 7:12 AM  
**To:** Strategic Planning  
**Subject:** [REDACTED]

To Whom It May Concern,

I wish to object to having a Heritage overlay placed on the above property ([REDACTED])  
[REDACTED] As your records would show, this property was rebuilt in 2004 and is no longer in its original -  
Heritage state.

Kind regards  
[REDACTED]



Response No:  
20

Contribution ID: Letter

Member ID:

Date Submitted: 07 August 2023

First Name

[REDACTED]

Last Name

[REDACTED]

Email

[REDACTED]

Address

[REDACTED]

Details

[REDACTED]

Stage B - 11

HO304

Objection



[REDACTED]

**From:** [REDACTED]  
**Sent:** Monday, 7 August 2023 11:46 AM  
**To:** Strategic Planning; Ben Ramcharan  
**Subject:** Re: [REDACTED] - Amendment C149 Heritage Review

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

To whom it may concern: As I was unaware of the closure of submissions, I kindly request you incorporate these into your assessment or allow me to provide a late submission. This is provided below.

### Context

The house ([REDACTED]) has been the subject of an extension in the early 1970's. The manner of this extension is described by Trethowan Architecture in Heritage Citation No. 11b.

These changes represent 30 % of the original house by area.

The extension to the carport was designed to be built in with the rock wall extended to the south and bedrooms incorporated under the existing roof (per comm, [REDACTED]).

Other exterior changes have been made since we purchased the house further enhancing the mid-century 'look' of the house (wooden panelling to the north-eastern façade, refinishing timbers as original etc).

The house has maintained the mid-century look – through extensions and renovations, which challenge the architects' conclusions regarding intactness.

Noting the changes are post 1970 the assertion that the entire house is an intact example of 1950s Melbourne Regional Style is not accurate. It's merely maintained a façade of this style through both extension and renovations.

Further to this point, had the 1970s extension been done in 2020 (in the same manner), would the whole house be considered for listing, or only the 1950s constructed part? Taking this point even further, If a house was built in 2020 in the mid-century style (say an exact copy of our house), would it be worthy of protection, just because of the 'look'. See my points on the consultant below re this.

### Impacts

We have sought advice regarding how the HO will be applied (if the amendment is gazetted) and to date, there is no published information on how Nillumbik considers and assess renovations and extensions to houses with a HO in place (beyond a simple flyer and a ref to a State doc, while other councils have very useful guidance). We request the Council publish such specific guidance, so we may better understand the impacts of the amendment. Without definitive guidance, we feel that it is not possible to clearly understand the nature of impacts that may arise from the amendment, and therefore ask Council to defer any decision until such time Council can articulate how this action will affect our plans for our home.

Noting the lack of definitive information, we would like council to consider that:

- We have desires to renovate the house to suit our family of 5 (its currently 2 bedrooms) using the same materials to extend in such a way that you could not tell what was built in the 1950s, 1970s and what was built in say 2024.



- We fear that applying the HO heritage to the entire house will prohibit continuing the original owners and our vision for a seamless extension (including extending the stone wall and constructing additional rooms under the existing roof).
- We are also fearful that this amendment will result in our family having to build a structure that differentiates between old and new (in line with Burra Charter principle). This will impact the continuity in design, likely be cost prohibitive etc and of course the 1950s style council is seeking to protect.

Noting the above, we do not support the amendment being applied to part or all of the house at this time.

#### **Other - Architect and process**

It is important for Council to note that:

- The identification and assessment by Trethowan Architecture seems to focus on pretty houses that have been the subject of magazine articles, yet there is a Robin Boyd in Koornong that was not identified during the survey, even after I pointed this out to the architects
- There are also errors with the identification of properties along Koornong Cres already under a HO. These include a mix up between numbers where the wrong house is protected. Point here is the assessment process to date is flawed with junior staff visiting houses and not recording information correctly.
- To this end, Trethowan Architecture misquoted me on numerous occasions, and I even provided feedback to this effect, which was ignored.
- Finally, Trethowan Architecture also quoted me for other assessments of properties on Koornong. I never gave my permission and I strongly object to this use.
- With the current scrutiny of consultants, we request the document is peer reviewed by an independent body (not another consultant).

I look forward to hearing from you regarding my submission or how I can submit a late submission to Council.

Regards

[REDACTED]

On Fri, May 5, 2023 at 9:41 AM Strategic Planning <[REDACTED]> wrote:

Hi [REDACTED] thanks for the enquiry.

As part of the amendment process to identify Nillumbik's heritage places we are relying on owners and the community to aid us in accurately preserving the history of the Shire. Commencing in June, Council will be exhibiting the amendment and all associated documentation. During this time you will be able to make a submission in response to the amendment and suggest changes, corrections etc. Once exhibition has concluded, all submissions and officer recommendations will be presented to Council for a decision. You will be informed and involved in these further stages of the amendment as an owner/occupier and/or submitter. This will ensure that all appropriate changes are looked at carefully and incorporated into the amendment so that the Heritage Review can be as accurate and complete as possible.

Council will be notifying owners and occupiers of the next stage to Amendment C149 in the next few weeks by mail or you can keep up to date with the amendment by hitting the +follow button at this link: [Amendment C149 – Heritage Review \(nillumbik.vic.gov.au\)](https://nillumbik.vic.gov.au/Amendment-C149-Heritage-Review)

If you have any further questions or concerns, please don't hesitate to contact us.

Kind Regards,



**Strategic Planning**  
**Nillumbik Shire Council**

*We acknowledge the Wurundjeri Woi-wurrung people as the Traditional Owners of the Country on which Nillumbik is located, we pay our respects to Elders past, present and future, and extend that respect to all First Nations People. We respect the enduring strength of the Wurundjeri Woi-wurrung and acknowledge that sovereignty was never ceded.*

*This email, including any attachments, is confidential and intended only for the individual or the entity named. If you received this email in error please advise the sender immediately by return email and delete it and all copies from your system. If you are not the intended recipient of this email, you must not use, print, distribute, copy or disclose its contents to anyone.*

**From:** [REDACTED]  
**Sent:** Thursday, 27 April 2023 8:35 AM  
**To:** Strategic Planning [REDACTED]; Ben Ramcharan  
[REDACTED]  
**Cc:** Vy Costen [REDACTED]  
**Subject:** [REDACTED]

Hi,

My name is [REDACTED], together with [REDACTED] we own of [REDACTED]. I have read the Heritage citation and note Council has commenced an Amendment to the Planning Scheme - C149.

The document prepared describing our house contains numerous errors and has recommended our entire house be subject to the HO. Even with documents provided to the architect firm which clearly indicates that extensions to the house occurred in the 1970s (including the addition of a carport). How can this error be corrected prior to the next stage of the process commencing?

I look forward to hearing from you regarding this matter.

Regards,

[REDACTED]



Response No:  
21

Contribution ID: Letter

Member ID:

Date Submitted: 03 August 2023

Name / Organisation

Crossroads Planning [REDACTED]

Email

[REDACTED]

Address

[REDACTED]

Details

[REDACTED]

Stage B - 34

HO327

Objection





# CROSSROADS

TOWN PLANNING

3 August 2023

██████████  
Senior Strategic Planner  
Nillumbik Shire Council  
Via email: ██████████

Dear ██████████

## Amendment C149nill – application of Heritage Overlay

██████████

We advise that we act on behalf of the landowner of ██████████ in relation to this matter.

We have reviewed the background material and citation for the Heritage Overlay proposed to be applied to the property, and have obtained an expert review from Peter Barrett, Architectural Conservation Consultant.

We attach Mr Barrett's Memorandum of Advice, in which he raises concerns about the reliance on Google Streetview images, and how that conveys that the assessment appears to have been carried out as a desktop analysis rather than a rigorous survey of the site.

The application of a Heritage Overlay has considerable financial implications on a landowner so a change to the planning controls should be carried out thoroughly, and result in a fair outcome.

Mr Barrett considers that further work should be carried out by Council's consultant to better understand the buildings on the property in order to properly inform the process of deciding whether the Heritage Overlay is warranted. If the result of that work indicates the overlay should be applied, the citation should be clear about the significant elements and give clarity to all parties about how the site should be managed into the future.



The logo for Crossroads Town Planning features the word "CROSSROADS" in a large, sans-serif font, with "TOWN PLANNING" in a smaller font below it. To the right of the text is a stylized graphic of two intersecting lines forming an 'X' shape, with small orange segments on the lines.

CROSSROADS  
TOWN PLANNING

Mr Barrett has extracted the relevant statement of significance from the *Draft Nillumbik Heritage Review: Stage B* and provided comments relating to areas of concern. We attach that extract for Council's review and consideration.

We urge Council to give due consideration to these concerns and request a more detailed analysis of [REDACTED] before advancing the application of the Heritage Overlay to this property any further. In the event that detailed work cannot be undertaken, the property should be deleted from Amendment C149, and the interim Heritage Overlay HO327 that was applied under the s.20(4) Ministerial Amendment C148 should accordingly lapse on 1 October 2024.

Should you have any questions in relation to this submission, please contact me on [REDACTED]  
[REDACTED]

Yours faithfully,

[REDACTED]

[REDACTED]

Town Planner and Director  
Crossroads Town Planning Pty Ltd



Peter Andrew Barrett

Architectural Conservation  
Consultant

Melbourne  
San Francisco

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120 Collins Street  
Melbourne  
Victoria 3000  
Australia

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E: info@pabarrett.com  
W: www.pabarrett.com

2 August 2023

## MEMORANDUM OF HERITAGE ADVICE

ATTENTION: [REDACTED]  
CROSSROADS TOWN PLANNING

REGARDING: POST OFFICE & STORE  
[REDACTED]

Thank you for contacting me about this matter.

The post office and store at Doreen has potential to be of Local significance to Nillumbik for its historical value (Criterion A) and representative value (Criterion D), but further work is needed in the heritage study to support this.

In undertaking an assessment of the post office and shop (and house), more engagement is needed with the site in terms of its fabric. I recommend against reliance on Google Maps images (Figures 2 and 3) in the citation, which conveys this is more of a desktop assessment than a rigorous survey of this site. Consequently, elements on the building are not accurately described, with some elements missed (refer to comments added to the citation).

In the statement of significance, weight is put on the shop retaining its original brick walls, but there is no narrative on these walls having been overpainted and, a portion of the wall on the Yan Yean Road has been rebuilt in recent years where the post office boxes were fitted. What significance, if any, is the mural? There is also no discussion on the verandah and whether it, or parts of it, are original.

The storeroom seems to have been built at a different time to the shop. The date this was built should be identified. Was it always a storeroom to the shop?

Further documentary research is needed. In terms of the residence, the narrative should be more conclusive than *...It is possible that the existing residence adjacent to the current store was built at this time as it appears to date from this period [1908]*. As the post office and shop have evolved from the house, the date of the latter is important in an historical account of the site.

Peter Andrew Barrett

1



The post office was most probably a post office agency and not an official post office. It is worthwhile making this distinction in historical narrative (see my comments in the citation). Also, when did the post office cease operating from the shop?

More detailed comments are provided in the citation attached.

On this basis, before proceeding with the amendment I recommend that further work is undertaken as outlined above. Once this has been completed, Council should reassess whether to proceed with the amendment to apply heritage controls to this site.

Please let me know if I can be of any further assistance with this matter.

Yours sincerely



Master of Architectural  
History & Conservation (Melb.)

Peter Andrew Barrett





### Post Office and General Store

Prepared by: Trethowan Architecture

Address: [REDACTED]

<b>Name:</b> Post Office and General Store	<b>Survey Date:</b> February 2022
<b>Place Type:</b> Post Office, General Store and House	<b>Architect:</b> Not known.
<b>Grading:</b>	<b>Builder:</b> Not known.
<b>Extent of Overlay: ?</b>	<b>Construction Date:</b> c1908, 1932-33



### Historical Context

Doreen was established as an orchard district in the mid to late nineteenth century and was originally known as Linton as it was within the Parish of Linton. Several families have been associated with the district from the mid nineteenth century: the Reds, the Bassetts, Herbert Brocks, Lobbs and Creghtons are among them.

The first Linton (Hazelton) Wesleyan Chapel and Sunday School was built in 1863, located across Chapel Lane from the site of the existing church (Draper 2012). In 1867, Doreen's first school, a non vested Common School, was established on the south side of Chapel Lane. The school also became the location of Doreen's first Post Office, which operated from a room in the teacher's residence until as late as 1894 (Payne 1989:3). The school became Common School No 945 in 1868 and was purchased by the Colonial Government in 1873, turning it into a State School (Payne, 1989:7). The school was moved to the current site on the north side of Doctor's Gully Road in 1895 (Doreen Primary School, accessed 2015). From the 1870s onwards, the crossroads of Bridge Inn Road and Yan Yean Road has been the town centre of the district. In 1895, despite the opposition of the local community, the Post Master General had renamed the area 'Doreen' (Age, 15 June, 1895:7).





Doreen was becoming a more substantial locality by 1908, with greater emphasis being placed on the corner where the stores were located and a new recreation reserve and playground opposite to the stores. In 1909 when the hall was opened the local paper announced that "a few years ago the place was scarcely known; now it blossoms out as a leading place of the Shire" (EO&BER, 19 November 1909:2).<sup>41</sup> In 1908 arrangements were being made for a telephone connection between Yan Yean and Doreen (EO&BER, 17 April 1908:2).

During the 1920s Doreen was a frequent stopping place for excursionists and the crossroads remained the centre of social activities for the predominantly fruit growing district.

**Commented [p1]:** Excursionists to where?

### History

In 1873 John Cornell purchased 10 acres, being the eastern half of Lot 4 Section A Parish of Greensborough, from Helen Cooke. John Cornell's father William, who had obtained the adjoining 20 acre lot to the east (Lot 5) in 1871 through an occupation lease, purchased the other 10 acres (the western half), which adjoining and he already owned (CT V517 F371; Greensborough Parish Plan).

Early references indicate that John Cornell may have opened a store on the south east corner of the crossroads in the 1880s: In 1882 and 1883 the Whittlesea Shire discussed road works near "Cornell's store" (EO&S&EBR 16 December 1892:2; 18 May 1883:3). By 1897 the term 'Cornell's corner' was in use (EO&S&EBR 27 August 1897:2). In July 1901 John Cornell advertised a store of four rooms and six acres of land to let at seven shillings per week (Age 19 July 1901:3). At his death in September 1901, John Cornell was living with his sister Elizabeth and brother-in-law William Christian in Doreen (EO&BER 27 September 1901:2).

**Commented [p2]:** Cornell's probate 1901 lists on 10 acres Parish of Greensborough a blacksmiths shop and two weatherboard cottages containing 5 and 4 rooms respectively PROV VPRS 28/P0002 81/002 John Cornell

The post office was transferred from the school residence to the store in 1902. In the same year, as a result of Cornell's death, ownership of the 10 acre property with store went to Cornell's sister Elizabeth Christian (CT V587 F331). John Adams was the postmaster from 1903, and John Davison followed until 1908. During Davison's tenure the store was destroyed by fire and rebuilt (Payne 1989:34). It is possible that the existing residence adjacent to the current store was built at this time as it appears to date from this period.

The next long term storekeepers, Mr Robert William Atkinson and his wife Georgina (Patterson), appear in the record around 1909 (EO&BER 14 May 1909:2). By March 1917, when the Atkinson's announced they were retiring from the business, the store had become a stopping point for excursionists from the city. The Atkinson's were described as "an agreeable and willing authority on the most accessible routes to the Sydney beauty spots located for many miles around for pleasure seekers." The local paper reported on the widespread local expressions of regret from customers and the public at their departure, stating that "Mr and Mrs Atkinson... were greatly missed in the public capacity at this centre, which is a convenient camping place for many." During the war they had also been active workers for the local Red Cross Society, and the store had been made available as the receiving depot for donated articles (EO&BER 16 March 1917:2).

The next few years saw another succession of short lived proprietors of the store at the corner. In 1917 Mr Henry Gilbert Gentry, late of Carnda Post Office, purchased the general store business "consisting of Groceries, Crockery, Ironmongery, Produce, Drapery, Haberdashery, etc." The post office, telegraph and telegram services were also conducted from the store (E&WSA&DCVA 6 April 1917:3; EO&BER 9 March 1917:3; 30 March 1917:2).

Elizabeth Christian's oldest daughter Mary and her husband Evan Owens took over the store next, as Owens was described as the postmaster and storekeeper in 1924 (Payne





1989:34; *Advertiser* (Hurstbridge) 16 May 1924:2). Telephone poles were installed between the store and 'Red's Land' in 1924/5 (*Argus* 9 December 1924:11). The increasing number of excursions from the city was indicated by cars in 1927 for a "fingerpost" at the post office corner; it was also noted that "every Sunday many motorists stop to inquire the destination of each of the four roads radiating from there" (*Advertiser* (Hurstbridge), 7 October 1927:2).

In 1931 Elizabeth Christan subdivided the 10 acre lot she had inherited from John Comer. Evan Owens purchased a quarter acre portion on the corner, including the store (CT V5756 F049; V5756 F050). Owen's ownership of the freehold coincides with the rebuilding of the current post office store in 1932/3. The adjacent storeroom was a key part of this new building. During construction of the new brick store, a wall collapsed and crashed onto the road (*Age* 23 December 1932:10; *Advertiser* (Hurstbridge), 6 January 1933:4).

In 1934 Mary Owens died at the age of 37 (*Advertiser* (Hurstbridge) 5 January 1934:1). In the same year Evan Owens became a councillor for the Morang riding of the Whittlesea Shire (*Advertiser* (Hurstbridge) 14 September 1934:6; 5 October 1934:3). He also secured the contract for carting mail between Mernda and the Doreen post office (*Advertiser* (Hurstbridge) 29 June 1934:4).

When the Doreen Bush Fire Brigade was formed in 1942, Mr Owens was the first president, and equipment was stored at the Post Office store (*E&WSA* 16 January 1942:2; 6 February 1942:4). By 1941 a Mrs Mitchell was running the post office (*E&WSA* 31 October 1941:1). Between 1945 and 1991, the property changed ownership numerous times (CT V5756 F050; CT V7594 F166).

#### Description & Integrity

The Doreen General Store and Post Office consists of a corner brick shop building, a brick storeroom constructed in 1932-33 to the south, and a weatherboard residence attached on the east side. The residence dates from the early 20th century (c1908). The site is located on the south east corner of the intersection of Yan Yean Road and Doctors Gully Road.

The residence and part of the shop are contained under one large, low-slung Dutch gabled roof that runs on an east-west plane. The shop projects further north from the façade of the house to meet the corner of the intersection (Figure 1). This front projection has a hipped roof. The roof form indicates that part of the store actually dates to the earlier period, and the front corner section and brick walls form the part of the building erected in 1932-33.

Commented [p3]: and the house?

Commented [p4]: Would it be clearer to say the portion of the shop with the dutch gable and house date from c1908 and the remainder from 1932-33?





Figure 1 An aerial view of the site. The front projecting section of the corner store is highlighted in green, residence in yellow, and storeroom in red. Source: Google Maps.

The shop has a splayed corner and the entry door is located on this splay. Above the door is a small window (Figure 2). On each road elevation is a large shop window of the same size. The shop building has simple brick parapet with projecting brick courses on both elevations; original raised lettering 'Post Office Store' is towards the top on this parapet.



Figure 2 A view of the small window above the doorway on the corner splay. Source: Google Maps.

The brick wall continues further south for the store building, however the parapet is overhanging this section. The storeroom is contained under a gable roof that runs north-south. The storeroom has a single door on Yan Yean Road closest to the corner store, with two windows to the south.

The timber residence with weatherboard cladding has a frontage to Doctors Gully Road. The roof has deep eaves with exposed rafters around the north and east elevations. There

**Commented [p5]:** What is the section indicated with an arrow?

**Commented [p6]:** There are also three of these windows on the north elevation, one has been fitted with an air conditioning unit.

**Commented [p7]:** One shop window has been fitted with bi-fold windows (north elevation).

**Commented [p8]:** Description of shop verandah needed. What is original to the 1930s works? At least one post has been replaced.

**Commented [p9]:** There is a painted rendered band that extends along the wall towards its top. A portion of the wall where post boxes had been fitted has been bricked in. The walls are overpainted.

**Commented [p10]:** The wall has an expansion joint where the lower shop wall connects with the storeroom added with the separate roof of the shop and storeroom; it may be an indication that it was built at a different time to the shop.





is a small, centrally recessed veranda on the front façade, with a later bay window to the side. A pan chimney is also evident (Figure 3).



Figure 3 A view of the residence Source Google Maps

#### Comparative Analysis

Post offices were integral to rural communities, as the primary method of communication for many. In rural settlements such as the small towns in the Shire of Nillumbik, post offices were often combined with another integral commercial function, such as a general store. It was common for a residence to be attached for the postmaster and storekeeper.

This site is a rare surviving building on the central crossroads of Doreen, and demonstrates the early social, commercial and civic centre of the Doreen township. At its height, the intersection was home to a blacksmith to the east of the general store and residence, another store across the road that closed around c.1910 and a public hall and recreation reserve on the diagonally opposite corner.

The subject site is an important surviving example of a Post Office and General Store located in what was the social centre of the town. Other examples within Nillumbik of early commercial buildings with a Post Office function that are in the Heritage Overlay are as follows:

- Kangaroo Ground General Store & Post Office, 280 Eatham Yarra Glen Road, Kangaroo Ground (HO48)
- Hurstbridge Post Office Evelyn Observer Office, 794 Heidelberg Kingslake Road, Hurstbridge (HO68)
- Old Store and Post Office, 910 Arthurs Creek Road, Arthurs Creek (HO179)

**Commented [p11]:** The verandah is not recessed but projects forward of the house and is formed by the roof of the house

**Commented [p12]:** There is another chimney to the south of the ridge

**Commented [p13]:** These were post office agencies and not official post offices (like a post office shop today). It would be useful to establish what type of post office this was. The combination with a store tends to indicate it was a post office agency. A 1911 map of post office services shows it to be not an official post office at that time.

**Commented [p14]:** Is this former blacksmith's shop the site of the commercial business to the east? Also, the storeroom was a 'saddlery' until recent decades. Had this been part of the earlier blacksmith business in the environs of the shop?

**Commented [p15]:** The demolition of the hall at this intersection has impacted upon this being perceived as the centre of the township. There is a need for some narrative of the impact of the loss of the hall on this and in comparative terms with Kangaroo Ground which retains a legible sense of early community life in Nillumbik with its school and teacher's residence recreation reserve and hall, general store and post office and church. In this respect Kangaroo Ground is the exemplar.

**Commented [p16]:** Other elements at or in the environs of the intersection reinforce this intersection being a centre of the township, i.e. the Civic Guide on the Yan Yean Road frontage and the post office box on the Doctor's Gully Road.





Figure 4 Kangaroo Ground General Store & Post Office 280 Eltham-Yarra Glen Road Kangaroo Ground (HO48)



Figure 5 Hurstbridge Post Office-Evelyn Observer Office 794 Heidelberg-Kinglake Road Hurstbridge (HO68)



Figure 6 Old Store and Post Office 910 Arthurs Creek Road Arthurs Creek (HO179)

The General Store and Post Office at 280 Eltham-Yarra Glen Road is historically significant as a centre of community life since c1900, including its use for Council meetings which were conducted in the front room of the store. The building is also aesthetically significant as one of a group of three well-preserved public buildings in the Kangaroo Ground hamlet.

The post office and former newspaper office at 794 Heidelberg-Kinglake Road is historically significant because it was constructed for the local newspaper, the Evelyn Observer. The office is historically and socially significant because it has served as a post office since 1930 and is an important component of a group of pre-1950s structures in this part of the town.

The former store and post office at 910 Arthurs Creek Road is significant as a well-preserved building and early with Arthurs Creek, and for its rare shopfront detailing. The building is considered as contributing to the significant historic landscape of the town.

Although united by their similar functions as post offices with secondary commercial functions, the subject sites are distinctive among these examples for their prominent corner setting and brick construction. The subject sites are similar to the Arthurs Creek example for its attached residence.

A three comparative example is constructed in timber, which is reflective of the modest town development that occurred in the Victorian and Edwardian periods. The choice to erect a prominent brick store front indicates a level of prosperity for the locality and the site's prominence in the town setting. Aesthetically, the subject site is also set apart from the comparative examples by its restrained design with Moderne influences, evident in the parapet brick courses and lettering.





### Assessment Against Criteria

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay* Department of Planning and Community Development revised July 2015, modified for the local context.

**CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance)**

**[Potentially]** The Doreen Post Office and General Store is historically significant as a centre for community life in Doreen. It is the second post office in the district, the site has functioned as the Post Office since 1902, however the current store and post office dates to the 1932-33. The house, significantly altered, is of earlier origin 1908. The building also has associations with the tourism history of the Shire, as from the late nineteenth the General Store facilitated excursions from the city on the railway to points of interest in the district. With the recreation reserve, the post office general store and house is a surviving site that is evidence of the early township of Doreen at this intersection, with evidence of this being the centred main shed by the demolition of the hall on the opposite corner.

**CRITERION B: Possession of uncommon rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity)**

**CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential)**

**CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness)**

**[Potentially]** The Doreen Post Office and General Store is significant as an example of an interwar brick corner commercial building with earlier attached residence. The prominent corner location on a major intersection in Doreen demonstrates the post office and store's important role in community life in this town. The shopfront shows influences of the emerging Modern style with its details including a simple parapet with cornice and raised lettering. The weatherboard residence retains its original roof form and front veranda. The sum is a good example of an early twentieth century shop attached to an earlier residence in this district.

**Commented [p17]:** There seems too many qualifiers here [inter-war brick corner commercial building with an earlier attached residence] it may be better to leave this sentence out

**CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance)**

**CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)**

**CRITERION G: Strong or special association with a particular community or cultural group for social cultural or spiritual reasons This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance)**

**CRITERION H: Special association with the life or works of a person or group of persons of importance in the Shire of Nillumbik's history (associative significance)**









#### Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>External Paint Colours</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	No
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	No
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	Yes
<b>Aboriginal Heritage Place</b> <i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No

#### Identified By

Moss & Westbrooke





#### References

*Age*, as cited.

*Advertiser* (Hurstbridge), as cited.

*Argus* as cited.

Doreen Primary School History (archived webpage),  
[https://web.archive.na.gov.au/awa/20170218044436/http://www.doreenps.vic.edu.au/genera\\_history.htm](https://web.archive.na.gov.au/awa/20170218044436/http://www.doreenps.vic.edu.au/genera_history.htm) accessed 25 March 2022

Draper, 2012, *Arthurs Creek Mechanics' Institute*, Mechanics' Institute Inc., Arthurs Creek.

*Eltham and Whittlesea Shires Advertiser and Diamond Creek Valley Advocate* as cited.

*Evelyn Observer and Bourke East Record (EO&BER)* as cited.

*Evelyn Observer and South and Bourke East Record (EO&S&EBR)* as cited.

Land Victoria, Certificates of Title (CT), as cited.

*Mornington Standard* as cited.

Payne, J.W. 1989 *The Quiet Hills Doreen (Vic)* J.W. Payne.



Response No:  
22

Contribution ID: Letter

Member ID:

Date Submitted: 07 August 2023

Name / Organisation

Diamond Valley Rail (DVR) - [REDACTED]

Email

[REDACTED]

Address

[REDACTED]

Details

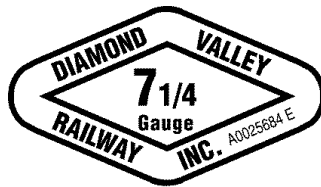
[REDACTED]

Stage A - 04

HO276

Support with changes





Established 1960 Incorporated 1992

A.B.N 51 949 755 737

Address all correspondence to:  
The Secretary,  
P.O. Box 245  
ELTHAM VIC 3095

Phone: [REDACTED]  
Web: [www.dvr.com.au](http://www.dvr.com.au)

---

Situated at: ELTHAM LOWER PARK, ELTHAM, VICTORIA, AUSTRALIA

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The Diamond Valley Railway Inc. appreciates the significance of the Council's Heritage Overlay, particularly the attention to detail which has been executed in the Citation. We are in broad agreement that the Railway "is of local historic and representative significance to the Shire of Nillumbik", and the facets which contribute to the status of significance. Further, as the Background Document Stage A Heritage Study Report (7 June 2021) outlines, "volunteers at the DVR have maintained a program of updating and installing new infrastructure and facilities, and, except for some periods of 2020 and early 2021, when COVID-19 restrictions applied, have operated the railway continuously over this time." Volunteer (member) efforts have led the development of the Railway, and we thank the Council for this recognition.

We do express some queries and concerns regarding the nature of the overlay.

#### **Upgrades Relating to Internal and External Safety Standards**

In addition to the regulatory bodies to which most organisations in the Shire must adhere, the Railway operates in accordance with the Australian Association of Live Steamers (AALS) Code of Practice, which provides the safety and design standards by which the Railway must operate. In some instances, the Railway may need to deviate from the elements of the Heritage Overlay to adhere to the AALS Code of Practice. Failure to adhere to the Code of Practice results in Diamond Valley Railway Inc. losing its insurance, therefore rendering our operations unviable. We are concerned that an instance may present where the Heritage Overlay prevents or stifles us from modifying our existing structures or building new structures to adhere to modern safety requirements.

Presently, we must upgrade the Triple Arch Bridge, viewable from the Council-curated Eltham Gateway. This is due to the present handrails being lower than the required height for a structure going over a waterway. Whilst we do possess a planning permit for this structure and recognise that it is presently not subject to the Overlay, we will need to renew this permit due to COVID-19-related delays; whilst not guaranteed, this could lead us to be subject to the Overlay, which could delay the project further.

Another project in the future will be the extension of the Clubrooms, which is proposed to incorporate more accessible facilities to ensure we are compliant with the pertinent legislation. In a similar vein to the Triple Arch Bridge, we wish to be assured that the Overlay will not hinder this project.

We would hence like to work with the Council to establish a greater degree of flexibility to ensure compliance-related works can be completed and in a timely manner. We believe this should be achieved in an instance where the works are not in keeping with the Edwardian-style architecture identified in the Overlay. Additionally, as adding an Edwardian-style façade to buildings does





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---

Situated at: ELTHAM LOWER PARK, ELTHAM, VICTORIA, AUSTRALIA

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sometimes incur significant additional costs, we would hope Council will assist with the additional funding requirements for like-for-like repairs and upgrades/new builds.

#### **Future Expansion of the Railway**

The Railway maintains an intent to expand our present circuit to encompass other parts of Eltham Lower Park. We want to ensure the Heritage Overlay at a minimum does not prevent, and at best encourages, the future expansion of the Railway to the southern parts of Eltham Lower Park. As rightly identified by the Background Document Stage A Heritage Study Report (7 June 2021), “additions are important to the history of the place as a site of ongoing development... whilst the complex contains additions and variations, overall, it has high integrity and expresses the vision of original club members for a miniature railway.” It is imperative that, to preserve this vision, the scope for future expansion is recognised in some form.

#### **Solar Panel Controls**

As a community organisation, the Railway is conscious of its environmental impact. During the development of the Railway, the site has been extensively planted with native flora to create the bush setting that is enjoyed today.

Another step to mitigate the Railway’s environment footprint is to explore the use of solar panels. There are several buildings within the Railway with large roof areas that could potentially be utilised. The Railway does experience some challenges with its electricity supply, and this presently prevents us from installing the panels. We would, however, like to retain the option of installing solar panels in the future. This would allow us to be a sustainable organisation.

#### **Moveable Objects**

In the ‘Statement of Significance: part of 570 Main Road, Eltham’ (June, 2021), it is identified that “Elements that contribute to the significance of the place include: ... the rolling stock, which includes privately-owned assets.”

We would like to be reassured in writing that the rollingstock is not part of the Overlay.

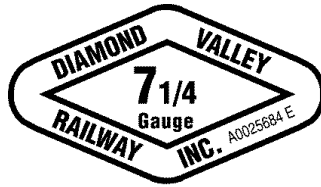
#### **Current and Future Permits**

The Railway has three permits at present, these being:

- Upgrades to the Triple Arch Bridge
- Construction of the Wetlands Storage Sidings
- Expansion of the William G Pert Railway Workshops

We list these for the knowledge of the Council.





Established 1960 Incorporated 1992

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The Secretary,  
P.O. Box 245  
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Web: [www.dvr.com.au](http://www.dvr.com.au)

---

Situated at: ELTHAM LOWER PARK, ELTHAM, VICTORIA, AUSTRALIA

---

As a non-profit organisation, the Railway is concerned about the effect the Heritage Overlay will have on the planning process. The cost of obtaining the relevant permits is already a significant impost on the Railway financially and we would like assurances that the cost of obtaining the required permits will not be increased by the application of the Overlay. Furthermore, as a volunteer-managed organisation, we already have trouble addressing the various hurdles involved in the planning-permit process. We hence also seek support in ascertaining planning permits in the near future.

#### Conclusion

The Railway is supportive in principle of the proposed Heritage Overlay. However, the Railway has concerns in several areas:

- The effect of the overlay on mandatory upgrades required for compliance with current and future standards and the increased costs associated to adhere with requirements of the overlay.
- The potential impact on future expansion plans.
- The potential impact on future sustainability projects including the installation of solar panels.
- Any additional costs that may be incurred when applying for future permits.
- The demands on volunteers who are required to navigate the permit process.



Vice President



Response No:  
23

Contribution ID: Letter

Member ID:

Date Submitted: 09 August 2023

First Name

[REDACTED]

Last Name

[REDACTED]

Email

[REDACTED]

Address

[REDACTED]

Details

[REDACTED]

Stage B - 16

HO309

Support with changes



[REDACTED]

---

**From:** [REDACTED]  
**Sent:** Wednesday, 9 August 2023 7:11 PM  
**To:** [REDACTED]  
**Cc:** [REDACTED]  
**Subject:** Re: Late Submissions - C149nill Heritage Review

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello [REDACTED]

I write on behalf of Arthurs Creek Mechanics Institute Inc (ACMI Inc). Previous correspondence has occasionally referred to us as Arthurs Creek Hall. We also are not affiliated with Arthurs Creek Community Centre (ACCC) which occupies the Methodist Church identified in your Arthurs Creek Heritage Listing. Nillumbik correspondence is usually addressed to Ms Lois Stubley as she is Treasurer of our Management Committee. I write as President of same committee.

In preface to our response to Heritage Amendment C149nill - application of Heritage Overlay, our location is 906 Arthurs Creek Road, Arthurs Creek. 3099. Our recent Management Committee formally acknowledges to site deemed as a heritage location. We do, however, reiterate that we are an independent body managing a community owned and Incorporated Entity. Whilst we happily relate to Nillumbik, as an independent body, we are not reliant on regular council funding for management, running costs or maintenance. Council financial support has been appreciated for special projects in the past.

Key points in our response are directed to **Grading and Recommendations** on **page 9** of Mills & Westbrooke commentary of ACMI Inc. prepared by Trethowan architects. 2 statements are incorrect.

1. Incorporated Plan. Your status: NO. We have actually been an Incorporated body since 2010, so it should say YES.
2. Outbuildings and fences exemptions. Former stables are listed as not exempt from notice and review. No such structure exist. Stables were built in March, 1893. They were demolished early 1900'S. In my 70 years as a resident of Arthurs Creek, the stables have never existed. The third outside structure listed is actually a storage shed constructed around 2015. Thus presumably, this section should also be tagged as a **NO**.

I trust this response clarifies our position. Our mission statement includes a commitment to maintain our Hall in excellent condition reflecting its long standing heritage and character as a significant community structure since 1887. Any works are diligently carried out to ensure a sympathetic approach is maintained.

With regards,  
[REDACTED]

*\President  
ACMI Inc.*

---

**From:** [REDACTED]  
**Sent:** Monday, 7 August 2023 3:23 PM  
**Subject:** Late Submissions - C149nill Heritage Review



To whom it may concern,

Thank you for notifying us of your intent to make a submission. Please note that Council would appreciate the delivery of late submissions no later than COB 10 August 2023. This will facilitate Council meeting deadlines and assist our endeavours to resolve submissions.

Please note that submissions received by this date will also be eligible for speakers to present at the 12 September 2023 Planning Consultation Committee Meeting.

To ensure no unforeseen delays, please email your submission and any attachments as a reply to this email.

And, if you have any questions or concerns, please don't hesitate to get in touch.

Regards,

**Senior Strategic Planner**  
**Strategic Planning and Environment**



**Nillumbik Shire Council**  
**Civic Drive (PO Box 476) Greensborough Victoria 3088**  
**03 9433 3111 | [nillumbik@nillumbik.vic.gov.au](mailto:nillumbik@nillumbik.vic.gov.au)**  
**[nillumbik.vic.gov.au](http://nillumbik.vic.gov.au) |    **

*We acknowledge the  
Wurundjeri Woi-wurrung  
people as the Traditional*

*Owners of the Country on which Nillumbik is located, we pay our respects to Elders past, present and future, and extend that respect to all First Nations People. We respect the enduring strength of the Wurundjeri Woi-wurrung and acknowledge that sovereignty was never ceded.*

*This email, including any attachments, is confidential and intended only for the individual or the entity named. If you received this email in error please advise the sender immediately by return email and delete it and all copies from your system. If you are not the intended recipient of this email, you must not use, print, distribute, copy or disclose its contents to anyone.*



Response No:  
24

Contribution ID: Letter

Member ID:

Date Submitted: 10 August 2023

Name / Organisation

Terrain Consulting Group Pty Ltd on  
behalf of [REDACTED]

Email

[REDACTED]

Address

[REDACTED]

Details

[REDACTED]

Stage A - 08

HO280

Objection



**Terrain Consulting Group Pty Ltd**  
Land Development Services



<b>Office:</b>	<b>Postal Address:</b>	<b>Phone:</b> (03) 9853 3352
418 High Street	P.O. Box 3018	<b>Fax:</b> (03) 9853 8907
Kew 3101 Victoria	Cotham 3101	<b>Email:</b> admin@terrainconsulting.com.au

---

## SUBMISSION TO PLANNING SCHEME AMENDMENT C149

### NILLUMBIK PLANNING SCHEME

Prepared for R H J Developments Pty Ltd

Re: [REDACTED]

## 1.0 AMENDMENT C149

*Terrain Consulting Group* has been engaged by *R H J Developments Pty Ltd*, who is the owner of No. [REDACTED] to prepare a submission on their behalf in relation to proposed Amendment C149 to the Nillumbik Planning Scheme.

Our client **objects** to the proposed inclusion of the house at [REDACTED] in the Heritage Overlay as an Individually Significant Place.

Our clients' primary concern is that the subject site is not worthy of Individual Heritage Significance due to Heritage and Structural Engineering reasons as outlined below:

## 2.0 Heritage

The Heritage Overlay Assessment prepared by David Bick dated 1 August 2023 (prepared for our client) submits that the proposed permanent Heritage Overlay on the subject site has not been adequately assessed for the reasons summarised below:

- The heritage significance of the existing cottage only applies to the to the front three rooms and verandah and not the whole cottage. Accordingly, the logic and feasibility of conserving a three room cottage is questioned.
- The heritage assessment by Context has not determined the original date of construction for the cottage and an assumption has been made that it was built immediately after the land was subdivided in circa 1914.



- Context's assessment suggests that the cottage was constructed all at one time, when it appears to have been constructed in stages which could make the current structure much younger than the suggested circa 1914 date of construction. An examination of the front three rooms of the cottage has identified the following:
  - *The central front room behind the verandah has a flatter pitched roof than the gabled roofed rooms on each side of it.*
  - *The eastern of the gabled roofed front rooms has a filled-in doorway off the verandah, and the location of that doorway in the centre of the western wall of that room, as well as how far forward the front wall of this room is from the verandah, all seems to indicate that this room was only accessed from the front verandah, and not from the interior of the rest of the cottage. That probably indicates that this room was a later addition.*
  - *The western front room is dug into the sloping ground, which seems to indicate that it was also a later addition.*
  - *The valley roof gutters between the three rooms reinforces the high probability that the 3 front gable roofed rooms were constructed at different times, and could even have been brought onto the site from elsewhere.*
  - *Context's heritage assessment refers to ...the inset verandah with timber decks..., but does not refer to the verandah floor being timber battens, not floorboards, meaning that they date from comparatively recent times such as recent decades, and not circa 1914.*
  - *Context also does not refer to the quite large window in the south wall of the western gable roofed front room, which would date from sometime in the mid or later 20<sup>th</sup> century, or later.*
  - *There is also no reference of there being no chimneys in any part of this cottage, which may be due to them having been removed, or that it never had any (which would seem to indicate a later construction date or dates than circa 1914).*
- The assumption that the dwelling was one of the first to be constructed in the subdivision has not been established with evidence.
- The assumption that the dwelling was built as a worker's cottage has not been established with evidence.



- A comparative assessment for similar examples in the Eltham area has not been provided to consider the merits of the Heritage Overlay on the subject site. The lack of a comparative assessment is inconsistent with Planning Practice Note 1 (Apply the Heritage Overlay) which states:

*In order to apply a threshold, **some comparative analysis will be required to substantiate the significance of each place.** The comparative analysis should draw on other similar places within the study area, including those that have previously been included in a heritage register or overlay. Places identified to be of potential state significance should undergo limited analysis on a broader (statewide) comparative basis.*

### 3.0 Structural Engineering

The structural integrity of the existing dwelling has been assessed in the Structural Engineering Report prepared by *R. Bliem & Associates Pty Ltd* dated 2 August 2022 which found extensive deterioration of the support structure of the existing dwelling.

To ensure that the dwelling is repaired to be compliant with the “deemed to satisfy structural provisions” of the relevant National Construction Code (NCC) Performance Requirements, the following remedial works are required:

- *The existing roof needs to be waterproofed - this will involve re-sheeting the existing roof*
- *The existing rafters, battens and ceiling joists which have been weather affected, will need to be removed and replaced (we were not able to determine the extent of works due to limited access into the roof space). It is highly likely that the entire roof needs to be rebuilt.*
- *The existing timber stud framing will need to be completely demolished, and then rebuilt to comply with current code requirements due to evidence of rotting and deterioration caused by weathering and age. After re-levelling of the sub-floor structure, the timber frames will no longer be level and will require re-building. Also, we do not believe that the existing timber frames comply with current code requirements regarding size, spacing and construction.*
- *A large portion of the existing weatherboards (at least 50%) to the original dwelling, will not be able to be reused due to deterioration from weather effects and curling (the weatherboards have curled, and the overlap is no longer weatherproof).*
- *The sub-floor structure (at least 50%), will require a new flooring in the original dwelling where there is evidence of rotting and sponginess in the flooring.*



- *The lean-to extension will require new flooring (100% replacement), since the concrete screed on the existing flooring is overloading the floor and will need to be removed.*
- *The sub-floor structure throughout, requires a complete re-stump of both the original and lean-to extension, due to deterioration of the stumps in a number of areas, noncompliance with current code requirements regarding founding depths, bracing and out of level conditions*

Given the poor structural condition of the existing dwelling and the extent of remedial works required, the demolition of the existing dwelling has been recommended by *R. Bliem & Associates Pty Ltd*.

The demolition of the existing dwelling is also recommended by the building surveying letter prepared by *Peter Rontogiannis (Absolute Permits Pty Ltd)* dated 2 August 2023 as the existing dwelling does not comply with the current Australian Standards and would need to be completely rebuilt.

The demolition of the existing dwelling is further recommended by the Forensic Investigation Report prepared by *Fusion Engineering Services* dated 29 March 2023 which found that the existing dwelling is unsafe for habitation due to the decayed framing and foundation movement.

The Cost Plan prepared by *Melbourne Quantity Surveyors* dated 12 July 2023 estimates a total reconstruction cost of [REDACTED] which is excessively high and economically unfeasible for the landowner.

## 4.0 CONCLUSION

In summary, the exhibited Planning Scheme Amendment C149 has not sufficiently demonstrated that the existing dwelling at No. [REDACTED] is of Individual Heritage Significance through a comparative analysis and is based on assumptions.

Furthermore, structural investigations reveal that the existing dwelling is unsafe and beyond repair with remedial works causing an unwarranted economic burden on the land owner.

For the above reasons, it is submitted that the inclusion of the dwelling at No. [REDACTED] in the Heritage Overlay as an Individually Significant Place be removed from Amendment C149.

[REDACTED] – Planning Director

**Terrain Consulting Group**

10 August 2023

Encl.

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Objection to Amendment C149

Terrain Consulting Group for R H J Developments Pty Ltd – [REDACTED]





120 Northgate Drive  
Thomastown VIC 3074

P (03) 9465 1127  
F (03) 9464 1271

2 August 2023

To whom it may concern.

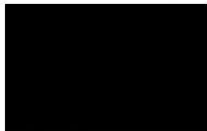
RE: [REDACTED]

Further to a site inspection that was carried at the above mentioned address on 28 July 2023, I can offer the following information about the existing condition of the dwelling.

The existing dwelling does not comply with current Australian Standards and the relevant requirements of the Australian Code. It is my opinion that the existing structure would have to be completely removed and rebuilt to comply.

Please feel free to contact this office, if you require any further information.

Yours faithfully,



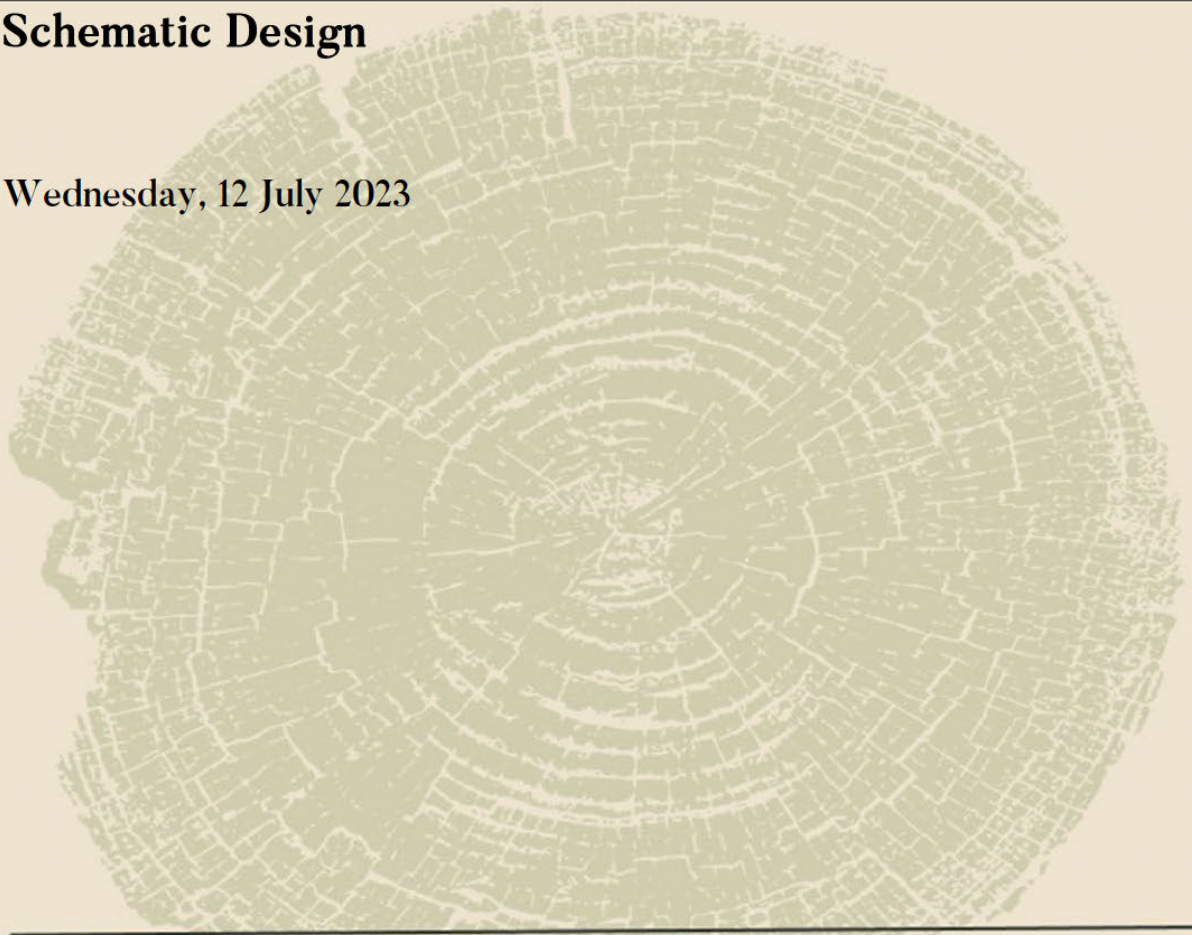
[REDACTED]  
BSU20459  
BUILDING SURVEYOR





## Schematic Design

Wednesday, 12 July 2023

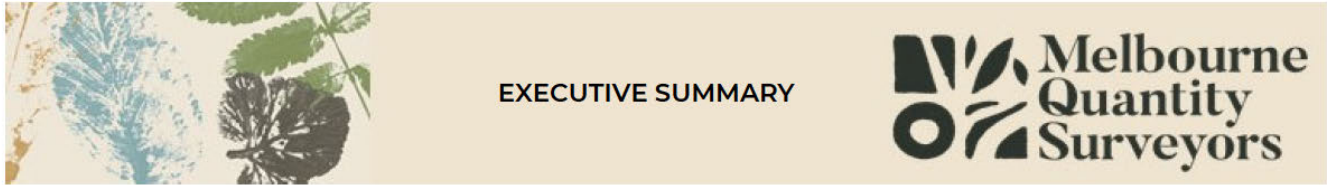


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12 July 2023

Cost Plan No.1  
Revision A  
Schematic Design

BUILDING AREAS	AREA (m2)
Fully Enclosed Covered Areas (FECA)	64 m²
Unenclosed Covered Areas (UCA)	5 m²
Gross Floor Areas (GFA) (FECA + UCA)	69 m²

INTRODUCTION

The Cost Plan is based on Schematic Design documents from .

DOCUMENTS

Forensic Engineering Report (20 Pages) Dated 29th March 2023

TOTAL CONSTRUCTION COST ESTIMATE

The current anticipated Total End Cost is:

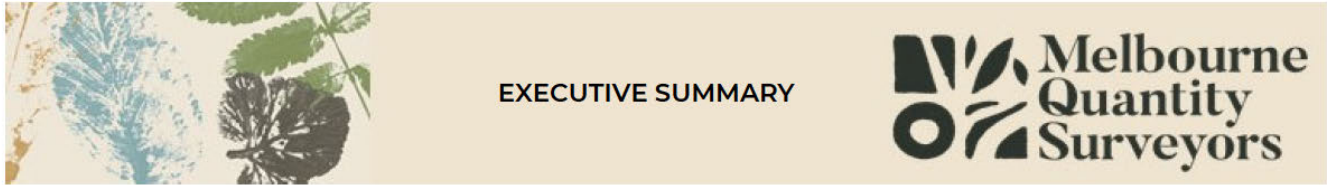
Building Works	\$	
External Works and Services	\$	
Contingencies and Allowances	\$	
Fees, FFE, ITC and Other Client items	\$	
Escalation	\$	
GST	\$	
Total End Cost	\$	

**Note:**  
Due to current market volatility factors which at present are having an unknown and un-quantifiable impact on Construction pricing, MQS recommends including the following additional Market volatility factor to all projects prior to and throughout construction.

Market Volatility	5.00%	Additional market conditions		0.00%		
Up To	Date	Months	% /year	Weighting	Total %	
Tender	Jul, 24	12	5.00%	100%	5.00%	\$
Completion	Jul, 25	12	5.00%	50%	2.50%	\$

Refer to the attached Cost Plan No.1 for details.





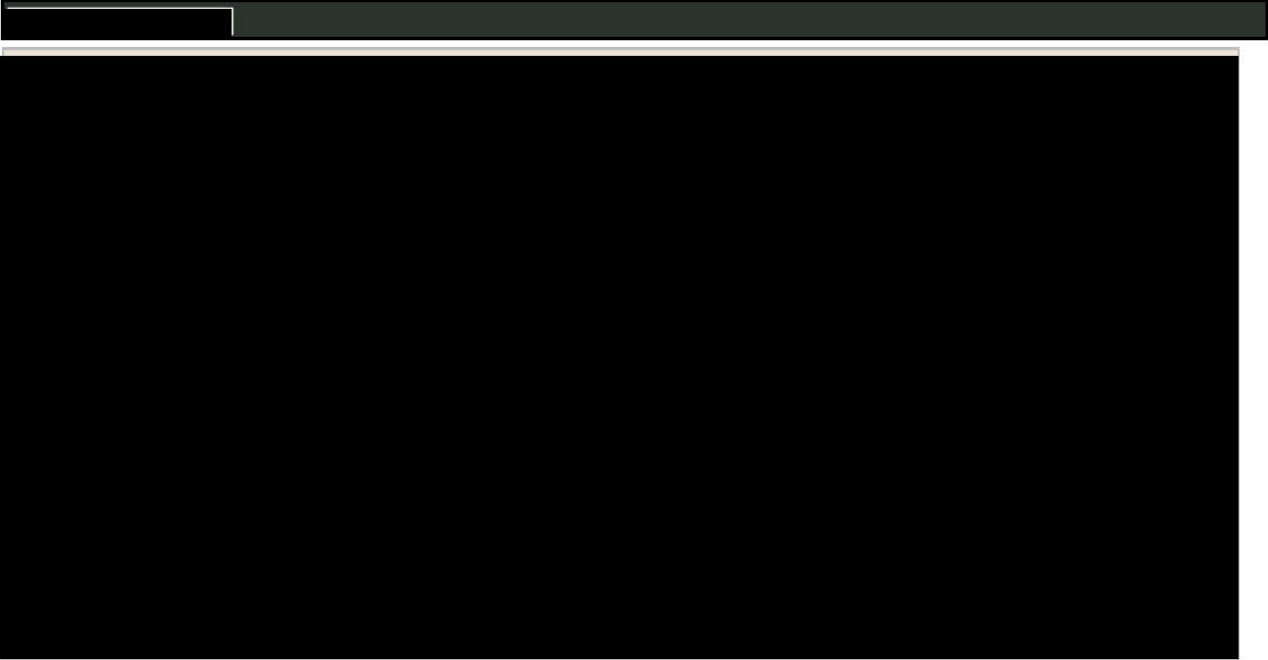
12 July 2023

Cost Plan No.1  
Revision A  
Schematic Design


BUILDING AREAS	AREA (m2)
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Gross Floor Areas (GFA) (FECA + UCA)	69 m <sup>2</sup>

COST SUMMARY


	\$/m <sup>2</sup> FECA	GFA	\$/m <sup>2</sup>
TOTAL BUILDING COST (TBC) (July, 2023)	\$	\$	\$
TOTAL CONSTRUCTION COST (TCC) (July, 2023)	\$	\$	\$
TOTAL PROJECT COST (TPC) (July, 2023)	\$	\$	\$
TOTAL - END COST (TEC) (July, 2025)	\$	\$	\$







EXECUTIVE SUMMARY

Melbourne  
Quantity  
Surveyors



12 July 2023

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Revision A  
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ESTIMATED CASH FLOW

Date	Cash Flow %	Accum Cash Flow %	Cash Flow \$	Accumulated Cash Flow \$
Jul, 24	4%	4%		
Aug-24	5%	9%		
Sep-24	7%	16%		
Oct-24	9%	25%		
Nov-24	12%	37%		
Dec-24	13%	50%		
Jan-25	13%	63%		
Feb-25	12%	75%		
Mar-25	9%	84%		
Apr-25	7%	91%		
May-25	5%	96%		
Jun-25	4%	100%		





12 July 2023

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Revision A  
Schematic Design

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INCLUSIONS

- The Cost Plan includes allowances for the following:
- Preliminaries
  - Overheads and Profit
  - Building works
  - External works
  - External Services
  - Demolition
  - GST
  - Design contingencies
  - Construction contingencies
  - Consultants' fees
  - Site and services infrastructure upgrades
  - Cost escalation up to completion of construction July, 2025

EXCLUSIONS

- The Cost Plan excludes the following:
- Rainwater harvesting
  - Landscaping
  - Automation, IT, AV and communications equipment
  - Supply authority charges
  - FF&E including furniture, window dressings & equipment etc
  - Cost escalation after July, 2025
  - Asbestos removal
  - Rock excavation
  - Site decontamination
  - Project management fees
  - Building Permit and sundry fees
  - Security and intercom system





## EXECUTIVE SUMMARY



12 July 2023

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**Revision A**  
**Schematic Design**

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## SCHEDULE OF MONETARY SUMS



12 July 2023

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**Revision A**  
**Schematic Design**

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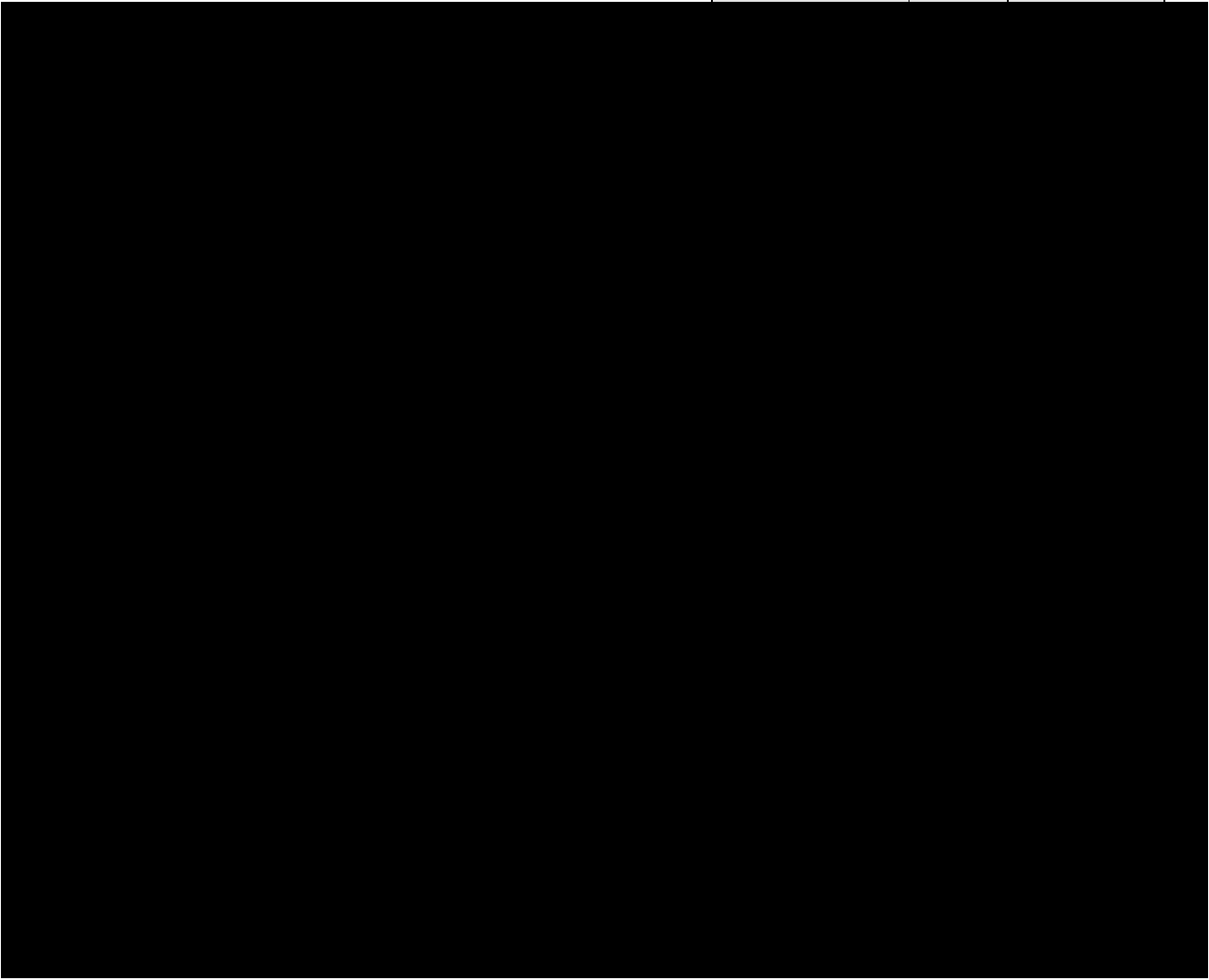




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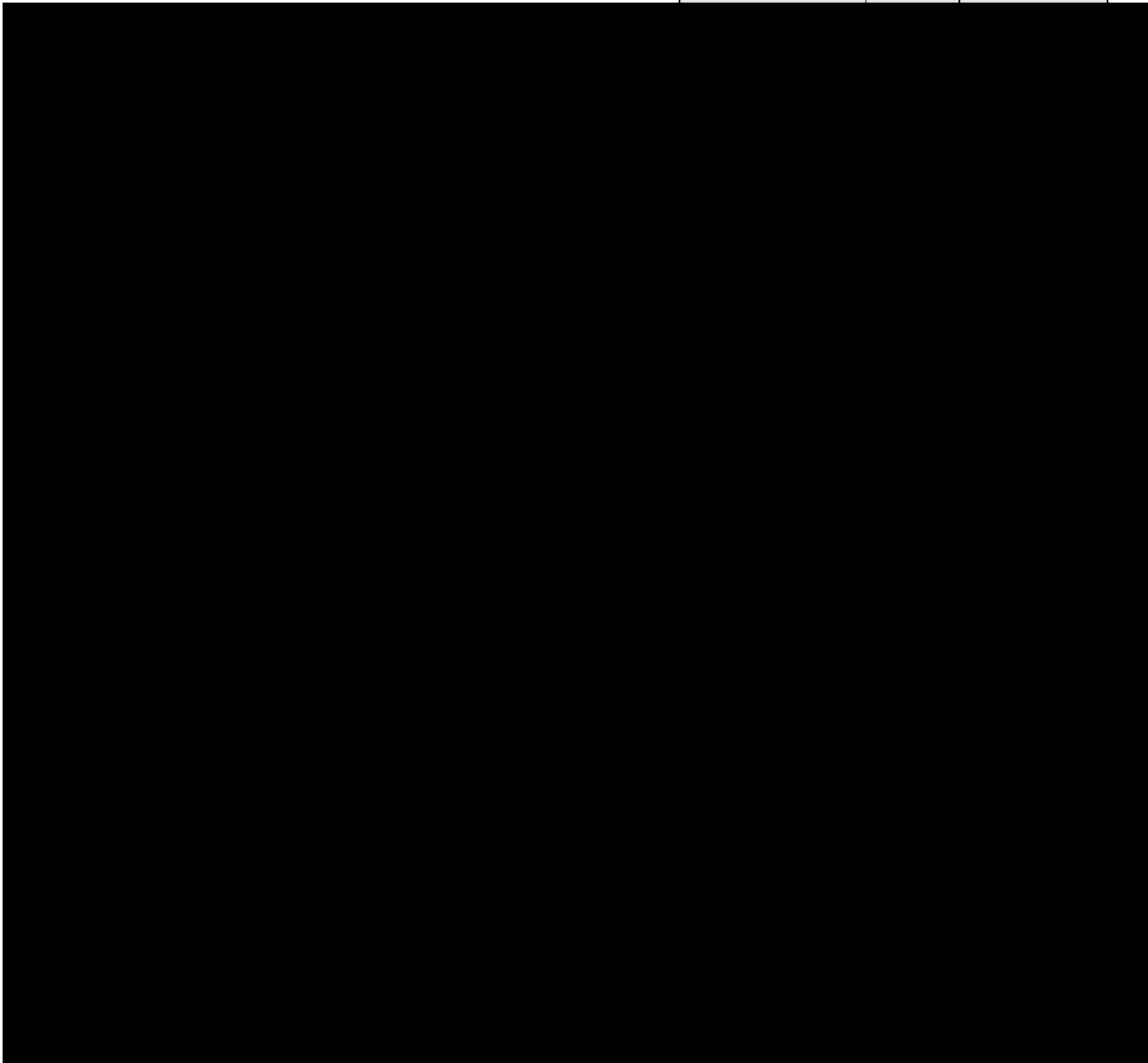




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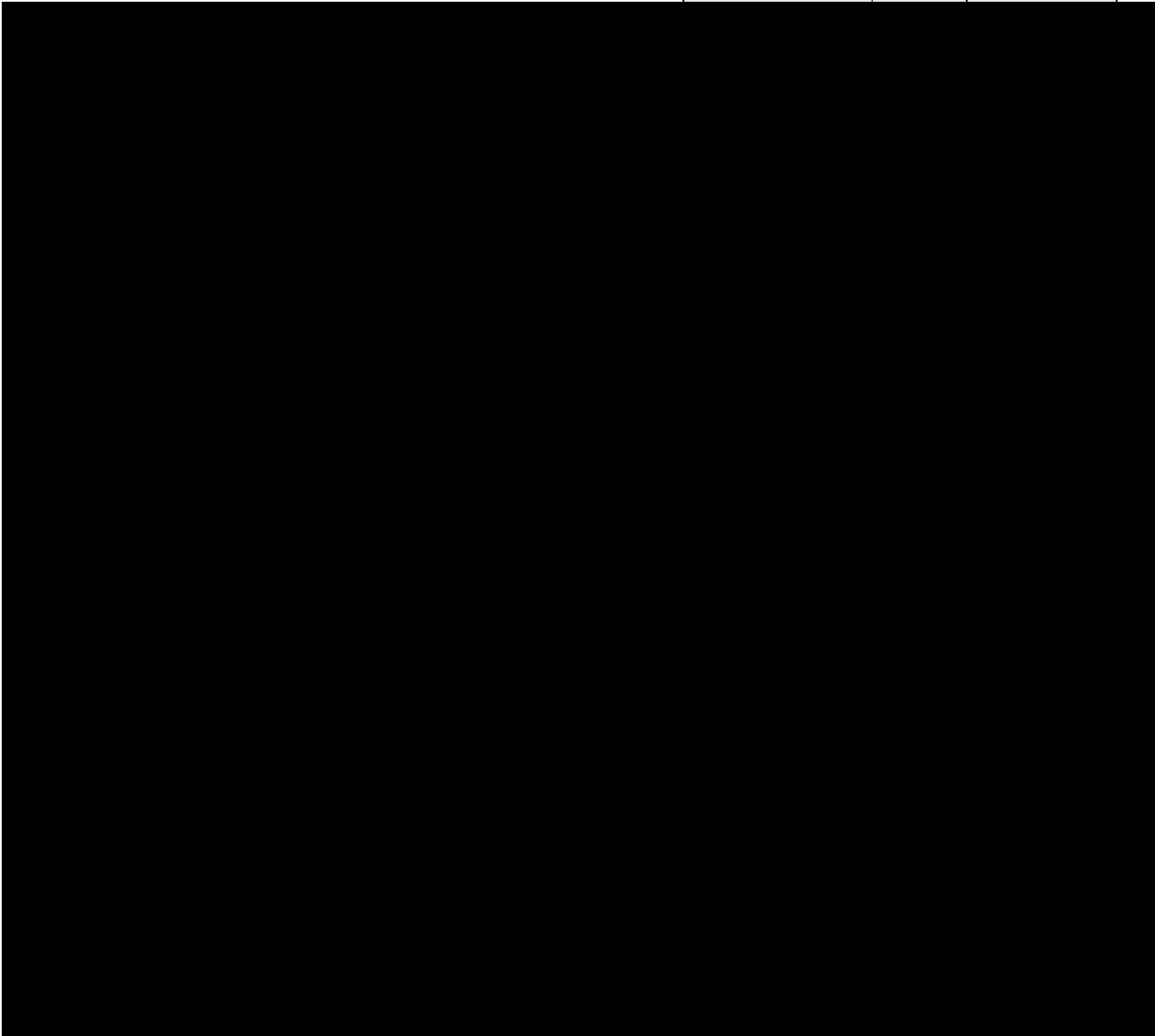




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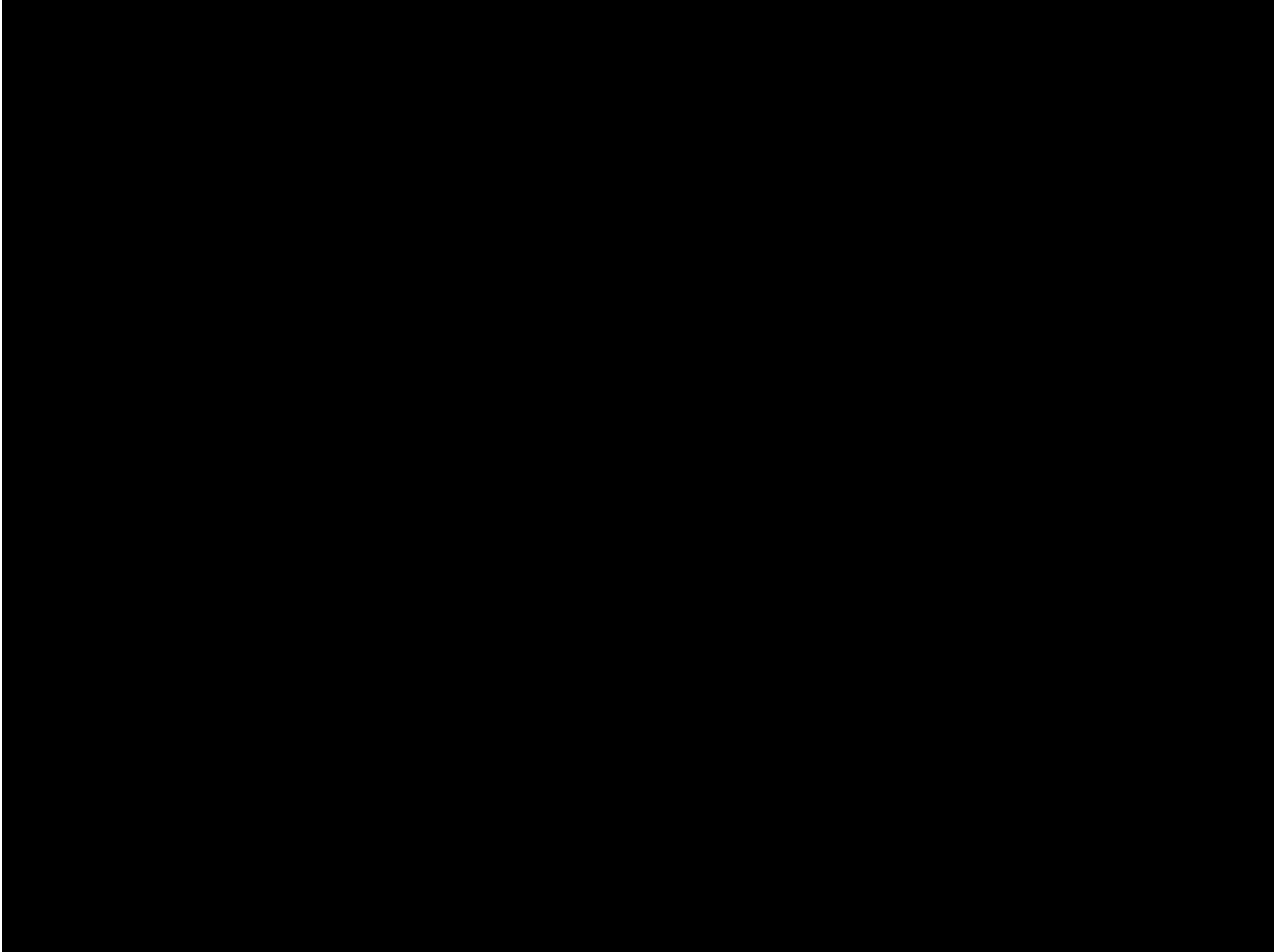




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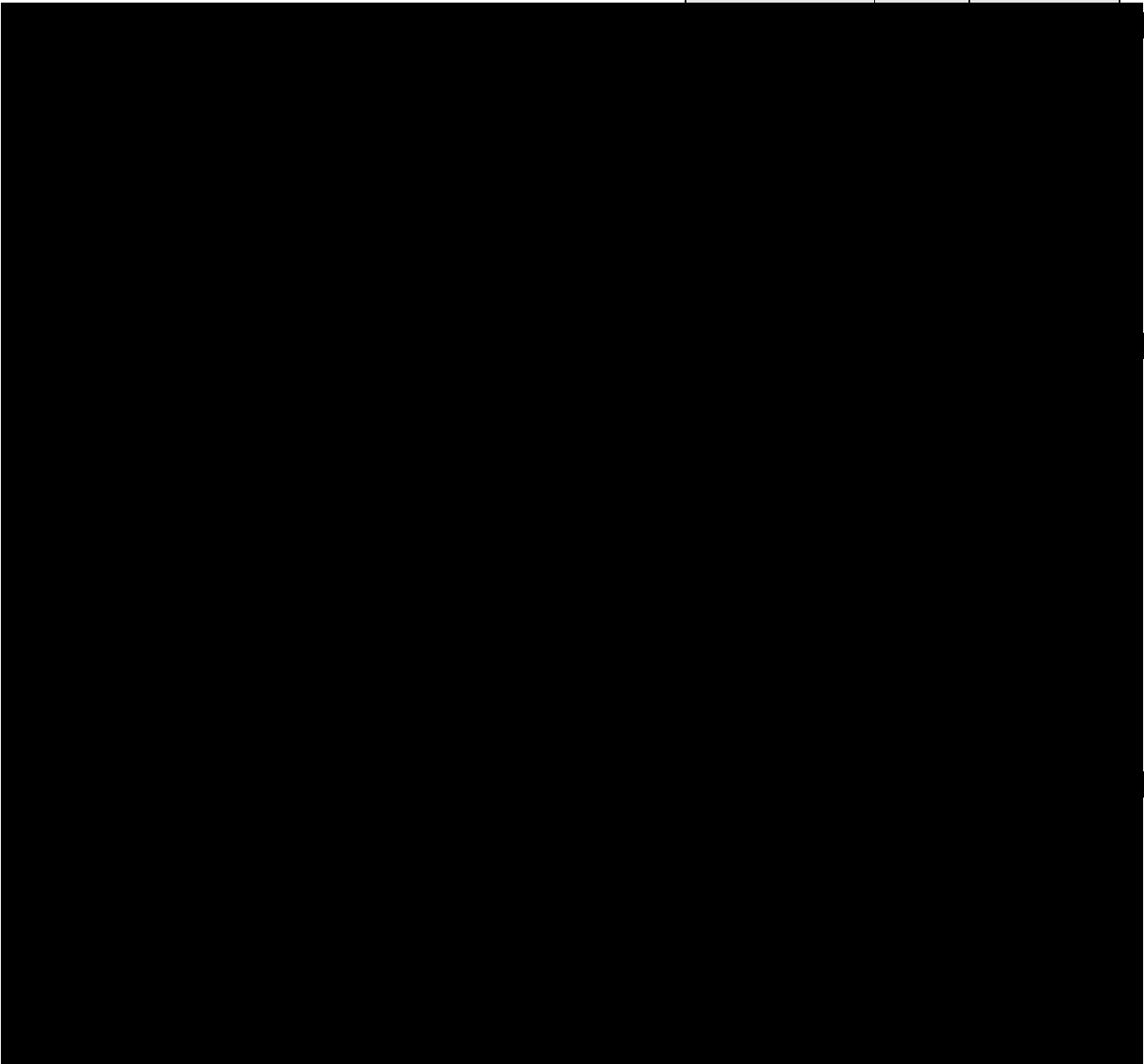




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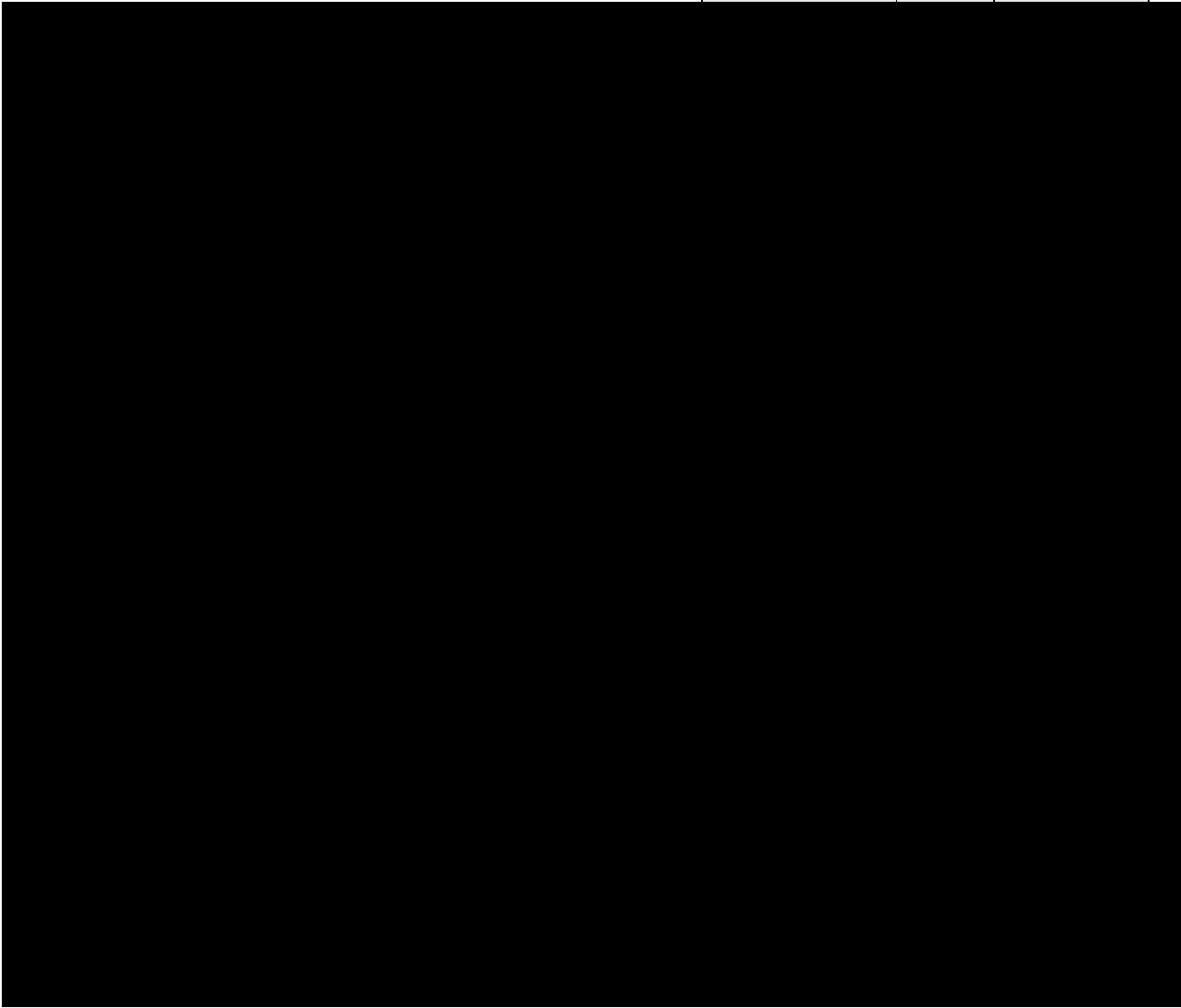




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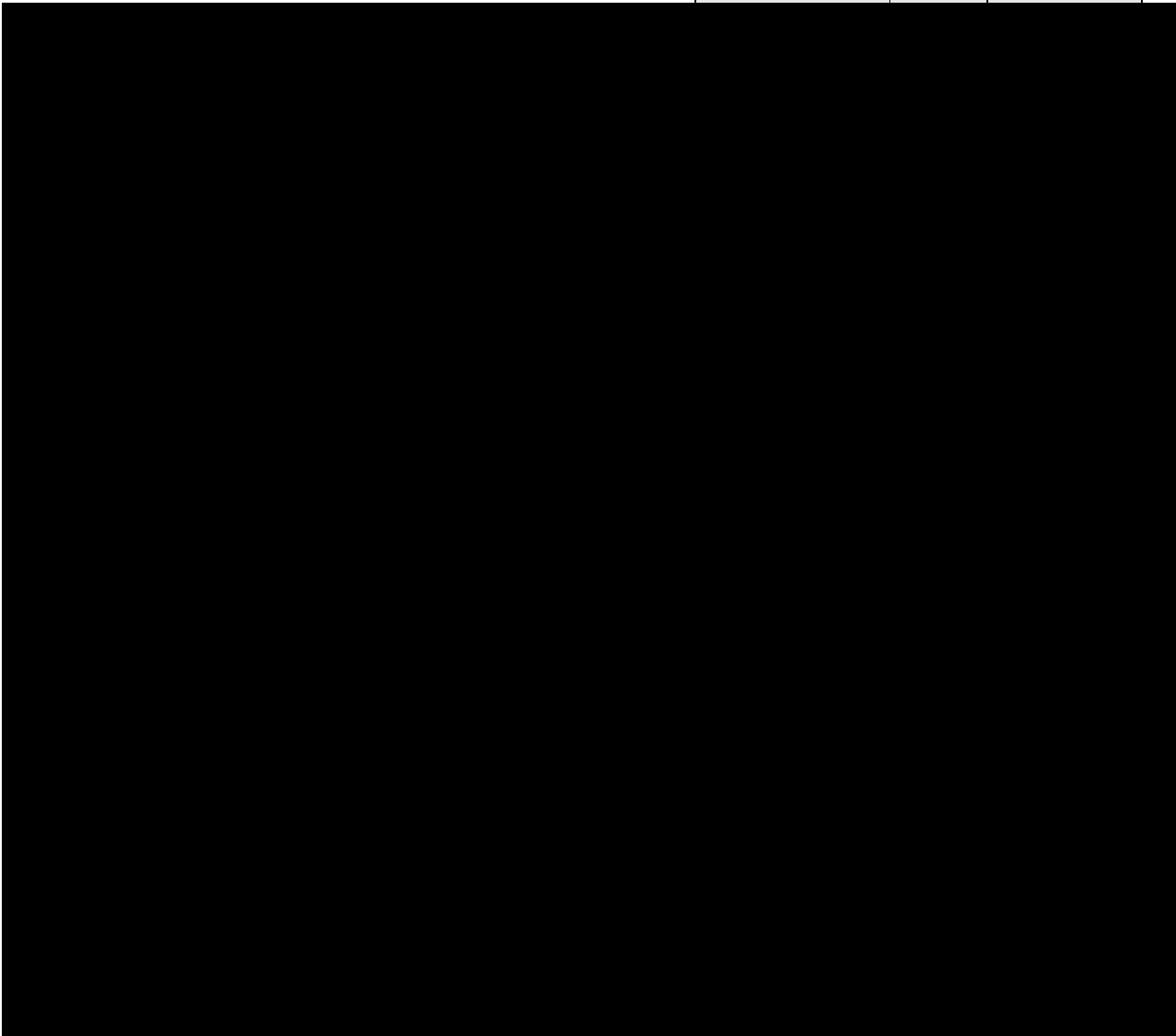




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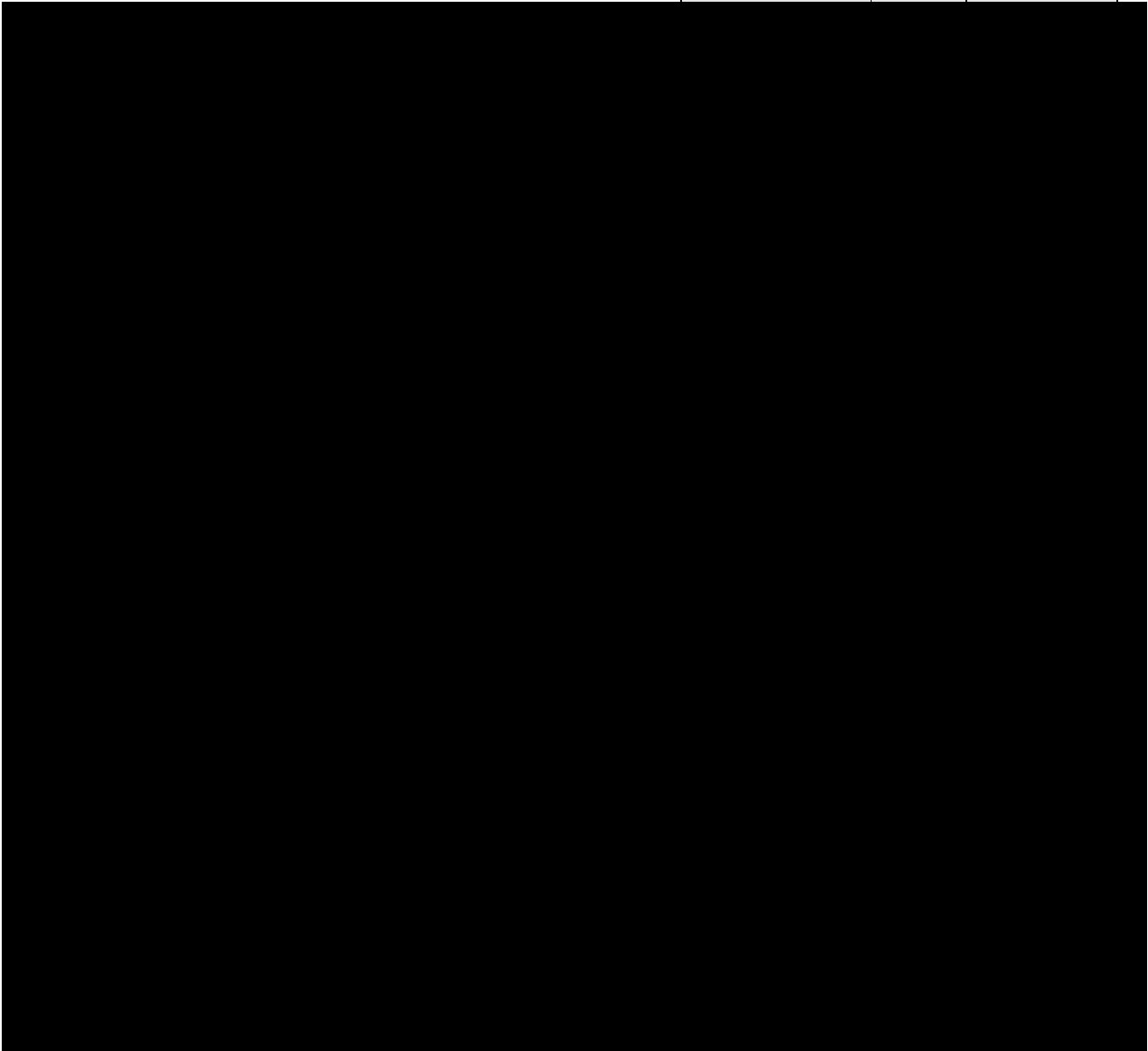




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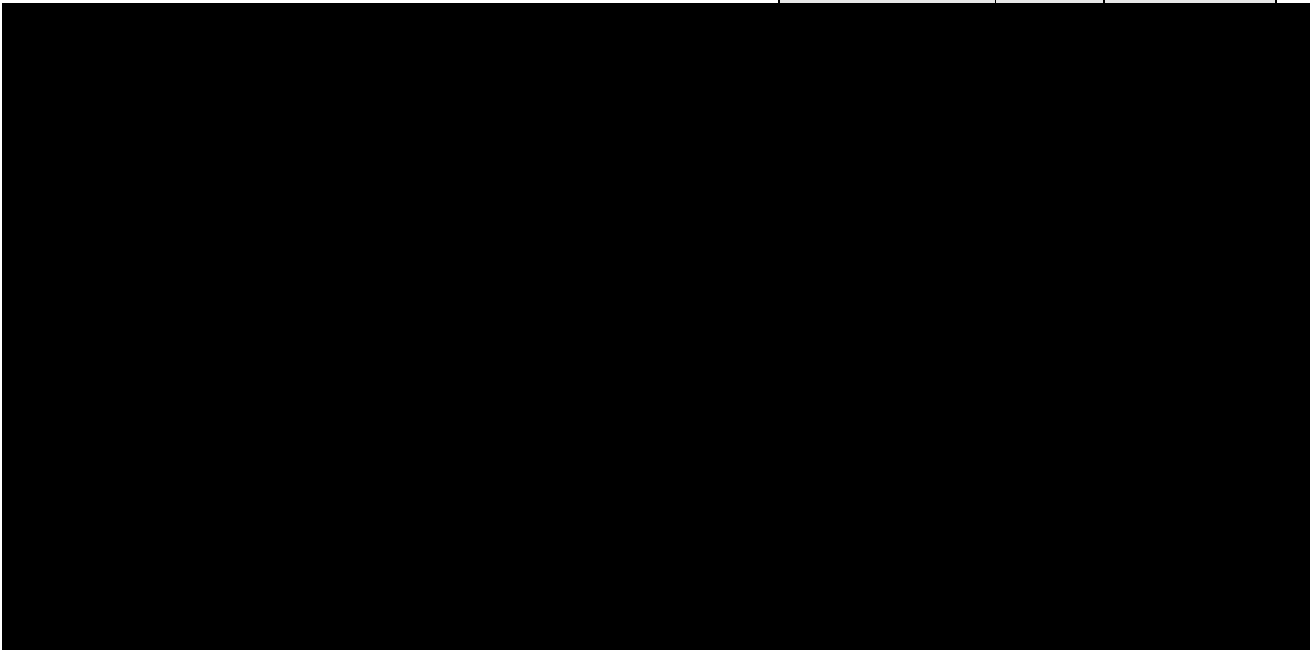




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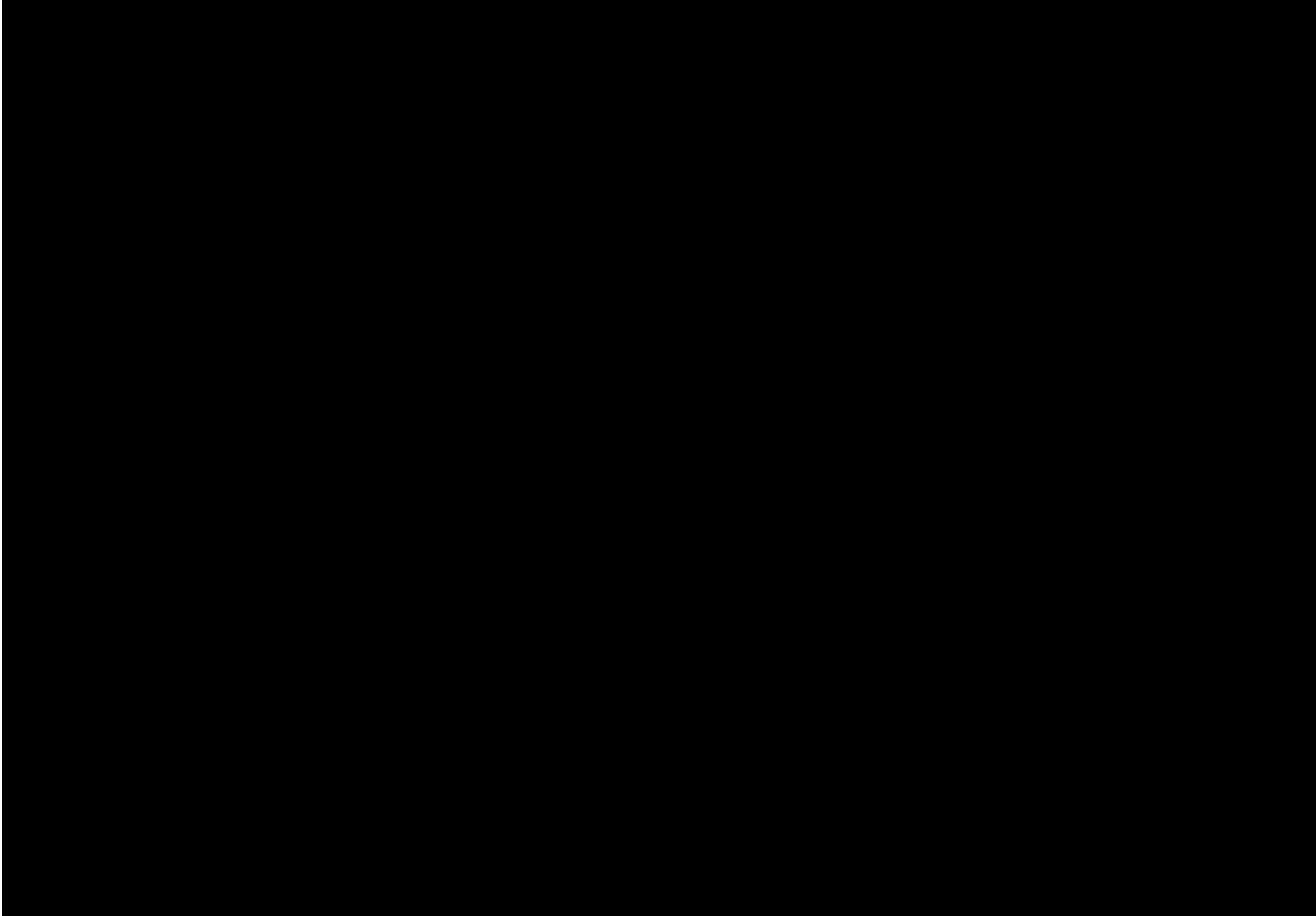




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## FORENSIC INVESTIGATION REPORT



29/10 Cawley Road  
Yarraville, VIC 3013

23/94, 98 Beamish Street  
Campsie, NSW 2194



[www.fusionengineering.com.au](http://www.fusionengineering.com.au)



1800 78 77 50



[info@fusionengineering.com.au](mailto:info@fusionengineering.com.au)

DATE: 29.03.2023

SITE ADDRESS:

VIC 3095

JOB NUMBER: 2023-7151

CLIENT:

DATE OF INSPECTION: 20.03.2023

DESCRIPTION: FORENSIC INVESTIGATION REPORT

REPORT BY: ROSS DAHAL

VERSION: VERSION 1

Fusion Engineering Services  
ABN: 85 168 832 951  
Sydney/ Melbourne  
1800 787 750  
[www.fusionengineering.com.au](http://www.fusionengineering.com.au)



This office has been commissioned by [REDACTED] for an inspection to the above-mentioned property to assess and provide a **Forensic Investigation Report**.

**1. Comments/Discussion:**

- 1.1 The building is located to the North of Glen Park Road. Refer **Appendix A** for site map.
- 1.2 The property is a single storey house built using timber stud wall frame throughout with colorbond roofing over timber roof framing members. Weatherboard cladding is used to cover the exterior timber stud wall frame.
- 1.3 The external stud wall of the dwelling has floor bearer supported over stumps. The dwelling has timber floor joist over timber floor bearer supported on timber stumps. In some locations, timber stumps are replaced with concrete stumps, car jack, bricks or stones.
- 1.4 The actual age of the dwelling was unknown.
- 1.5 A visual non-invasive inspection was carried out on 20.03.2023 and photographs were taken of the areas of the concern. These photographs have been included in **Appendix B**.
- 1.6 The purpose of this report is to
- 1.6.1 Conduct a forensic investigation to the dwelling located at [REDACTED] based on a visual inspection, documents, and resources available at the time of the investigation.
- 1.6.2 Investigate probable causes of distresses, if any.
- 1.6.3 Provide expert advice on feasible rectification, if required.
- 1.6.4 Suggest recommendations to continue further investigation, if required.
- 1.7 **Documentation Status:**
- 1.7.1 Architectural Drawing : None
- 1.7.2 Structural Drawing : None
- 1.7.3 Geo-technical Report : None
- 1.8 A floor level survey was conducted during this inspection. (Refer to **Appendix C**).
- 1.8.1 The Temporary Benchmark (**TBM**) for the floor level survey were taken in the middle section of the kitchen.
- 1.8.2 All levels observed were recorded in millimetres and to a relative level difference to the TBM.
- 1.8.3 The highest floor level was recorded at the North-East corner of kitchen, -2mm and the lowest floor level was recorded at the North-East corner of living room, -455mm, with respect to TBM in kitchen.



- 1.8.4 These levels are based on the recorded floor levels at the time of investigations without considering any deviations in the floor level during construction and/or renovation works, if completed in the past.
- 1.9 We noticed several stumps were out of plumb and dislodged.
- 1.10 We noticed exterior timber stud wall frames were out of plumb and tilted in many locations.
- 1.11 We noticed that timber floors were uneven, up to 175mm, where stumps had been dislodged.
- 1.12 We noticed rotted/decayed timber framing members beneath the subfloor in many places.
- 1.13 We noticed termites had damaged structural walls on the left side of the dwelling, typical.
- 1.14 Below is an extract from the Australia Standard AS 2870-1996 on the expected soil movements under normal conditions.

**TABLE 2.3**  
**CLASSIFICATION BY CHARACTERISTIC**  
**SURFACE MOVEMENT ( $y_s$ )**

Characteristic surface movement ( $y_s$ ) mm	Site classification in accordance with Table 2.1
$0 < y_s \leq 20$	S
$20 < y_s \leq 40$	M
$40 < y_s \leq 60$	H1
$60 < y_s \leq 75$	H2
$y_s > 75$	E

## **2. Conclusion:**

- 2.1 Although this office has not received any structural design drawing and geotechnical report to review, based on the site inspection, floor level survey and analysis of the as-built condition, it is our opinion that the dwelling and footing are not constructed in accordance with any design guidelines.
- 2.2 It is our opinion that the dwelling appeared structurally standing, however it is not as sound as it required and losing the strength due to decayed framing and foundation movement. As such, we are opinion that the dwelling is unsafe for habitation.
- 2.3 It is our opinion that timber floors are uneven due to dislodged stumps and foundation movement. The timber framing members of the subfloor regions are decayed/rotted mainly due to its own age.



2.4 It is our opinion that termites have harmed the structural walls on the left side of the dwelling.

2.5 The damage witness during our investigation is of category 0-4 in accordance with AS2870-2011 Residential Slab & Footings Construction, refer to **Appendix D**.

**3 Recommendation:**

Based on the conclusions of this Forensic Investigation Report, this office provides the following recommendations to the structure at [REDACTED]

- 3.1. We recommend demolishing the structure as it has lost all the structural integrity and beyond repairable.
- 3.2. We recommend demolishing the existing structure in accordance with the safety measure and rebuilding the new structure as per Australian Standards.
- 3.3. The homeowner should be made aware of the CSIRO guides to foundation maintenance and implement the recommendations of that report (Refer to **Appendix E**).

We trust the foregoing is suitable for your consideration. Should you have any issues you wish clarified please do not hesitate to contact us.

Yours truly,

[REDACTED]

[REDACTED]

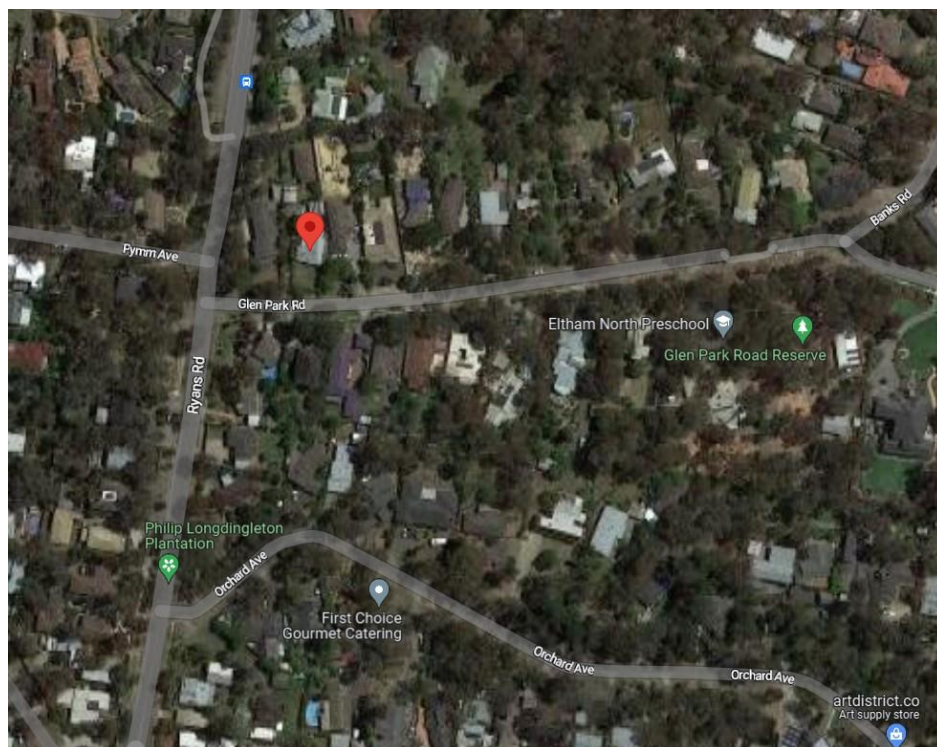
Forensic Engineer





## APPENDIX A

### (SITE MAP)











## APPENDIX B

### PHOTOGRAPHS TAKEN DURING SITE INVESTIGATION






Figures 1-3	Observations/Comments
	Front view of the house
	Left side view of the house
	Rear view of the house



Figures 4-6	Observations/Comments
	Right side view of the house, along with existing tress on the site boundary
	Out of plumb timber stump and decayed/rotted timber framing members
	Timber stump founded directly into natural ground soil



Figures 7-9	Observations/Comments
	Decayed exterior weatherboard cladding
	Decayed timber framing members
	Exterior weatherboard cladding removal.



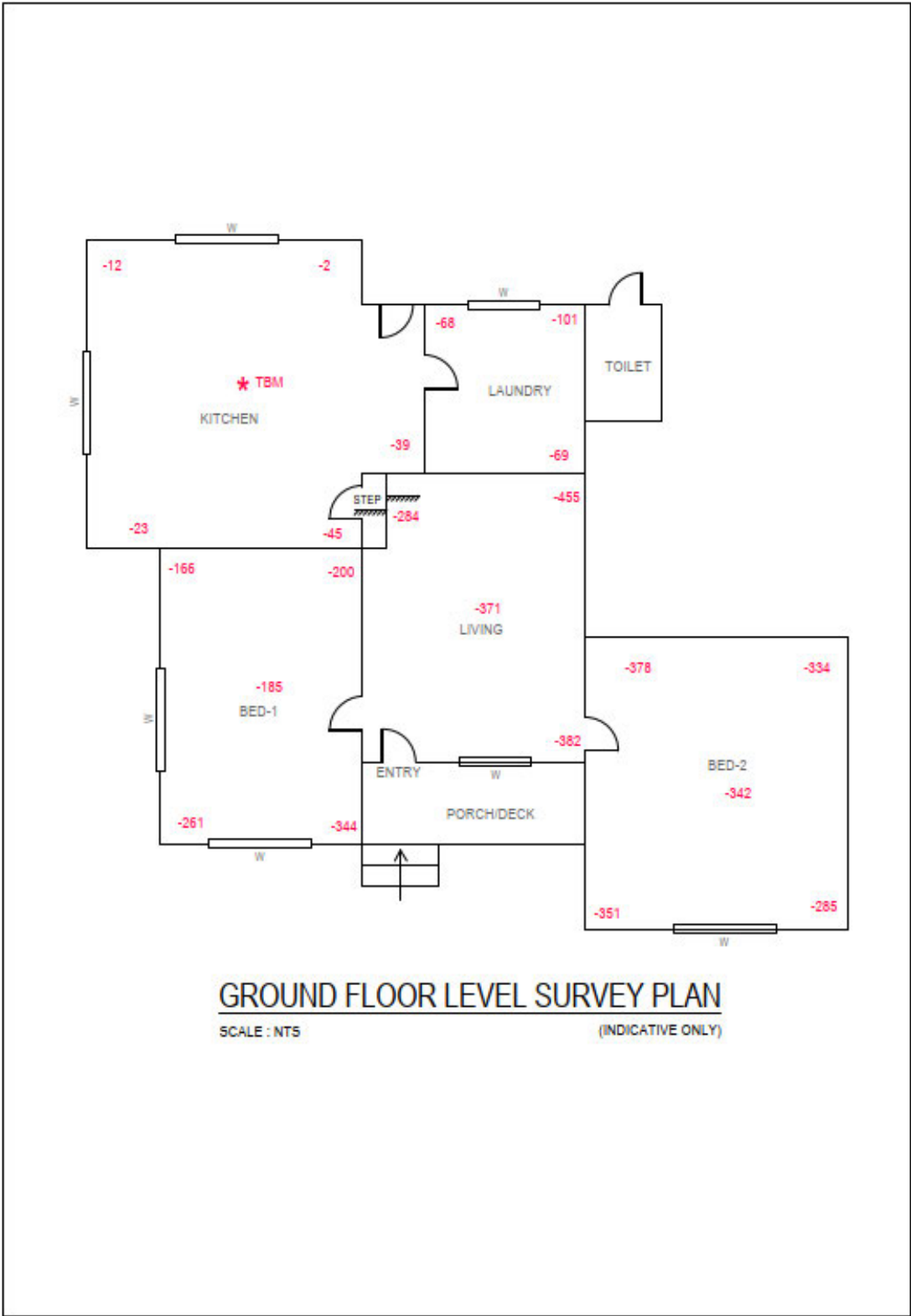
Figures 10-12	Observations/Comments
	Interior structural wall damaged in the kitchen area
	Uneven floor in bedroom
	Uneven floor in living room.



## APPENDIX C

### (GROUND FLOOR LEVEL SURVEY PLAN AND DISTRESS MAPPING PLAN)







## APPENDIX D

### (CLASSIFICATION OF DAMAGE)



1) AS 2870- Residential Slabs and Footing- Construction (Appendix C)

## Classification of Damage Due to Foundation Movement

**Table C1**  
**Classification of Damage to Walls**

Description of Damage	Approximate Crack Width Limit (See Note 1)	Damage Category
Hairline cracks	< 0.1mm	0 Negligible
Fine cracks	< 1.0mm	1 Very Slight
Noticeable cracks but that does not need repairs but easily filled. Doors and windows stick slightly	< 5.0mm	2 Slight
Cracks can be repaired. Doors and windows stick. Service pipes may fracture. Weather tightness after impaired.	5.0mm < a < 15.0mm (or a group of 3.0mm cracks)	3 Moderate
Extensive cracks with repair involving replacement of wall sections, especially over openings. Door and window frames distort. Walls lean or bulge. Some loss of bearing in beams. Service pipes affected.	15.0mm < a < 25.0mm	4 Severe

**Notes:**

- Where the cracking occurs in easily repaired plasterboard or similar clad-framed partitions, the crack width limits may be increased by 50% for each damage category.
- Crack width is the main factor by which damage to walls is categorised. The width may be supplemented by other factors, including serviceability, in assessing category of damage.
- In assessing the degree of damage, account shall be taken of the location in the dwelling or structure where it occurs, and also of the function of the dwelling or structure.



**Table C2**  
**Classification of Damage to Concrete Floors**

<b>Description of Damage</b>	<b>Approximate Crack Width</b>	<b>Change in Offset From 3m Straightedge Centred Over Defect (See Note 1)</b>	<b>Damage Category</b>
Hairline cracks. Insignificant slab level movement.	< 0.3mm	< 8.0mm	0 Negligible
Fine but noticeable cracks. Slab reasonably level.	< 1.0mm	< 10.0mm	1 Very Slight
Distinct cracks. Slab noticeably curved or level changed.	< 2.0mm	< 15.0mm	2 Slight
Wide cracks. Obvious curvature or change in slab level.	2.0mm < a < 4.0mm	15.0mm < a < 25.0mm	3 Moderate
Gaps in slab. Disturbing curvature or change in slab level.	4.0mm < a < 10.0mm	> 25.0mm	4 Severe

**Notes:**

1. The straightedge is centred over the defect, usually, and supported at its ends by equal height spacers. The change is offset is then measured relative to this straightedge, which is not necessarily horizontal.
2. Local deviation of slope, from the horizontal or vertical, of more than 1:100 will normally be clearly visible. Overall deviations in excess of 1:150 are undesirable.
3. Account should be taken of the past history of damage in order to assess whether it is stable or likely to increase.

The above is in reference to Australian Standard AS2870-2011, Appendix C.



## APPENDIX E

### (FFSV Guide to Foundation Maintenance)



## Guide to Foundation Maintenance For Reactive Sites



**Preface:** This document is No. 7 of a series of Practice Notes produced by the Foundation & Footings Society (Vic) (FFSV), with the aim of setting a bar for the standard of professional practice of its members and other like practitioners in the industry. Equally important to the standard of professional practice, is the responsibility of the home-owner toward maintenance of the footings after the builder has handed the project over to him or her. The home-owner must be aware that he or she is responsible for the maintenance of the footings, as prescribed in the Building Code of Australia.

### 1 INTRODUCTION

- 1.1 Buildings rest on footings, footings rest on the ground, the ground under the footings is the foundation soil. If the foundation soil is *reactive* it can move if the soil moisture changes.
- 1.2 All clay soils are reactive to some degree. The movement of reactive clay soils is generally seasonal, with shrinkage in summer caused by drying and volume reduction, and swelling in winter caused by wetting up and volume increase. Your footing system is designed to tolerate normal seasonal moisture changes.
- 1.3 However clay movement can also be caused by artificial moisture changes. If adequate maintenance is not carried out unusual or abnormal soil movements, additional to seasonal movement, could take place.
- 1.4 This Guide explains how excessive moisture variations can occur, and provides recommendations to assist in the prevention of excessive slab and footing movements that could lead to cracking of your walls.

### 2 SITE CLASSIFICATION

- 2.1 All house sites are “classified” before construction of the house. The classification is generally based on the geologic origin and thickness of clay present in the soil profile. Climatic conditions are also considered.
- 2.2 Reactive clay sites are classified as CLASS M (medium), CLASS H (high), or CLASS E (extreme) and the letters represent increasing levels of reactivity. The site classification for your house must be indicated on the slab and footing design drawings.
- 2.3 Sometimes, and usually because of the presence of Filling on your site, or because abnormal soil moisture conditions have been identified, the site classification may be CLASS P. However either your soil report, or special notes on the slab design drawings, will indicate the basic level of soil profile reactivity.
- 2.4 The purpose of good foundation maintenance is to keep the moisture content of the clay reasonably constant. A CLASS H site will generally require more attention than a CLASS M site and CLASS E sites require even more diligence.
- 2.5 Some minor cracking of masonry walls is almost inevitable despite proper design, construction, and maintenance. Very slight cracks up to 1mm wide could be expected in most houses, and cracking of up to 5mm may occur in some houses, and neither affect the structural performance nor be considered a defect.

### 3 HOME OWNERS RESPONSIBILITIES

- 3.1 In the Australian Standard that regulates house footings, the “Owner” is defined as the person or organization responsible for maintenance of the building and the site. The Owner should be familiar with the performance and maintenance recommendations... (such as these)

1 of 4

Foundations and Footings Society (Vic) Inc - Practice Note No.7 April 2013



### **Guide to Foundation Maintenance for Reactive Sites**

- 3.2 On a reactive clay site there are some restrictions on the way the Owner can develop the garden around the house. These restrictions consist of: restrictions on trees and shrubs, requirement for drainage, limitations on gardens, and requirement for repair of all leaks. These are discussed in more detail in the sections following.
- 3.3 In general houses clad with timber (or other sheet) are more flexible than brick veneer and are better able to withstand soil and footing movements. Thus the requirement for foundation maintenance is less stringent, but nonetheless advisable.

#### **4 PREVENTING EXCESSIVE SOIL WETTING**

##### *Water on the surface of the ground*

- 4.1 Ponded water can cause localised heave or swell of the soil and uplift of the footing. Because the uplift is highly localised, the difference in level between the heaved soil and the non-affected soil can cause cracking in plaster walls and around window and doors. In severe cases, brickwork can crack.
- 4.2 The Owner is expected to prevent water from ponding underneath or against the sides of the houses. To achieve this, the ground adjacent to the house should be kept clear, and graded with a fall away from the house of about 50mm per metre. Ideally all runoff should be collected and via a silt pit to a legal point of discharge.
- 4.3 On sloping sites, a cut off drain should be provided on the high side such that any groundwater flowing toward the house is intercepted and drained into the storm water drain. An aggie(subsurface) drain system or manufactured "strip drain" system may be used to achieve this.
- 4.4 On a cut site, the cut-off drain shall be installed at the toe of the cut. In addition the ground surface immediately next to the perimeter footings should be graded away at approximately 1:20 within at least 1500mm and water directed to the legal point of discharge.
- 4.5 The Owner should ensure that all surface drains are fully maintained in working order. They should be kept free of debris and tall grass that may hinder rapid and free flowing drainage.

##### *Water below the ground*

- 4.6 Soils in depressions which are natural water courses have greater exposure to moisture than soil on surrounding sites. Intercepting drains may be needed if not already installed. On reactive sites these should take the form of surface rather than buried drains as all too often the latter become blocked and feed moisture into the soil, magnifying the problem. If possible buried drains should be kept well away from houses and be provided with numerous inspection points.
- 4.7 The Owner should ensure that all subsoil drains are fully maintained in working order; outlets are to be kept clear to allow free drainage. An opening should be provided at the high end of the drain to enable it to be flushed out.

##### *Water from the roof*

- 4.8 Pipe all roof water away from the house so that it doesn't pond adjacent to the footings or cause erosion at any time.
- 4.9 During construction of new houses or extensions to existing houses, measures should be taken to temporarily divert all roof water from the perimeter of the house. These measures should be implemented as soon as the roof is installed, and maintained until the roof drains are connected permanently into the storm water system.



## **Guide to Foundation Maintenance for Reactive Sites**

### *Leaks and overflows*

- 4.10 All drainage, sewer, and water supply pipes should be checked regularly for leakage, and repaired when necessary.
- 4.11 The overflow from the hot water service should be directed into a legal point of discharge.
- 4.12 Plumbing leaks should be repaired immediately.
- 4.13 The Owner can easily check the water reticulation system for leaks by turning off all taps and observing the response of the water meter.
- 4.14 Leaks in sewerage or stormwater pipes close to or beneath a house can cause serious localised moisture concentrations. Such leaks in covered pipes are difficult to trace and repair, but the most common indicator is a zone of moist or wet ground, not associated with rainfall. Another indicator is a local zone of dampness or mould on a floor slab. If such zones are noticed, then some exploration for leaking pipes should be made in the moist area.

### *Removing trees or old houses with timber floors*

- 4.15 If trees are lopped or cut down, or significant vegetation removed, a previously existing means of moisture absorption (tree roots) is removed. The soil in the previous "zone of tree drying" now has more soil moisture to absorb, and can swell and lift the footing, causing distress in the walls.
- 4.16 When a large tree is removed and a new house or extension built over its position, it is important to allow sufficient time to elapse (at least one wet season) prior to commencement of construction, to enable the soil moisture to return to a natural equilibrium.
- 4.17 Houses more than 35 years old typically have timber floors, and the ground beneath them is exceedingly dry, similar to tree associated dry ground. Similarly, to avoid future swelling of the ground and building distress, it is important to allow sufficient time to elapse (at least one wet season) prior to commencement of construction. This will help the soil moisture to return to a natural equilibrium.

### *Adding floor slabs or pavements*

- 4.18 When ground that has previously been exposed to the elements is covered by concrete or paving, then a previously normal means of soil moisture removal (the sun) is prevented. Any moisture that finds its way under the slab or paving is trapped, and accumulates with time, leading to soil swell, footing uplift, and building distress.
- 4.19 To minimize future swelling of the foundation, it is important to allow sufficient time to elapse (at least one dry season) prior to commencement of construction.

## **5 PREVENTING SOIL DRYING**

### *Paving*

- 5.1 Construct an impervious apron, such as a concrete path at least one metre wide, around the house. Slope the path away from the walls houses with a fall away from the house of about 50mm per metre.
- 5.2 Seal joints and gaps to prevent water penetrating between the path and the building. Ideally all runoff should be collected and via a silt pit to a legal point of discharge.
- 5.3 Paved pergola areas should be graded to ensure that water drains away from the house to an edge drain.



### **Guide to Foundation Maintenance for Reactive Sites**

#### ***Trees and Gardens***

- 5.4 Tree roots cause problems by drying the soil in a zone around the tree. This “zone of tree drying” increases as the tree grows. Generally trees and large shrubs should not be planted or allowed to exist within a distance from the house equal to the zone of tree drying. This distance is estimated to be *the expected mature height of the tree*. Where there is a group of trees, the distance away should be increased by 50%
- 5.5 Do not have garden beds which require heavy watering adjacent the house. The introduction of topsoil to the garden will interfere with effective site drainage patterns, and if the garden plot is over watered it can cause local heave of underlying reactive soils at the edge of the house.
- 5.6 Alternatives to a garden beds around the house are; tan bark or gravel over plastic sheeting, small shrubs in buried pots, or footpaths.
- 5.7 Do not over-water your garden or lawn, by leaving sprinklers on too long. It is better to use a regulated drip irrigation system.

#### **6      LANDSCAPING**

- 6.1 Excavation replaced by fill with different drainage characteristics may cause greater wetting and drying of adjacent soil. After any excavation the hole should be backfilled with impervious (where possible) excavated material, to minimize water penetration from the surface.
- 6.2 Before fill is placed on a site any surface water lying in depressions should be removed. Indeed if a depression is a natural catchment arrangements should be made to provide a subsoil drainage trench so that ground water will not concentrate there even after filling.
- 6.3 Stabilize all cuts and batters by retaining or stone pitching
- 6.4 On cut and fill sites cut slopes need to be protected if the soils are erodible. If material regularly washes down from the face of the cut and blocks the toe drain, another drain at the head of the cut should be provided.

#### **7      YOUR NEIGHBOURS ACTIVITY**

- 7.1 If your neighbour plants trees that will clearly become high enough to affect the soil moisture under your house, it is prudent to let them know of possible future damage the trees may cause, not only to your house, but to their own. Passing on a copy of this leaflet would be a start.
- 7.2 If your neighbour is upslope of you and has paving in the yard, there could be substantial stormwater runoff onto your property. His water should be captured by a drain and diverted away before it reaches your property.
- 7.3 Notify your neighbour if you notice any leaking taps or moist patches of ground on his property.



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[REDACTED] (Interim HO280)

HERITAGE OVERLAY ASSESSMENT

Prepared by

DAVID BICK

ARCHITECTURAL HISTORIAN AND CONSERVATION ARCHITECT

At the Request of the Owner

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1 August, 2023

[REDACTED] (Interim HO280) Heritage Overlay Assessment  
Prepared by David Bick, Architectural Historian and Conservation Architect 1 August 2023

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## **BACKGROUND TO THE PREPARATION OF THIS HERITAGE OVERLAY ASSESSMENT**

The Responsible Authority for the Nillumbik Planning Scheme has prepared Planning Scheme Amendment C149, which seeks permanent listing of the property at number [REDACTED] on the Nillumbik Heritage Overlay Schedule. An Interim Heritage Overlay control applies to this property, and this Amendment is currently on Exhibition.

The owner has applied to the Responsible Authority to completely demolish the existing buildings on the site. In response to that Application, as well as the Interim Heritage Overlay control, the Responsible Authority requested the owner and permit applicant to provide a Heritage Overlay assessment of the existing buildings on the site.

This report is that assessment.

David Bick inspected the site and buildings on the 27<sup>th</sup> of June, 2023.

David Bick undertook the Shire of Eltham heritage study in the 1990s, so is quite familiar with the history and heritage of that part of the Nillumbik Municipality, and has undertaken other heritage related work in the Nillumbik Shire subsequently.

David Bick undertook all of the work in preparing this assessment. The brief and available time period prevented the undertaking of any historical research into this property - it is up to the heritage study that is the basis of the proposed Amendment to undertake the necessary historical research, not the affected property owner.



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### SUMMARY

The proposed permanent Heritage Overlay Schedule listing of the timber cottage at number [REDACTED] is unsound due to the following -

- The basis for this Heritage Overlay listing, the heritage assessment by Context, should not be relied on, as it did not :
  - ❖ determine the actual original date of construction for the cottage, and not
  - ❖ adequately consider the apparent construction in stages of the building, and not
  - ❖ consider the possibility that the building was constructed out of secondhand building sections and/or materials, and possibly much later than the stated circa 1914 date, and did not
  - ❖ determine the building's owners and occupiers, which would have shown how the cottage was used - it may well not have been a workers' home as claimed - and might have provided an insight into its apparent construction in stages.
- The heritage assessment by Context also does not provide a comparative assessment of this cottage with all, or any, of the other comparable examples in at least the Eltham area of the Municipality, which is essential when considering the Heritage Overlay merits of a building such as this.
- The building identified as being significant comprises just three rooms, and while that does not preclude a Heritage Overlay Schedule listing, the viability of applying a Heritage Overlay control to a small 3 room building in poor condition needs to be very seriously questioned.

For a building such as this to be added to the Heritage Overlay Schedule, it is essential that its potential Heritage Overlay merits are soundly assessed, to ensure that the Heritage Overlay control is soundly applied, and that has not been done in this instance.



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**THE HERITAGE OVERLAY SIGNIFICANCE BEING CLAIMED  
 FOR NUMBER [REDACTED]**

The Statement of Significance for this property prepared by Context<sup>1</sup> is the following -

*WHAT IS SIGNIFICANT?*

*'Hillside' at [REDACTED] a single-storey weatherboard cottage with corrugated iron roof, built c1914 for Anne and Albert Zillman, is significant.*

*Elements that contribute to the significance of the place include:*

- *the building's built form and scale, including the three rectangular gable forms;*
- *the building's original/early materiality, including weatherboard wall cladding and corrugated iron roof, and*
- *the inset verandah with timber deck and timber-framed balustrade.*

*Later additions the rear of the main roof form and the detached garage and carport are not significant.*

(There is now no detached garage or carport on the site.)

*HOW IS IT SIGNIFICANT?*

*Hillside at [REDACTED] is of local historic significance to the Shire of Nillumbik*

<sup>1</sup> Context, Statement of Significance for [REDACTED] not dated, supplied to the owner by the Nillumbik Shire Council.



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#### WHY IS IT SIGNIFICANT?

Hillside at [REDACTED] is historically significant as one of the first residences to have been built on the Glen Park Estate (subdivided in 1909 and first sold in 1913), preceding the majority of the residential development in the locality, which later became Eltham North. The simple vernacular form and materiality of the cottage demonstrates the manner in which low-cost residential development was undertaken in the formerly rural areas of the Shire of Nillumbik in the early twentieth century. Built as a small worker's home, the subject building indicates how families often relied on easily constructed, simple building forms to provide affordable accommodation in often rural, slowly developing parts of the municipality. (Criterion A)

#### RECOMMENDATIONS

The recommendations section in the Context heritage assessment are -

*Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as an Individually Significant place.*

*Extent of overlay: To title boundaries*

No additional Heritage Overlay controls are recommended.

#### ANALYSIS OF THE HERITAGE OVERLAY SIGNIFICANCE CLAIMED BY THE CONTEXT ASSESSMENT

The Heritage Overlay significance claimed by Context's assessment does not justify its recommended addition of this cottage to the Nillumbik Heritage Overlay Schedule due to the following -

- Hillside at [REDACTED] is of local historic significance to the Shire of Nillumbik. - Context have not researched the history of this cottage and its site (having assumed that it was all constructed immediately after a 1909/1913 subdivision), so the claimed local historic significance is based solely on the assumption of a circa 1914 date and ...preceding the majority of the residential development in the locality..., without any comparative assessment having apparently been made. Being one of the oldest dwellings in a local area is not by itself a very sound justification for the application of a Heritage Overlay control.



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Probably most or all dwellings in Melbourne are located on some form of subdivision or subdivisions, so Heritage Overlay significance cannot be claimed for being one of the oldest dwellings on a particular subdivision unless something special distinguishes that subdivision over all of the other ones in that part of the Municipality.

- *...historically significant as one of the first residences to have been built on the Glen Park Estate (subdivided in 1909 and first sold in 1913), preceding the majority of the residential development in the locality.*

No actual date/dates of construction have been provided for this building.

- Context's assessment reads as if the building was constructed all at the one time, when it appears to have been constructed in stages, which may or may not indicate that what is seen today is younger or much younger than Context have assumed.
- Being *one of the first residences to have been built* on a subdivision does not equate to Heritage Overlay significance - the test is, or ought to be, a comparative examination and assessment of all of the directly comparable dwellings in at least this part of the Municipality (more than just one subdivision, or very localized area), to determine how this cottage compares with the other examples and thence whether that gives the building sufficient Heritage Overlay significance to justify the application of the Overlay to this particular example.
- *...historically significant...preceding the majority of the residential development in the locality...* - again a dwelling preceding the majority of development in a locality/undefined locality does not by itself give a building sufficient Heritage Overlay significance to justify the application of this Overlay.
- *The simple vernacular form and materiality of the cottage demonstrates the manner in which low-cost residential development was undertaken in the formerly rural areas of the Shire of Nillumbik in the early twentieth century.* - being an example of a simple early 20<sup>th</sup> century dwelling in a former rural area of the Shire does not of itself justify applying the Heritage Overlay control to that building

Some comparative assessment is required, to determine which examples, if any, merit the addition to the Heritage Overlay Schedule.



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In the early 20<sup>th</sup> century the North Eltham area may well have still been a rural or semi-rural area - Context apparently believes that it was a former semi-rural area during the early 20<sup>th</sup> century.

- *Built as a small worker's home, the subject building indicates how families often relied on easily constructed, simple building forms to provide affordable accommodation in often rural, slowly developing parts of the municipality.* - Context have not provided any research into the history of this cottage, and thence the occupation/s of the original owner/s are not known - they may not have been workers as claimed, the building may not have been built as a family home.

### CONTEXT'S EXTENT OF SIGNIFICANCE

Context's stated extent of significance - *Later additions the rear of the main roof form... are not significant.* - means that just 3 rooms and the recessed front verandah are regarded as having Heritage Overlay significance. (The whole building contains 6 rooms, the three rear rooms comprising a kitchen, a laundry and an outside toilet room).

Thus the Responsible Authority needs to consider the logic and feasibility of its Planning Scheme seeking to conserve and enhance a 3 room cottage in this instance.

If the history of this building had been researched to determine the dates of its construction and a thorough comparative assessment undertaken to determine how it compared with the comparable examples in the Eltham part of the Municipality, as well as in a broader context, then that would have provided a sounder basis for considering the application of the Heritage Overlay control to this property.

However that has not been done, and that makes the proposed Heritage Overlay Schedule listing unsound, or very unsound.

### NO ANALYSIS OF THIS BUILDING BY CONTEXT

Context's assessment of this property appears to have assumed that the 3 room front section of this cottage was all constructed at the same time, and appears not to have closely examined them.



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If the heritage assessment that the Responsible Authority is relying on had closely examined the front 3 rooms, then it would have recognized the following -

- The central front room behind the verandah has a flatter pitched roof than the gabled roofed rooms on each side of it.
- The eastern of the gabled roofed front rooms has a filled-in doorway off the verandah, and the location of that doorway in the centre of the western wall of that room, as well as how far forward the front wall of this room is from the verandah, all seems to indicate that this room was only accessed from the front verandah, and not from the interior of the rest of the cottage. That probably indicates that this room was a later addition
- The western front room is dug into the sloping ground, which seems to indicate that it was also a later addition.
- The valley roof gutters between the three front rooms reinforces the high probability that the 3 front gable roofed rooms were constructed at different times, and could even have been brought onto the site from elsewhere.
- Context's heritage assessment refers to *...the inset verandah with timber deck...*, but does not refer to the verandah floor being timber battens, not floorboards, meaning that they date from comparatively recent times such as recent decades, and not circa 1914.
- Context also does not refer to the quite large window in the south wall of the western gable roofed front room, which would date from sometime in the mid or later 20<sup>th</sup> century, or later.
- There is also no reference to there being no chimneys in any part of this cottage, which may be due to them having been removed, or that it never had any (which would seem to indicate a later construction date or dates than circa 1914).
- Context's heritage assessment refers to this cottage being a *...a small workers' home...*, without any evidence being provided to prove that claim.

Another hypothetical possibility could be that it was constructed much later by an artist, or retired person, or a person without much money, out of secondhand and relocated building sections and materials.



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### **THE POOR CONDITION OF THIS COTTAGE**

As well as its just 3 room size, the Responsible Authority also needs to consider the poor condition of this building and hence the cost of making it habitable.

Ordinarily Heritage Overlay significance considers just the Heritage Overlay merits of a building, and that can include quite modest buildings.

However in this case the merit of applying the Heritage Overlay control to this building, in the absence of knowing its actual history of construction and the owners who constructed and used it, as well as how it compares with all of the other surviving examples of old modest timber cottages in at least the Eltham part of the Shire, and combined with it being just a 3 room dwelling, and in poor condition, all make the proposed Heritage Overlay control very questionable in my view.

If the cottage's history of construction and history had been determined, and importantly its place amongst the other comparable examples in the Shire determined, then the proposed Heritage Overlay control could be soundly considered. However in this case the necessary work has not been done, and hence the proposed Heritage Overlay control is not sound.

### **SOURCES OF INFORMATION USED IN THE PREPARATION OF THIS HERITAGE OVERLAY ASSESSMENT**

- 1) Nillumbik Planning Scheme, Heritage Overlay Schedule and map.
- 2) Context, Statement of Significance for [REDACTED] not dated, supplied to the owner by the Nillumbik Shire Council.
- 3) Site inspection including a close examination of the exterior of this cottage.

David Bick  
1 August, 2023.



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FRONT (SOUTH) FACADE





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FRONT DOOR (LEFT) AND FILLED-IN DOOR ON THE RIGHT HAND SIDE



WEST WALL OF THE FRONT ROOM



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REAR WALLS



OUTSIDE TOILET ON THE LEFT HAND SIDE



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NORTH EAST (REAR) CORNER





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**Attention:**

[REDACTED]  
[REDACTED]

KANGAROO GROUND, VIC 3097

2 August 2023

**Our Ref:** 12780-23

**Inspection Date:** 1 August 2023

**Meeting:** [REDACTED]

Dear [REDACTED]

**Re:** [REDACTED]

An inspection was conducted at the above property to comment on the structural integrity of the existing building, and the works required to ensure the existing property is suitable for use as a habitable dwelling.

The dwelling has been constructed in two parts - the original single-storey weatherboard structure constructed circa 1914, and a subsequent single-storey cement sheet structure, constructed to the north side at a later date.

The site is grassed and treed throughout and has fall from the north-west corner towards the south-east corner of approximately 2m (this was determined from a visual inspection only and no levels have been carried out).

We carried out a visual inspection to the sub-floor framing (only sections that were visible), to the roof framing (only sections that were visible) and to the external facade. We did not carry out any destructive investigation or soils investigation.



We did not carry out any destructive investigation because we are concerned that the removal of any of the existing roof sheeting, internal linings, external weatherboards, or internal flooring, may cause collapse of the existing structure. Any destructive investigation on this property should only be carried out after temporary propping has been supplied to the sub-floor and external walls, to ensure stability.

It is important that the owner of the property ensures that it is not possible for human egress into or around the dwelling.

### **Inspection Details:**

#### **Original Dwelling**

- The existing single-story dwelling was constructed circa 1914.
- The roof structure is corrugated iron, supported on battens and rafters, supported on to the existing internal and external timber stud framed walls.
- The ground floor structure is timber stumps, supporting timber bearers and joists.
- The external cladding to the timber framing, is painted weatherboards.
- The front section of the dwelling is on a lean of approximately 300mm, over 1.5 m of height.
- There is evidence of the roof leaking, in a number of locations, due to serious rusting of the roof sheeting. It was possible to see a small section of rafters and battens through a ceiling hatch and there appears to be some deterioration of the roof timbers.
- Both internally and externally, it is possible to see the existing timber studs exposed, in a number of locations, and there is evidence of rotting in these timbers.
- The weatherboard cladding has curled in large areas and appears to have only one layer of paint, which affects the waterproofing.
- The floor throughout is no longer level, and there is significant bounce and sponginess in multiple locations.
- The joists and bearers under the sub-floor, have rotted.
- There is evidence of the timber stumps rotting, subsiding, or leaning in a number of locations.

#### **Lean to Extension**

- We have no information regarding the construction date of the lean-to extension on the northern side of the original dwelling.
- The roof structure is corrugated iron, supported we believe, on timber rafters (it wasn't possible to inspect without localised demolition).
- The internal and external walls are timber stud framed.
- The ground floor is timber stumps, supporting timber bearers and joists, with a timber floor which is supporting a concrete screed.
- The roof sheeting is rusted throughout.
- Where existing timber studs are exposed, there is evidence of rotting.
- Some ground floor timber stumps have collapsed, either under the load of the concrete screed, or due to rotting or deterioration.
- The ground floor is no longer level and in some areas is bouncy.



**Comments:**

Due to the extensive deterioration of the support structure to these dwellings (original and lean to extension), we believe the following works are required to ensure the repaired dwelling is compliant with the “deemed to satisfy structural provisions” of the relevant NCC Performance Requirements:-

- The existing roof needs to be waterproofed - this will involve re-sheeting the existing roof.
- The existing rafters, battens and ceiling joists which have been weather affected, will need to be removed and replaced (we were not able to determine the extent of works due to limited access into the roof space). It is highly likely that the entire roof needs to be rebuilt.
- The existing timber stud framing will need to be completely demolished, and then rebuilt to comply with current code requirements due to evidence of rotting and deterioration caused by weathering and age. After re-levelling of the sub-floor structure, the timber frames will no longer be level and will require re-building. Also, we do not believe that the existing timber frames comply with current code requirements regarding size, spacing and construction.
- A large portion of the existing weatherboards (at least 50%) to the original dwelling, will not be able to be reused due to deterioration from weather effects and curling (the weatherboards have curled, and the overlap is no longer weatherproof).
- The sub-floor structure (at least 50%), will require a new flooring in the original dwelling where there is evidence of rotting and sponginess in the flooring.
- The lean-to extension will require new flooring (100% replacement), since the concrete screed on the existing flooring is overloading the floor and will need to be removed.
- The sub-floor structure throughout, requires a complete re-stump of both the original and lean-to extension, due to deterioration of the stumps in a number of areas, non-compliance with current code requirements regarding founding depths, bracing and out of level conditions.

In summary, we believe due to the extent of remedial works required to this property (new roof sheeting, new roof structure, new timber stud framing, new joists and bearers and new stumps), this dwelling should be demolished.

Further, as noted above, we believe the structure of this dwelling (both the original and the lean-to extension) is unsafe and hazardous. The original dwelling’s internal floor has no support in a number of locations, and the front facade is unstable and can be moved laterally by human impact. The lean-to structure has areas of unsupported flooring.

Securely locked safety fencing must be provided to ensure there is no opportunity for access by the general public or unauthorised personnel. Furthermore, we believe temporary lateral




and vertical support should be provided in unstable areas to prevent collapse of the structure.

I trust this is satisfactory, but should you have any queries, please contact me at this office.

Yours sincerely



  
MIE (Aust) PE0005907



## APPENDIX 1: PHOTOGRAPHS





Below Ground Construction



Internal Floor Out of Level





Side Elevation



Slab in Lean-To Extension





Typical Roof Condition



Typical Weatherboard Deterioration





Walls On 300mm Lean



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Response No:  
1

Details

2 Hillmartin Lane/Road, Diamond Creek

Stage B - 26

Objection





**Title:** Larch Hill, 2 Hillmartin Lane

**Prepared by:** Trethowan Architecture

**Address:** 2 Hillmartin Lane, Diamond Creek

<b>Name:</b> Larch Hill Residence and Remnant Orchard	<b>Survey Date:</b> 20/1/2022
<b>Place Type:</b> Individual Place	<b>Architect:</b> Unknown
<b>Grading:</b> Significant	<b>Builder:</b> Unknown
<b>Extent of Overlay:</b> to the title boundary	<b>Construction Date:</b> 1920-22



## Historical Context

### Early History of Diamond Creek

Although Crown Land in Nillumbik Parish was offered for sale in 1852 there were few buyers. A government township was reserved on the west of the Diamond Creek at this time but it was neither subdivided nor sold until 1866. In 1863 the Diamond Reef was discovered on land purchased by Dr John Blakemore Phipps in 1854 east of the creek. The rush to Diamond Creek began and soon Phipps was renting sections of his land, which he later subdivided to miners. In effect the development of Phipps land for gold mining was the beginnings of Diamond Creek, which was soon bustling with gold seekers. In 1866 the government proclaimed Diamond Creek as a township. Many of the important community buildings were established by the early 1870s. By the second half of the 1880s the locality was being carved up rapidly into a dominant pattern of numerous small lots of around 20 acres. These were taken up under occupation licenses, first under Section 49 of the Land Act 1869 and later under Section 65 of the Land Act 1884. Diamond Creek's population peaked around the turn of the century then seemed to fall away again in the early twentieth century (Graeme Butler & Associates 1996, p.36).

### History

2 Hillmartin Lane

William Gardiner





William Gardiner took up Lot 12 Section 22, 20 acres Parish of Nillumbik under Section 31 of the Land Act 1869. He obtained freehold in 1873. This lot is amongst a large grouping of Section 31 occupation license areas to the north and west of the township of Diamond Creek. Characteristically they were either 20 acres or multiples thereof. Most were converted to freehold during the 1870s (Nillumbik Parish Plan sheet 1). The land that contained the subject site was occupied by Sarah Gardiner, who was recorded to have owned 'house and land' in Parish of Nillumbik (RB 1872, 1873 & 1874).

The 1876-77 rate book shows Sarah Gardiner owning house and land in Parish of Nillumbik (RB 1876 & 1877). The land was purchased by Charlotte De Frederick in 1884 (CT: V1606). In 1885 Henry de Frederick was rated for house and land in the Parish of Nillumbik with an NAV of £10. In 1895 Lot 12 was purchased by Constance Fitzgibbon, wife of Major Maurice Fitzgibbon, engineer of the 18th Royal Scots regiment, then based in Calcutta India (CT: V2562F379). The de Fredericks, however, continued to occupy the site, and were recorded to be the owner/ occupier of the property until 1910 (RB, 1910). In 1911, the Fitzgibbons came to Diamond Creek and settled in the property, establishing an additional 10 acres of orchards, presumably on top of what the de Fredericks had already cultivated (*The Australasian*, 2 December 1911:13). The 1920 topographic map, which probably reflects the state of development a couple of years before it was published, shows a house on the north end of the property but no house is identified within the subject site.

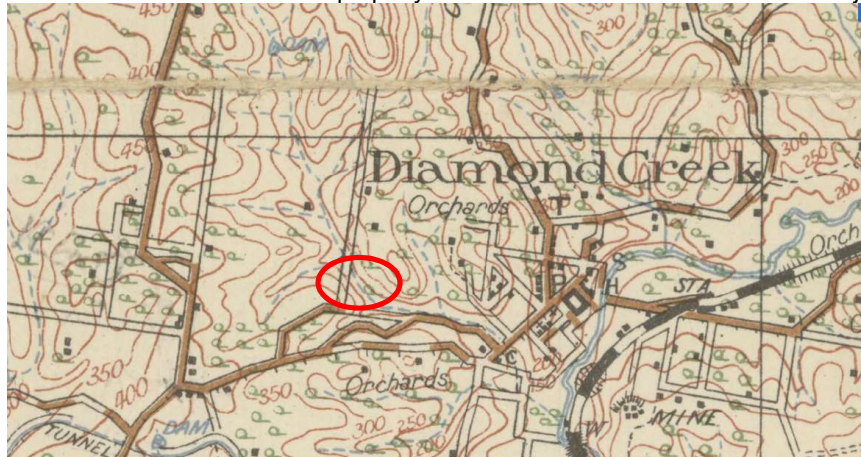


Figure 1: Extract of the plan of Yan Yean shows the locality of Diamond Creek in 1920. The subject site (indicated with red) was an empty paddock at that time. Source: National Library of Australia.

In 1920, the subject site (Lot 12) was purchased by Rose and Henry P Thomson, formerly of Mildura. Henry P Thomson, who was a merchant, had also been chairman of the First Mildura Irrigation Trust (*Mildura Telegraph & Darling & Lower Murray Advocate*, 15 October 1918: 4). The subject site, which the Thomson's named 'Larch Hill', was to be used as their retirement home. The property was described as "a beautifully situated property of some twenty-six acres – fine woods, no dust, no sand, no mosquitoes, and glorious wattle in every direction." (*Mildura Cultivator*, 28 August 1920:12). A new house was constructed within Lot 12 in c1920-22. The 1921- 22 rate book shows Harry Thomson as the occupier and Rose Thomson as the owner of Lot 12, comprising 20 acres with a house. This considerable increase in value indicates that a substantial new house had been built. Rose also owned 6 acres' part of a subdivision of Lot 18A, just to the west (RB 1922, 1923).

The Thomson's kept the orchard and it appears they employed others to run it. In 1923 they advertised for an orchard hand (*Age*, 10 February 1923:7). The Thomson's advertised for someone to plough 23 acres of orchard in 1931 (*Hurstbridge Advertiser*, 31 July 1931:5). In 1933 part of the property was advertised to let, with a house of 6 rooms and a cottage





of 3 rooms adjoining, and land of 1-4 acres (*The Age*, 27 July 1933:14.) By early 1934 the Thomson's had moved to Caulfield (*Table Talk*, 25 January 1934:44).

In August 1936 James Murphy purchased the land. He died in October 1953, and probate went to Harriet Charlotte Murphy in 1954 (*Age*, 14 August, 1943:4). In 1959 the property was sold to Charles Eric and Rae Constance Holland. Rae became the sole owner in 1967. The land was subdivided in 1971(CT: V4196 F139).

### Description & Integrity

The site is a large block and is marked by a combination of timber and stone fencing. A circular driveway, which is access via Hillmartin Lane, is located on the southern section of the property, leading to a c1920s weatherboard bungalow and an outbuilding. Mature trees and vegetation spread across the property.

The bungalow comprises a rectangular plan form with a narrower west extension. The bungalow is dominated by a tall hipped roof form (with later cladding). The north and south falls are each featured by a simple brick chimney, with a gabled section projects forward on its southwest elevation. The bungalow features a wide encircling verandah with timber posts and fretworks. On the west elevation, the verandah shelters a pair of French windows on the southern section, and a prominent sash window with sidelights.

A later swimming pool is located to the north of the bungalow.



*Figure 2: The front elevation of the built form. the projecting gabled section is located on central left and is partially concealed by a mature tree. Source: Trethowan Architecture, 2022.*





*Figure 3: The rear (north) elevation of the built form. Note the continuation of the verandah. Source: Trethowan Architecture, 2022.*

### Comparative Analysis

The house is one of only a few grand country residences constructed in the Shire. Although built on an existing orchard, this was more of an upper-class country residence constructed specifically as a retirement home for a wealthy former merchant. The house was built 1920-22 for the Thomson's who were retiring from Mildura. The significance of this property relies on its intactness as a grand bungalow residence from the 1920s. This intactness can only be confirmed from a site inspection. The interest is as a substantial retirement house/hobby farm of a wealthy family.

There are only a limited number of known examples of substantial country residences built for wealthy owners in the earlier period of the Shire (1880s – 1930s). Compared to these, the subject property displays similar dominant hipped roof forms, deep verandahs and bay windows.

Linton Grange, 55 Chapel Lane, Doreen (recommended for the HO) is historically a rare and unusual site in the Nillumbik Shire as it is the only known example of a 'country seat' property of a wealthy Melbourne family who lived between the city and country. It is also a rare example of a wealthy estate dating from the Victorian period and operating a successful cattle stud.





*Figure 4: Extract of an image (dated June 2016) shows the built form of 55 Linton Grange, Doreen. Source: domain.com.au*

Villa Beraguardo, 32-36 Perversi Lane, Diamond Creek (recommended for the HO). Constructed in 1924, the property was initially used as a weekender up until 1929 and is an uncommon example of country residence constructed for a wealthy Melbourne family who were not dependent on living off the land.



*Figure 5: Image dating 2021 shows the front view of Villa Beraguardo. Source: domain.com.au*





### Assessment Against Criteria

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.

*CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).*

The property is of historical significance for the grand 1920s bungalow residence constructed as a comfortable retirement home. Rose and H.P Thomson purchased the property in 1920 and built the house as a retirement home. H.P was originally a merchant of Melbourne and by 1918 he was the chairman of the First Mildura Irrigation Trust. The property also has associations with the orcharding industry in the area. Maurice Fitzgibbon with his wife Constance, established substantial orchards on the property between 1911 and 1913.

*CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).*

N/A

*CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).*

N/A

*CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

N/A

*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

The house on the property is of aesthetic significance as an elegant 1920s weatherboard bungalow with dominant main hipped roof and surrounding deep verandah with delicate arched fretwork valence and bay windows.

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).*

N/A

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).*

N/A

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance).*

N/A





### Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

### Recommended HO Extent



Proposed Extent for 2 Hillmartin Lane, Diamond Creek

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>External Paint Controls</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	No
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	No
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	Yes
<b>Aboriginal Heritage Place</b>	No





<i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	
--	--

**Identified By**

Samantha Westbrooke Pty Ltd, Dr Peter Mills and Trethowan architecture





## References

*Age*, as cited.

*Australasian*, as cited.

Great Britain. War Office. General Staff. Commonwealth Section & Australia. Department of Defence 1920, 'Yan Yean, Victoria / prepared by Commonwealth Section, Imperial General Staff' *Yan Yean, Victoria [cartographic material]*

Graeme Butler & Associates. 1996. Nillumbik Shire Heritage Study Stage 1, Review, Heritage Survey and Environmental History. Greensborough: Shire of Nillumbik.

*Hurstbridge Advertiser*, as cited.

Land Victoria, Certificates of Title (CT), as cited.

*Mildura Cultivator*, as cited.

Shire of Heidelberg Greensborough Riding Rate Books (RB), as cited.

*Table Talk* (Melbourne), as cited.



Response No:  
2

Details

42 Collins Street, Diamond Creek

Stage B - 24

Support





**Title:** Former Loyal Diamond Creek Lodge (MUIOOF)

**Identified By** Peter Mills and Samantha Westbrooke

**Updated and Prepared by:** Trethowan Architecture

**Address:** 42 Collins Street Diamond Creek

<b>Name:</b> Former Loyal Diamond Creek Lodge of the Manchester Unity Independent Order of Oddfellows (MUIOOF)	<b>Survey Date:</b> 20/1/2022
<b>Place Type:</b> House	<b>Architect:</b> Unknown
<b>Grading:</b> Locally significant	<b>Builder:</b> Unknown
<b>Extent of Overlay:</b> Title boundaries	<b>Construction Date:</b> c.1906



The subject site in context, viewed from Collins Street slip lane. Source: Trethowan Architecture, 2022.

## Historical Context

### Early History of Diamond Creek

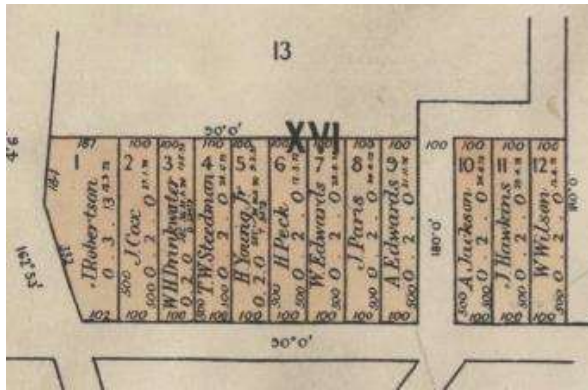
Although Crown Land in Nillumbik Parish was offered for sale in 1852 there were few buyers. A government township was reserved on the west of the Diamond Creek at this time but it was neither subdivided nor sold until 1866. In 1863 the Diamond Reef was discovered on land purchased by Dr John Blakemore Phipps in 1854 east of the creek. The rush to Diamond Creek began and soon Phipps was renting sections of his land, which he later subdivided to miners. In effect the development of Phipps land for gold mining was the beginnings of Diamond Creek, which was soon bustling with gold seekers. In 1866 the government proclaimed Diamond Creek as a township. Many of the important community buildings were established by the early 1870s. By the second half of the 1880s the locality was being carved up rapidly into a dominant pattern of numerous small lots of around 20 acres. These were taken up under occupation licenses, first under Section 49 of the *Land Act 1869* and later under Section 65 of the *Land Act 1884*. Diamond Creek's population peaked around the turn of the century then seemed to fall away again in the early twentieth century (Graeme Butler & Associates 1996, p.36).



## History

### 42 Collins Street

The property at 38 Collins Street was originally part of Lot 1 of Section 16 sold in 1872 to J. Robertson (Nillumbik Parish Plan 1872). John Hawkins of Carlton purchased the block from Robertson the same year.



1872 Nillumbik Parish Plan

In 1888 Lot 1 sold to Louisa and Emanuel Williams of Northcote. In 1892 it was sold to William Morgan Edwards, labourer of Diamond Creek. He sold a 33ft by 66ft block at northwest corner to the Loyal Diamond Creek Lodge of the Manchester Unity Independent Order of Oddfellows (MUIOOF) in July 1906 (CT: V2100 F906). This land is now 42 Collins Street.

The Lodge was represented on the title by Richard Wadeson, Andrew Burgess Herbert and Patrick John Sheahan, all orchardists of Diamond Creek (CT: V3137 F365). The 1907-8 rate book shows the Diamond Creek Lodge having built a hall on part Lot 1 Section 16 (RB).

Friendly societies, of which the MUIOOF was an example, were fraternal organisations, which assisted members and their families to meet the financial and social impacts of illness, unemployment and death. They developed in the industrial areas of Britain. Elizabeth Willis describes the characteristics of such societies in general:

The ethos of the movement emphasised brotherly feeling, sociability and mutual responsibility. Members were encouraged to look out for each other, visit the sick, and help each other find jobs and settle into the community. They gained experience in leadership, debating and meeting procedure. .... Members were expected to attend meetings regularly, both to pay their subscriptions and to foster 'brotherly love'. Fellowship was promoted by social events: games evenings, picnics, sporting competitions, dances and concerts where families of members were welcomed. (Willis 2005:292).

The MUIOOF had its origins in Salford, near Manchester, England in the late eighteenth century.

The Union Benefit Society was the first friendly society established in Melbourne, in 1839. Recently arrived English member Mr F.A. Greeves and Thomas Strode of the Port Phillip Gazette called a meeting at the newspaper to establish the lodge, and the first regular meeting was held in December 1840 at the Yarra Yarra Steam Packet Hotel in Flinders





Street (*Age* 1 September 1932). By the 1860s lodges or branches of the various friendly societies were springing up all over Melbourne. By 1891 close to a sixth of the Victorian workforce belonged to a friendly society, and by 1913 over half of the population were supported by them in some way. By the late nineteenth century, the MUOOF had an extensive network of lodges in metropolitan and country Victoria (Willis 2005:292, ANUA 2012).

The Diamond Creek Lodge of the MUOOF, Lodge No.5630, held its first meeting in 1870 with 15 foundation members (*Advertiser (Hurstbridge)*, 9 March 1934:7). By 1883 the Lodge was using the Mechanics' Institute as a venue for events (*Mercury & Weekly Courier* 18 August 1883:3).

In 1908 officers of the Port Phillip District MUOOF visiting the Diamond Creek Lodge were served dinner at the Royal Mail Hotel, followed by a "purple lecture" by past and present officers of the district in the "lodge room". A social was then held in the Literary Institute hall (*EO&BER* 3 April 1908:2). A 'purple lecture' was a quarterly lecture at which 'purple degrees' were given to 'Past Grands'. Fortnightly meetings often featured guest lectures and were followed by card games (*EO&BER* 17 May 1912:3; 5 May 1916:2). In 1916 there were 122 members in the Lodge, whose meetings involved lectures and euchre matches. Another local lodge was the Loyal Caledonia Lodge in Panton Hill (*HN&G&DCC*, 26 February 1916:2). A "juvenile" lodge was started in 1916. The small scale of the "lodge room" is evidenced by the use of the Literary Hall instead of the Lodge for an event in 1916, as the "local Lodge Hall [was] not nearly big enough". On this occasion an honour board was presented to the Lodge for placement in the lodge-room (*EO&BER* 8 September 1916:3).

The land title shows that in 1928 ownership was transferred to Andrew Burgess Herbert and Patrick John Sheahan, and then immediately after to Charles Walter Burgess Wilson, Ernest Clunes Rowles and George Thomas Herbert, orchardists of Diamond Creek and also trustees of Loyal Diamond Creek Lodge. Presumably this was the next generation of members (CT: V3137 F365). In 1932 the credit balance was £1000, with £210 of receipts and expenses of £300, and 90 members on the roll. The Lodge contributed £300 towards the new Manchester Unity building in the city, which was opened in 1932 (*Advertiser (Hurstbridge)* 16 December 1932:2, *Age* 1 September 1932:7). By 1934 the Diamond Creek lodge had initiated 487 members, and there were 100 current members on the books (*Advertiser (Hurstbridge)* 9 March 1934:7).

In 1949 the Lodge's occupation of the site finished when the block was sold to Edith Louise Hooghly Smith. Edith's husband was Alfred Smith. She died in Diamond Creek in 1954 and Alfred John Wilmot Smith, linesman of Diamond Creek, became the proprietor (CT: V3137 F365). At her death, the building was described as "a two roomed house and kitchen on Collins Street" (Edith Louisa Hooghly Smith will and probate papers File 471/053, VPRS 28/P4 Unit 650). Also in 1954 the land behind the former Lodge lot, extending back to the east boundary of the original Lot 1 Sec. 16, as well as a small strip below, was sold to Alfred Smith as part of the subdivision of the remainder of Lot 1 Section 16 (CT: V6066 F031). The combined larger lot, now 42 Collins St, was sold the same year to Margaret Helen and Phillip Henry Matheson of Diamond Creek. In 1963 it was sold to Ruth Rose and Patricia Eileen Jack, and in 1973 to Richard Eric Fagan (CT V8102 F135).

### **Description & Integrity**

The property contains a small weatherboard clad building with two intersection gable wings forming a T-shaped building. It is assumed that each wing contains a room with the front wing being the larger of the two. The roof, which is clad in corrugated metal sheet has deep eaves. The gable ends have decorative bargeboards and timber finials and a rectangular



louvred vent in the ends. Given the size of the building it is more than likely that this was the purpose built meeting room and hall described in the history. The front gable end contains a narrow timber framed double hung window and the north end gable also contains a timber framed double hung window. There is a later skillion roofed addition at the rear which is clad in weatherboards. There are double picket gates at the front of the property and the rear of the site is heavily treed.

### Comparative Analysis

As a purpose built Manchester Unity Independent Order of Oddfellows Lodge, this is a distinctive historical building, in the Shire of Nillumbik with no other surviving examples known to exist.

In a broader sense historically, the former lodge can be compared to other meeting places and halls in the Shire of Nillumbik, such as those of the Freemasons lodges, Mechanics institutes or similar voluntary associations. It can also be compared ~~asethetically~~aesthetically to other Edwardian era weatherboard public buildings such as halls and churches in the Shire that often adopted a small scale rectangular form with gables and period timber detailing.

Examples of meeting halls of voluntary associations and meeting halls on the HO include:

- HO248 Plenty Hall, Plenty Heritage Park 2-6 Memorial Drive Plenty. Constructed 1930-31, additions 2010.



Image source: Context May 2021.

- HO60 Hurstbridge Uniting Church & Hall 1006 Heidelberg-Kinglake Rd, Hurstbridge







- St Andrews Hall, 79 Burns Street St Andrews. Edwardian Hall considered in Nillumbik Heritage Review Stage A.



Image source: Hermes Orion. Hermes number 63464

- Mechanics Institute, 906 Arthurs Creek Road Arthurs Creek. Being considered for HO in Nillumbik Heritage Review Stage B.



### Assessment Against Criteria

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.

**CRITERION A:** *Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).*

The building has historical association with the MUOOF, which had its origins in Manchester, England. The MUOOF was established in Melbourne in 1840 when Augustus Greeves, a member of the MUOOF in England, migrated to Australia. The ethos of the movement emphasised brotherly feeling, sociability and mutual responsibility. Members were encouraged to look out for each other, visit the sick, and help each other find jobs and settle into the community. By the late nineteenth century, MUOOF had an extensive network of lodges in metropolitan and country Victoria. The Diamond Creek Lodge of the MUOOF held its first meeting in 1870 with 15 foundation members. The Lodge used the Diamond Creek Mechanics' Institute for events before the building at 42 Collins Street was constructed.





The small block on which the building sits was purchased in 1906 by Richard Wadeson, Andrew Burgess Herbert and Patrick John Sheahan, all orchardists of Diamond Creek, for the purpose of establishing a meeting room for the Loyal Diamond Creek Lodge Manchester Unity Independent Order of Oddfellows. From at least 1908, the building on the site was used for meetings and lectures and operated as such until 1949.

It is of historical significance as an example of a mutual or 'friendly society' hall, in this case of the Manchester Unity Independent Order of Oddfellows (MUIOOF).

*CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).*

The former Loyal Diamond Creek Lodge Manchester Unity Independent Order of Oddfellows is of significance as a rare building type with no other examples known to exist in the Nillumbik Shire.

*CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).*

*CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

The former Loyal Diamond Creek Lodge is a substantially intact picturesque weatherboard building retaining its original form of two intersecting gable wings and retaining original fine timberwork details such as the timber framed double hung windows, gable end louvred vents and the decorative gable end bargeboards with finials. The building is an unusual building type and this is demonstrated by its form and small scale.

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).*

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).*

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance).*





### Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

#### Recommended HO Extent



Proposed Extent for 42 Collins Street, Diamond Creek

<b>External Paint Controls</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	No
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	No
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	Yes
<b>Aboriginal Heritage Place</b> <i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No

### References

*Advertiser (Hurstbridge), as cited.*

*Age, as cited.*

Australian National University Archives (ANUA) 2012 *Manchester Unity Independent Order of Oddfellows*





*Evelyn Observer and Bourke East Record (EO&BER)*, as cited.

Graeme Butler & Associates 1996 'Nillumbik Shire Heritage Study Stage 1, Review, Heritage Survey and Environmental History', prepared for Nillumbik Shire Council.

*Heidelberg News and Greensborough and Diamond Creek Chronicle (HN&G&DCC)* as cited.

Land Victoria, Certificates of Title (CT), as cited.

*Mercury and Weekly Courier*, as cited.

Nillumbik Parish Plan 1872

Shire of Heidelberg Greensborough Riding Rate Books (RB), as cited.

Edith Louisa Hooghly Smith, Will and Probate Papers, File 471/053, VPRS 28/P4 Unit 650

School of Historical & Philosophical Studies, The University of Melbourne 2008, eMelbourne - the city past and present, *Friendly Societies* by Elizabeth Willis, <https://www.emelbourne.net.au/biogs/EM00614b.htm>, accessed online 9 February 2017 and 1 February 2022

Elizabeth Willis, 'Friendly Societies', entry in *eMelbourne the city past and present*, School of Historical & Philosophical Studies, the University of Melbourne, 2008, <http://www.emelbourne.net.au/biogs/EM00614b.htm> accessed 9 February 2017 and 1 February 2022

Willis, Elizabeth, 'Friendly Societies' in Brown-May and Swain (eds.) 2005 *The Encyclopedia of Melbourne*, Cambridge University Press, New York



Response No:  
3

Details

130 Laughing Waters Road,  
Eltham. Stage B - 09  
Support with proposed changes



**130 Laughing Waters Road, Eltham**

Prepared by: Trethowan Architecture

**Address:** 130 Laughing Waters Road, Eltham

<b>Name:</b> Riverbend, formerly Tilwinda	<b>Survey Date:</b> 11 March 2022
<b>Place Type:</b> Residential	<b>Designer:</b> Alistair Knox
<b>Grading:</b> Individually Significant	<b>Builder:</b> Alistair Knox
<b>Extent of Overlay:</b> To extent shown	<b>Construction Date:</b> 1968

**Historical Context**

Eltham, situated in hilly country northeast of Melbourne, is located on the country of the Wurundjeriwillam clan of the Woi wurrung, one of the five tribes of the Kulin Nation. A plan for fifty allotments in the Township of Eltham, Parish of Nillumbik, was announced in 1848, with the name officially gazetted in 1851. The township, near the junction of the Diamond Creek and the Yarra River, was laid out an area bounded by Baxter Street, Diamond Creek, Dalton Street and Bolton Street. This area is known today as Eltham South. Present-day Eltham, however, was not established on the township reserve, where land proved difficult to sell. Instead, the town grew from allotments in Section IV of the Parish of Nillumbik located on Main Road, to the north of Dalton Street and the township reserve (Butler 1996:32). The township grew during the 1850s around a cluster of buildings at the corner of Pitt Street and Main Road within the Little Eltham subdivision. Located on the road to the Caledonian Diggings, this small township became a service centre for the surrounding mining areas, and by 1854 supported a population of 282. In this period Eltham had two hotels, a brewery and tannery on Diamond Creek. Several public buildings and institutions, including a police station, Wesleyan chapel, a Church of England School and a National School, were established in the 1850s -70s (Context, 2020:1).





Between the 1860s and the 1880s, Eltham supplied food and produce for the gold-mining communities of the Caledonian Diggings at Queenstown (St Andrews) and Panton Hill. It also became a stopping place on route to the Woods Point diggings. Eltham's population grew in response. In 1871, the town's population was 165 and by 1881 this had increased to 388 (Victorian Places 2015). Several large properties surrounding the township had absentee owners, who subdivided their properties into smaller farms either for lease or sale. The smaller properties, especially in the Little Eltham township, were run by farmers who often made a modest living as wage labourers. Like many later Eltham residents, they were attracted by cheap land and the country life (Butler 1996:33).

The railway was extended to Eltham opened in 1902, which brought excursionists from Melbourne, many of whom picked wattle during the flowering season, and focused development of the Eltham township around the railway station. Eltham was a picturesque village with the advantage of its proximity to metropolitan Melbourne as well as to attractive countryside with farms and uncleared stringybark forest (Victorian Places 2015). The attractive bush scenery attracted artists, writers and nature-lovers. The landscape painter Walter Withers (1854-1914) moved to Eltham in 1902 when the railway opened; others artists, including members of the Heidelberg School, painted in the area in the open air. Clara Southern and May Vale, landscape painters and students of Frederick McCubbin, settled in the region. Vale resided at Diamond Creek and Southern at Warrandyte (Bartolomei 2008). The war artist Will Longstaff also lived in Eltham for a period. Artist Justus Jorgensen established the notable Montsalvat artist's colony buildings, on land he purchased in 1934. Seeking a closer engagement with the natural environment, the establishment of Montsalvat, with its adobe and rammed earth buildings, influenced future mud brick construction in the area. Several local architects and designers, including Alistair Knox, specialised in mud brick housing in the postwar period (Victorian Places 2015). Others who have been inspired by Eltham and have made the region their home include landscape architect Edna Walling, authors Alan Marshall and Carolyn Van Langenberg, artists Clifton Pugh and Danila Vassilieff; composers and musicians Graeme and Roger Bell; jewellers and sculptors Michael Wilson, Simon Icarus Baigent and Matcham Skipper; writer CB Christensen; poet Chris Wallace-Crabbe; and actress Kerry Armstrong (Bartolomei 2008; Pierce 1987:354).

Eltham experienced significant postwar development with a number of residential estates subdivided and put up for sale. The population of the town increased from 927 in 1933, to 1278 in 1947, to 7177 in 1971. As a result, Eltham High School opened in 1950 and the Catholic Ladies College was relocated to Eltham in 1971 (Victorian Places 2015). The Eltham War Memorial Trust Baby Health Centre opened in 1951. New shire offices opened in 1965, and Eltham College commenced classes in 1974 (Eltham District Historical Society 2000:np).

A distinctive style in local building emerged in Eltham in the postwar period, with a strong use of natural materials, low form structures, and an integration with the natural environment and the preference for bush gardens, especially after the 1970s. The Eltham Library, designed by architect Greg Burgess, was constructed in mud brick and recycled timbers and received the RIAA Institutional Architecture Award in 1995 (Bartolomei 2008).

The Shire of Eltham became part of the Shire of Nillumbik in 1994, with a small area becoming part of the City of Banyule.

## **History**

Riverbend was designed in 1968 by Alistair Knox, for Rosemary and Bill Cuming, who had purchased the land not long before (Woollard 2016:226; Figure 1). Bill Cuming was an



engineer, whose work had earlier taken him, Rosemary and their young family to Colmar in France. Following the construction of the home, Rosemary Cuming hand laid the brick paving in a distinctive shell pattern based on paving she had seen in Colmar (Woollard 2016:226). Other landscaping elements, including the stone bench and stairs, evidently made from salvaged building parts, date to the Cuming's time. The cast iron stove in the kitchen was brought to the site from Rosemary's sister's home in Wattletree Road, Armadale (Woollard 2016:226). Bill and Rosemary later sold the site due their relocation to America.



Figure 1: The house during construction c1968, showing its timber framing. Source: Cuming family, pers. Comm., January 2022.





Figure 2: The house, c1970, during the Cuming's ownership. Note the stairs, paving and stone bench. Source: Cuming family, pers. Comm., January 2022.

Max and Tini Huygens, who had migrated with their family from The Netherlands following WWII, purchased the home in 1975. The family named the site Tilwinda, which was thought to have been derived from an Aboriginal word translated as 'hole in a rock' (Woollard 2016:227). Tini Huygens had been an Olympic high jumper and discus thrower for The Netherlands in 1936, while Max was an importer who brought, amongst other things, Sirena Tuna, La Gina tomatoes and Bisleri soft drinks to Australia through his business (Woollard 2016:227). The Huygens were responsible for further work on the house, including the construction of an open carport to the west, and a workshop to the east (Woollard 2016:228). Tini Huygens died in 1981, however Max stayed at the property until 2000 (Woollard 2016:230).

The house was later sold to Parks Victoria. In 2008, the Laughing Waters Artist in Residency program began using the site as a retreat. The open carport was removed in late 2021 following damage, and the house was restored at the same time to further accommodate use by an artists' residency program.

### Description & Integrity

130 Laughing Waters Road is located on the south side of the street, directly adjacent to the Yarra River. The site slopes down towards the river, with the house placed on a clearing in the land that provides an expansive view over the river and valley. The block is otherwise heavily vegetated.

The house at 130 Laughing Waters Road, Eltham, is a modestly sized single storey brick veneer building with flat, metal clad roof. The floorplan is arranged on an east-west axis, however follows a slight curve, with the concave of the curve to the north (Figure 3). This allows the convex of the curve to face the river to the south. The mid-toned bricks are recycled from other sites in Melbourne.





Figure 3. A view of the house from the west, showing the curve of the house. Source: Trethowan Architecture 2022.

The building is simply detailed. To accommodate the curve of the building, the north and south facades are broken into bays that are separated by engaged brick columns. Between these columns are arrangements of timber doors and windows (Figure 4). Some windows, such as those to the kitchen, are set higher above sections of brick walls. The roof is supported by exposed dark-stained timber rafters, with similarly stained timber fascia boards.



Figure 4: The south of the house, showing how the sets of doors and windows are set between brick columns. Note the stained fascia, shell pattern brick paving and bluestone bench (highlighted in red). Source: Trethowan Architecture 2022.

A further single storey storeroom is built adjacent to the house on the eastern side. This



section uses similar recycled bricks to the main body of the house and continues the exposed rafters. The north wall of this room is finished in vertical stained timber boards.

An expansive terrace to the south of the house has brick paving in a shell pattern. A set of bluestone stairs lead down from this terrace to the river, with the treads made from bluestone blocks with dressed edges which appear to be former windowsills or door thresholds/lintels from a Victorian era building(s) (Figure 5). A simple stone bench on the terrace is made from similar bluestone. Bluestone sills and lintels are evident in the landscaping elsewhere around the site.



Figure 5: A view of the bluestone garden stairs. Source: Trethowan Architecture 2022.

### Comparative Analysis

Although Postwar modernism had taken off across the suburbs of Melbourne, the Eltham and Warrandyte areas saw an alternative form of architectural experimentation. Mills and Westbrooke write that

*the trend was characterised by an acceptance of the characteristics of the site, including the local bush, topography and geology and an attempt to blend and adapt to these conditions through building form and siting, choice of materials and landscape approach. The best-known spokesperson for this trend, Alistair Knox, gave it the label 'Australian environmental building' (Mills and Westbrooke 2016: 78)*

The style that developed, often referred to as 'the Eltham Style' or 'the Warrandyte Rustic', was characterised by its use of honest, natural materials including mud bricks, local stone and expressed structural timber. Recycled materials were often utilised in construction (Mills and Westbrooke 2016: 78).



Alistair Knox was a prolific builder and designer who is widely associated with developing the style, and for his contribution to the built environment in the Shire of Nillumbik. Mills and Westbrooke further note that

*inspired by his visits to Montsalvat in the early 1940s and, after the war, he studied building at the Melbourne Technical College. Knox's early work in Eltham falls into two main categories: simple rectilinear forms, which were the basis for most of his work up to the 1970s, and a first flush of complex exploratory designs ...*

*By the mid-1960s Knox had become something of an industry in his own right. A 1966 article indicates he had already built over one hundred houses since 1946. In this period he was increasingly mining a rich vein of high quality materials from the nineteenth century buildings then being demolished in the city. His Glover house in Eltham was built by Dutch immigrant builder Pieter Hellemons using recycled bricks and timber. The property was also graced with a 'natural rock and bush' garden design by Gordon Ford (Mills and Westbrooke 2016:79-80).*

The subject site, designed by Alistair Knox, bears key characteristics of his work. Although Knox was a prolific builder and designer in the Shire, only a handful of examples of his work are represented on the Heritage Overlay. Comparative examples completed by Alistair Knox include:

- The Periwinkle House, 54 Batman Road, Eltham (HO11)
- The Pittard House, 430 Mount Pleasant Road, Research (HO139)



The Periwinkle House, 54 Batman Road, Eltham (HO11) Source: VHD



The Pittard House, 430 Mount Pleasant Road, Research (HO139) Source: VHD

The Periwinkle House at 54 Batman Road, Eltham, is a curved mudbrick house built in 1948 to a design by Alistair Knox. The house is significant as one of the first mudbrick houses constructed in Eltham, and the first curved wall house designed by Knox. The modest size is characteristic of Postwar development in the Shire.

The Pittard House at 430 Mount Pleasant Road, Research, is a substantial mudbrick home built between 1978-1979. The house features a large sweeping curved wall, and many recycled materials. The house is considered a good example of Knox's later work.

While the subject site does not use mudbrick construction like these examples, it compares well for its use of a curved wall that dominates the floor plan. As the subject site was built in 1968, it sits between the two examples (1948 and 1978-9, respectively), and demonstrates Knox's continued interest in curved forms throughout his body of work. Like the comparative examples, the site bears characteristics of Knox's work including the use of recycled materials and carefully selected bush settings. The subject site is distinguished from these examples by its use of recycled brick materials. Overall, the site compares well as a well-designed, modest example of Knox's work during the 1960s. The house is also distinguished by its expert positioning on a dramatic, vegetated block above the Yarra River, which expresses the ideals of the Eltham Style.





### Assessment Against Criteria

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.

*CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).*

The house at 130 Laughing Waters Road is associated with the historical period of post-war growth and experimentation in the Shire that occurred as postwar subdivisions were taken up and attracted Modernist architects and designers such as Alistair Knox to the area. It demonstrates the 'environmental building' style of Knox as part of this movement.

*CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).*

*CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).*

*CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

The house at 130 Laughing Waters Road is a significant example of a well-designed, modestly sized house constructed in the Shire during the late 1960s and designed by Alistair Knox. The house's curved floorplan and use of recycled materials, in this case brick, are characteristics of Alistair Knox's work, and the type of architecture being promulgated in Nillumbik at the time. The house's expert positioning on a dramatic, heavily vegetated sloping block above the Yarra River substantially enhances the aesthetic quality of the place.

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).*

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).*

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance).*





## Statement of Significance

### *What is Significant?*

The house at 130 Laughing Waters Road, Eltham, designed and constructed in 1968 by Alistair Knox for the Cuming family, is significant.

Elements that contribute to the significance of the site include:

- The original form of the building, with slightly curved floorplan and flat roof
- The slightly later room added to the east by the Huygens family
- The recycled brick walls
- Timber framed doors and windows
- The landscaping elements created by the original owners, including brick paving, bluestone bench and garden staircase
- The setting of the house, high above the river in a densely vegetated landscape

### *How is it significant?*

The house at 130 Laughing Waters Road, Eltham, is of aesthetic significance to the Shire of Nillumbik.

### *Why is it significant?*

The house at 130 Laughing Waters Road is historically significant for its association with post-war growth and experimentation in the Shire that occurred as postwar subdivisions were taken up and attracted Modernist architects and designers such as Alistair Knox to the area. It demonstrates the 'environmental building' style of Knox as part of this movement. (Criterion A).

The house at 130 Laughing Waters Road, Eltham, is aesthetically significant to the Shire of Nillumbik as a well-designed, modestly sized house designed and built by Alistair Knox during the late 1960s. The curved floor plan, recycled materials and landscaping demonstrate the characteristics of Knox's work, and more generally the type of architecture that was being promulgated in Eltham at the time. This type of refined yet rustic architecture has since become associated with the Shire of Nillumbik. The house is carefully and expertly positioned in a clearing on a block that dramatically slopes down to the Yarra River, which substantially enhances the aesthetic quality of the place. Original landscaping elements, including the brick paving and use of recycled bluestone, also contribute to the aesthetic significance of the place and demonstrate the importance of connecting with the outdoors evident in Knox's work. (Criterion E)





### Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>External Paint Colours</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	No
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	No
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	No
<b>Aboriginal Heritage Place</b> <i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No

Extent of proposed HO:



**Identified By**  
Trethowan





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Response No:  
4

Details

162 Murray Road , Diamond Creek

Stage B - 28

Objection



**Greet**

Prepared by: Trethowan Architecture

**Address: 162 Murray Road, Diamond Creek**

<b>Name:</b> Greet	<b>Survey Date:</b> February 2022
<b>Place Type:</b> Residential; Farming	<b>Architect:</b> NA
<b>Grading:</b> Significant	<b>Builder:</b> Unknown
<b>Extent of Overlay:</b> To title boundaries	<b>Construction Date:</b> c.1890-1926

**Historical Context**

Although Crown Land in Nillumbik Parish was offered for sale in 1852 there were few buyers. A government township was reserved on the west of the Diamond Creek at this time but it was neither subdivided nor sold until 1866. In 1863 the Diamond Reef was discovered on land located to the east of the creek, which was purchased by Dr John Blakemore Phipps in 1854. The rush to Diamond Creek began and soon Phipps was renting sections of his land, which he later subdivided to miners. In effect the development of Phipps land for gold mining was the beginnings of Diamond Creek, which was soon bustling with gold seekers. In 1866 the government proclaimed Diamond Creek as a township. Many of the important community buildings were established by the late 1860s



and early 1870s. These included a post office, a Methodist church and school and three hotels (Barnard, 2008). In 1870, a national school was established (Edwards, 1979:118).

By the second half of the 1880s the locality was being carved up rapidly into a dominant pattern of numerous small lots of around 20 acres. These were taken up under occupation licenses, first under Section 49 of the Land Act 1869 and later under Section 65 of the Land Act 1884. Diamond Creek's population peaked around the turn of the century then seemed to fall away again in the early twentieth century (Graeme Butler & Associates 1996:36). From 1885 onwards, the rural landscape of the area also inspired many artists to work in Diamond Creek and its surrounds, and the scenery of the area was captured in the works of the Heidelberg School painters (Edwards, 1979:143).

In 1912, the Eltham Railway Line was extended to Hurstbridge through Diamond Creek, bringing tourists to this area. Despite this, Diamond Creek remained a rural township concentrating on the orchard industry throughout the first half of the twentieth century, without much new industries to offer alternative employment opportunities. As such, the area entered a period of population decline (Edwards, 1979:177). This began to change in the 1960s and 70s, as, affordable land on subdivided orchards and accessibility to railway networks attracted young families to build their homes in the area, prompting further population growth in Diamond Creek (Barnard, 2008).

## History

The property now known as 162 Murray Road, Diamond Creek is made up of two lots known as Lot 46J and Lot 46C.

An 1893 plan of Greensborough Parish shows a 20-acre Lot 46C. The owner is not shown on the 1893 plan, but was presumably the W. Pearl shown on a 1905 parish plan ('Greensborough, County of Evelyn', T.F. McGauran, 1893, Department of Lands and Survey Melbourne, SLV Map Collection. Nillumbik, County of Evelyn, 1888, J. Noone, Department of Lands and Survey, Melbourne, SLV map collection).

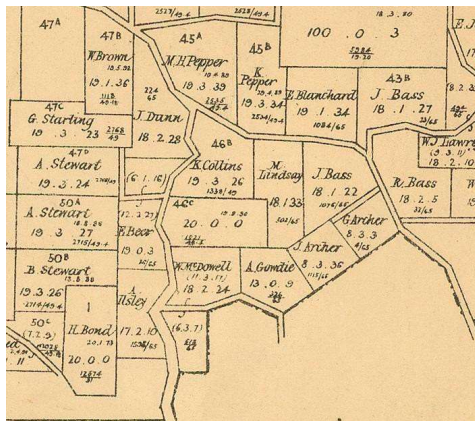


Figure 1: 1893 Greensborough Parish Plan

Lot 46J covering 13 acres was taken up in 1888 by Adam Gowdie (Greensborough, County of Evelyn', T.F. McGauran, 1893, Department of Lands and Survey Melbourne, SLV Map Collection). Adam Gowdie was a boot-maker with a house and shop in Diamond Creek township from the mid-1880s (EO&S&EBR 24 April 1885:2; 2 October 1885:2; 23 September 1898:2). The original weatherboard cottage at 162 Murray Road was possibly constructed in the 1890s under Gowdie's ownership.





In 1917 a discharged soldier, Herbert Tait, applied for the purchase of the 13- acre Lot 46J. The land included 11 acres that had been cleared, 8 of which were "orchard bearing". By this stage it was noted that a house of 6 rooms with enclosed veranda, stables and sheds was on the site and in poor condition, "having been built of old material & rooms put on at different times". This indicates that some of the house was likely to date to Gowdie's ownership. The Board decided in January 1918 that the property did not meet its requirements (Department of Crown Lands and Survey File LS28166, VPRS 5714, Consignment P0, Unit 2516).

In the same year another returned soldier, Ernest Albert Johns, applied for a qualification certificate in order to acquire land under Section 20 of the Closer Settlement Act 1915 as varied by the Discharged Soldier Settlement Act 1917. Johns expressed an interest in acquiring an orchard holding of 15 to 20 acres (Department of Crown Lands and Survey File LS28166, VPRS 5714, Consignment P0, Unit 2516). Under the scheme, many soldier settlers were settled on estates opened or acquired specifically for the purpose, and others were accommodated within existing closer settlement estates.

However, a returned soldier with a certificate could also apply for a farm in a district he chose, perhaps near relatives or friends, which the Closer Settlement Board could then purchase on his behalf subject to an assessment of the land's viability (Nelson and Alves 2009:302-3). Private Johns, now 30, had served in Egypt and at Gallipoli in the 8th Light Horse Regiment and was discharged in 1916. Prior to the war he had worked for 12 years in orchards in the Quantong area (Department of Crown Lands and Survey File LS28166, VPRS 5714, Consignment P0, Unit 2516; AIF Project 2022).

Ernest Johns married Muriel Kate Manners in 1917 (BDM Ernest Johns). In March 1918 Ernest's mother-in-law Nina Manners purchased Lot 46J, evidently with a view to Ernest applying to purchase it from her through the scheme. Johns immediately set to work on the existing orchard there, and also planted new trees and tomatoes. He was keeping chickens and had acquired a horse and farm equipment. On this basis Johns and Manners asked the Board to reconsider the viability of the property. The Board stipulated that the adjoining forested 20-acre Lot 46C needed to be purchased and combined for it to be viable. The Closer Settlement Board authorised the purchase of both lots in April 1919, and by 1920 they were purchased for the Crown. The 33 acre combined lot was re-labelled Lot 46C (Department of Crown Lands and Survey File LS28166, VPRS 5714, Consignment P0, Unit 2516).

In 1923 the Board's inspector found Johns' land was unoccupied. Winter work in the orchard had not been done and the house was empty. Conditions of the lease required that the land be occupied for 8 months of the year, however Johns claimed that he was planning to move his family to the land when the house was repaired. A sheet of architectural drawings on the Lands Department file details repairs and renovations to the 6-roomed weatherboard house, which it appears, took place before 1926.



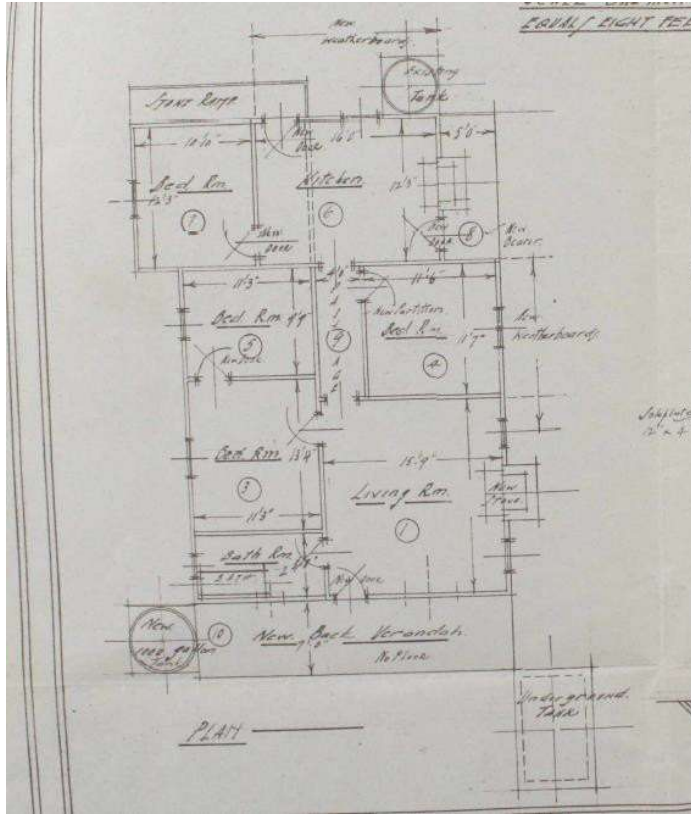


Figure 2: Architectural plans of changes to the existing residence at 162 Murray Road for Ernest Johns from the Lands Department file.

Things must not have improved, for in 1926 the lease was declared void (Department of Crown Lands and Survey File LS28166, VPRS 5714, Consignment P0, Unit 2516). By 1927 the fruit trees had been dug out, and the Closer Settlement Board decided the land was unsuitable for Closer Settlement purposes. The property was put up for sale and was described in the advertisement as "ten acres of orchard in poor condition, [weatherboard] house (good) 6 rooms, bathroom, back verandah and underground tank, two sheds, two 1000-gallon tanks, small dam. Balance of land partly cleared. Timber suitable for firewood." The land was purchased on a lease arrangement from the Crown by Richard John Larking (*Advertiser* (Hurstbridge) 29 April 1927:2; Department of Crown Lands and Survey File LS28166, VPRS 5714, Consignment P0, Unit 2516. Greensborough Parish plan).

Shortly afterwards it was transferred to Alma Rose Murray (CT V5948 F471). Alma Murray named her property 'Greet' (*Advertiser* (Hurstbridge) 1 September 1939:3; *Argus* 28 May 1940:4). Alma Murray died in 1940, after which her estate was administered by her elder son Leslie St. Quinton Murray (CT V5948 F471; *Argus* 26 June 1940:12). The land was purchased by the Scott family in 1944, and was later subdivided in 1973 (CT V5948 F471; CT V8972 F453).

### Description & Integrity

This site contains a timber framed and weatherboard clad residence that has been extended to the rear a number of times. What appears to be the earliest section, built c1890 is clearly distinguishable at the front of the residence and appears to be substantially intact.





It has a main hipped wing running east west and a perpendicular gable wing at the west end. The west end gable roomed wing has a central door and double hung window either side on the west elevation. This side entry was a later change made for Soldier Settler Ernest Johns. A verandah runs across the front and terminates at the west wing and has been partially filled in.

There are timber additions to the rear and east of the residence. Each new addition appears to have a new roof form, therefore providing separation from the original building.

There are sheds at the east end of the property. These are likely to be the stables and sheds described in 1917. They are of rudimentary timber pole construction with corrugated iron cladding.

### **Comparative Analysis**

The erection of houses outside the main town areas of Nillumbik appeared to be slow in the late nineteenth and early twentieth century, as dwellings were usually only required when land was taken up for farming or other agricultural pursuits. Reflecting the nature of the small-scale farm holdings that characterised the agricultural economy of Nillumbik at this time, houses often demonstrated frugality in their construction. In many cases, farmhouses were modest timber structures that reflected vernacular styles and placed less focus on stylistic elements. Some farmhouses demonstrate incremental development as rooms were added or altered over time. This vernacular style was not limited just to farmhouses in Nillumbik. Smaller workers' houses in the town areas were often erected in a similar style, similarly reflecting the more modest economic status of many residents of the area. As such, this style of housing is evident in both the suburban and rural areas of the Shire.

This property is also a well-documented example of soldier settlement activity in the area following World War I. The fact that this soldier did not make good on the land is highly representative of the scheme as a whole in terms of failure. The amalgamation of small lots is representative of how a proportion of soldier settler farms were created in this region in particular.

Similar comparative examples of simple timber homes in the Shire include the following:

- Pizzey House, 29 Main Street, Diamond Creek (HO225)
- Farm and Orchard Complex, 265 Ninks Road, St Andrews (HO237)
- Yarra Vale, 188 Mount Pleasant Road, Eltham (HO137)
- Hillside, 23 Glen Park Road, Eltham North (Recommended as individually significant in Shire of Nillumbik Advisory Consultant Services: Nillumbik Shire Stage A 2021)





Figure 3. Pizzey House, 29 Main Street, Diamond Creek (HO225)



Figure 4. Farm and Orchard Complex, 265 Ninks Road, St Andrews (HO237)



Figure 5. Yarra Vale, 188 Mount Pleasant Road, Eltham (HO137)



Figure 6. Hillside, 23 Glen Park Road, Eltham North (Recommended as individually significant in Shire of Nillumbik Advisory Consultant Services: Nillumbik Shire Stage A 2021)

The c1904 house at 29 Main Street is considered to be one of the earliest in the Diamond Creek township. While primarily associated with Alfred Pizzey, a locally important industrialist, the house demonstrates the simple vernacular timber buildings erected in the Shire during the nineteenth and early twentieth centuries.

The farm complex at 265 Ninks Road comprises a group of pre-1940 buildings and exotic planting. The place is noted for its historical and associative significance with the Nink family, who had been locally prominent. The buildings display various changes over time and demonstrate the practical nature of construction on agricultural properties in the Shire before WWII. Remnants of a substantial ornamental garden also remain on the site.

Yarra Vale at 188 Mount Pleasant Road, Eltham, is a c1894 timber cottage with gable roof and rear skillion wing. This form aligns with the type of modest vernacular cottages that were erected across Victoria in the nineteenth and early twentieth centuries. The house is noted as being historically and aesthetically significant as a rare surviving example of this style of housing within the Shire.

Hillside at 23 Glen Park Road is a c1914 timber house that demonstrates the simple vernacular style of construction prevalent in the Shire during the period. The house features three parallel gable roofs and a distinct lack of ornamentation or detailing usually associated with houses constructed at a similar time.

Similar to these examples, the subject site shows how residents of modest means in the Shire relied on simple vernacular building forms that were easily constructed using readily available materials. Key characteristics that unite these examples include the timber





construction, use of simple gable roof forms, and an absence of unnecessary ornamentation. Although similar to the houses at 29 Main Street and 188 Mount Pleasant Road due to their modest size and construction, both of these houses use a more traditional cottage form of a gable roof with rear skillion section rather than the irregular form of the subject site. In that sense, the subject site is more similar to the homes at 265 Ninks Road and 23 Glen Park Road. Overall, the subject site demonstrates the main characteristics of modest housing erected in the Shire during the nineteenth and early twentieth centuries.





### **Assessment Against Criteria**

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.

*CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).*

The house at 162 Murray Road Diamond Creek is significant as an early modest farm property that remains legible in its form and setting. The house is also significant for its historical association with the Soldier Settlement Scheme, with alterations carried out by the unsuccessful soldier settler evident in the c.1923-6 extension and alterations.

*CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).*

*CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).*

*CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

The house at 162 Murray Road Diamond Creek is significant for its ability to demonstrate the type of modest, easily constructed vernacular homes that were erected in the Shire of Nillumbik during the nineteenth and early twentieth centuries. Key characteristics of this type of housing evident at the site include the timber construction, simple gable roof forms, and lack of ornamentation.

*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).*

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).*

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance).*

### **Grading and Recommendations**

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:





<b>External Paint Colours</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	No
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	No
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	No
<b>Aboriginal Heritage Place</b> <i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No

**Identified By**

Peter Mills and Samantha Westbrooke, Trethowan





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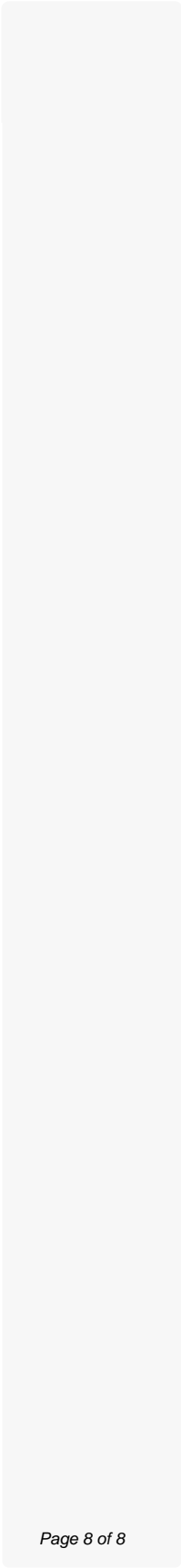
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Response No:  
5

**Details**  
61/61A York Street, Eltham.  
Stage A - 07  
Objection





61 & 61A York Street, Eltham

Macmahon Ball House and Study

<b>Prepared by:</b> Context	<b>Survey date:</b> April 2021
<b>Place type:</b> Residential	<b>Designer:</b> Alistair Knox (1948 mudbrick study and 1959 extension), John Harcourt (c1948 pise house)
<b>Significance level:</b> Significant	<b>Builder:</b> Alistair Knox, Sonia Skipper, Peter Glass
<b>Extent of overlay:</b> To title boundaries	<b>Major construction:</b> 1948 (mudbrick study), c1948 (pise house), 1950 (pottery studio) 1959 (extension)



Figure 1. 61 York Street, Eltham. (Source: T Knox nd, Alistair Knox Foundation)



Figure 2. 61 York Street, Eltham (viewed from North). (Source: Nearmap 2020)



## HISTORICAL CONTEXT

This place is associated with the following historic themes taken from the *Nillumbik Shire Thematic Environmental History* (2016):

### 6 BUILDING TOWNS AND SHAPING SUBURBS

#### 6.4 Postwar growth and experimentation

*Paralleling the activity of the Modernist architects, another more prolific experiment in residential building was germinating in the Eltham-Warrandyte area. The trend was characterised by an acceptance of the characteristics of the site, including the local bush, topography and geology and an attempt to blend and adapt to these conditions through building form and siting, choice of materials and landscape approach. The best-known spokesperson for this trend, Alistair Knox, gave it the label 'Australian environmental building'. (Mills & Westbrooke 2016:78)*

*Externally the Warrandyte Rustic or Australian Environmental Building style was distinguished by use of a palette of honest natural materials including earth in the form of pisé and mud brick, local stone, expressed structural timber, vertical varnished boards for cladding and corrugated iron, slate or shingle roofs. Recycled materials including timber and brick were also popular. Of all these materials earth and especially mud brick, would become the most ubiquitous in the Nillumbik area. The materials for mud brick were free and usually available on the owner's property. Mud brick building was better suited to the large semi-rural house sites common in the area, which had ample space for drying bricks and for using farm machinery to help in making and moving them. Owner-builders generally had great difficulty getting home loans in the early postwar period and use of labour-intensive mud brick as a major component could compensate for lack of capital. There was also an ideological and aesthetic element in the choice of this material that appealed to the increasing population of artists and academics who were drawn to the area. 'Amongst the artistic and literary community in the bush, the participatory hands-on nature of mud brick construction evoked the noble ideals of the Arts and Crafts movement.' (Mills & Westbrooke 2016:78)*

*From the early 1940s John Harcourt, who had settled in Eltham in the 1930s, constructed a number of residences in the area in pisé and mud brick. In 1941 his wife was the main driving force in building a mud brick house on the banks of Diamond Creek. Material for the mud bricks came from the excavation of the hillside for footings and the reinforcing straw also came from the property. This may have been the beginnings of the two-storey house Clay Nuneham in Stanhope Street, Eltham (completed around 1950) (HO165). The Harcourts held large New Year's Eve parties in this house in the 1940s and 50s. (Mills & Westbrooke 2016:79)*

*Harcourt also sold a number of pisé or mud brick house-and-land packages on land he had purchased and possibly also re-subdivided, in the interwar Handfield's subdivision in Eltham (also known as The Hill). The pisé Langi Dorn (HO55), the stone, brick and slate roofed Florrie's Cottage (HO37) and the mud brick Rocknall (HO36) may be part of this group. Miles Lewis suggests there were at least eight pisé or mud brick houses by Harcourt in the locale and describes the style as*



*'English cottage character'. Harcourt left the area in the 1950s. (Mills & Westbrooke 2016:79)*

*Sympathetic treatment by the shire council was another vital element in the rise of earth building. Justus Jorgensen and John Harcourt dealt with a shire secretary who approved building applications without consulting council, provided the plans 'complied with general building regulations' (Cuffley 1993, p. 130). When Knox started his first house the council was starting to review such applications. It was opportune that at this time GF Middleton of the Commonwealth Experimental Building Station had just published a pamphlet titled 'Earth Wall Construction', which Knox was able to distribute to councillors before they considered his permit. Subsequently, Knox observed, the shire adopted 'a practical commonsense approach to the innovative building proposals'. In 1947 owner-builder in pisé Vyvyan Williams thought himself 'fortunate in choosing a site in the Eltham Shire, considering the attitude to earth building of some municipal councils.' (Mills & Westbrooke 2016:79)*

*Alistair Knox was the most prolific of the mud brick designers and builders in the district. He was inspired by his visits to Montsalvat in the early 1940s and, after the war, he studied building at the Melbourne Technical College. Knox's early work in Eltham falls into two main categories: simple rectilinear forms, which were the basis for most of his work up to the 1970s, and a first flush of complex exploratory designs. (Mills & Westbrooke 2016:79)*

*Knox's first commission in the area, the English house in Godalmin Street, Eltham (1947) was a simple rectangle in plan with a skillion roof supported on long yellow box pole beams. He was assisted by Sonia Skipper, an experienced mud builder from Montsalvat, who worked on a number of Knox's buildings. Subsequent projects increasingly explored the potential of the plasticity and flexibility of mud brick. Knox started three houses in 1948. The McMahon Ball [sic] studio was very simple in form and was the first time he used a reinforced concrete slab base, a practice that would become standard for most of his mud brick buildings. Both the Busst house in Eltham (HO162) and the Holmes house (Periwinkle house) (HO11) were more exotic designs, featuring extensive curved walls in mud brick. On the Dowling/La Gallienne house in Yarra Braes Road (HO172), started in 1949, the owners persuaded Knox to return to a simpler gabled rectangular form for their weekender. He later labelled this use of simple forms as 'the key of all that was to take place during the succeeding years.' (Mills & Westbrooke 2016:79)*

*The Lim Joon house (HO119) (started 1950) in Main Road Eltham was a small single-roomed polygonal dwelling with brick walls. The floor-to-ceiling windows were an advanced architectural feature for this time. On the McClennan house in Ryans Road Eltham (1951), Knox returned to the use of curved mud brick walls, with an imposing two-storey half drum on one corner. The next two stages of the Dowling/La Gallienne house were also adventurous with complex geometry and impressive rooflines. Subsequently, as the price of labour rose, mud brick made sense only for the owner-builder and most of Knox's building commissions would be in more conventional materials, albeit often recycled. (Mills & Westbrooke 2016:80)*



*Alistair Knox was also a very effective spokesperson for the mud brick pioneers. His promotion of the principles of environmental building in a variety of publications would have a lasting influence on perceptions of the Eltham area. Mud brick and Australian environmental building became an integral part of the regional identity. Knox's writings would also ensure that the movement would have a far greater impact Australia-wide than the number of completed houses would indicate. (Mills & Westbrooke 2016:80)*

## LOCALITY HISTORY

Eltham, situated in hilly country northeast of Melbourne, is located on the country of the Wurundjeri-willam clan of the Woi wurrung, one of the five tribes of the Kulin Nation. A small, short-lived reservation south of Eltham on the Yarra River was set aside for Aboriginal people in 1852. The area is situated near the junction of the Yarra River and its tributary, Diamond Creek.

Pastoral settlers moved into the area from around 1840 and took up pastoral leases (Bartolomei 2008). It was located proximate to the track used by the Ryrie brothers to provide access between their 'Yering' run, near Yarra Glen, and the Heidelberg village (Victorian Places 2015). In 1841, William Bell and Thomas Armstrong occupied land for a squatting run east of Diamond Creek in what was to become the Eltham district (Eltham District Historical Society 2000: np).

A plan for 50 allotments in the Township of Eltham, Parish of Nillumbik, was announced in 1848, with the name officially gazetted in 1851. The township, near the junction of Diamond Creek and the Yarra River, was laid out in an area bounded by Baxter Street, Diamond Creek, Dalton Street and Bolton Street. The township plan shows that a track to a bridge across Diamond Creek and Main Road was noted as the 'Track from Melbourne' (Butler 1996:32). This area is known today as Eltham South.

Present-day Eltham, however, was not established on the township reserve, where land proved difficult to sell. Instead, the town grew from allotments in Section IV of the Parish of Nillumbik located on Main Road, to the north of Dalton Street and the township reserve (Butler 1996:32). In 1851, Melbourne property developer Josiah Holloway purchased one square mile (or 5120 acres) of this land, which he subdivided immediately, calling the subdivision Little Eltham. The central area of current-day Eltham is contained within the Little Eltham subdivision. A number of large farming properties around the township were purchased from the early 1850s (*Nillumbik Parish Plan* 1951).

Eltham township grew during the 1850s around a cluster of buildings at the corner of Pitt Street and Main Road within the Little Eltham subdivision. Located on the road to the Caledonia goldfields, this small township became a service centre for the surrounding mining areas, and by 1854 supported a population of 282. In this period Eltham had two hotels, a brewery, and a scattering of shops along Main Road (known in the 1850s as Maria Street). The town had a steam flour mill operated by Henry Dendy, and a tannery was located on the Diamond Creek. The Little Eltham School, opened by the Church of England, was built in 1853 near Swan Street and closed in 1872. A second school, a national school (later Eltham Common School No. 209) opened in Dalton Street in 1856. A Wesleyan chapel opened in 1858. Public buildings constructed at this time included a courthouse and a police station in Main Road in 1860. The 'flat land', which is now the Eltham Lower Park, near the Yarra, was used as a racecourse (Kellaway cited in Butler 1996:32-33; Eltham District Historical Society 2000:np). A cemetery was established in 1858. The township and wider area was administered by the Shire of Eltham, established in 1856.

Between the 1860s and the 1880s, Eltham supplied food and produce for the goldmining communities of the Caledonia goldfields at Queenstown (St Andrews) and Panton Hill. It also became a stopping



place on the route to the Woods Point diggings. Eltham's population grew in response (*Victorian Places* 2015).

A Primitive Methodist chapel was built in 1860. The following year St Margaret's Anglican Church, designed by the notable Melbourne architect Nathaniel Billing, was built. In 1881, a Wesleyan church was constructed by George Stebbing to the design of Melbourne architects Crouch and Wilson (Butler 1996:33). A new state school, constructed of local sandstone, opened in 1876.

Several large properties surrounding the township had absentee owners, who subdivided their properties into smaller farms either for lease or for sale. The smaller properties, especially in the Little Eltham township, were run by farmers who often made a modest living as wage labourers. Like many later Eltham residents, they were attracted by cheap land and the country life (Butler 1996:33).

In 1884 Eltham was described as:

*... a pretty little township on the Yarra Flats road ... It has a population of nearly 400 inhabitants, but in addition it is the centre of a large district extending over 208 square miles, having a population of 2344. The land in the district is mostly used for grazing purposes, although as a rule the small farms grow a good deal of wheat, oats and other agricultural produce. A large quantity of fruit, especially raspberries and strawberries, is also produced (Illustrated Australian News 20 December 1884, cited by Carlotta Kellaway in Butler 1996:33).*

The *Australian News* noted that gold had been found in the vicinity of the township, 'but not in remunerative quantities' (cited by Carlotta Kellaway in Butler 1996:33).

In the 1880s agitation began for the extension of the railway line from Melbourne to Heidelberg to serve Eltham and districts further afield such as Kangaroo Ground. The railway station in Eltham opened in 1902, however the line was never extended to Kangaroo Ground. The railway brought excursionists from Melbourne, many of whom picked wattle during the flowering season, and focused development of the Eltham township around the railway station. Eltham was a picturesque village with the advantage of its proximity to metropolitan Melbourne and to attractive countryside with farms and uncleared stringybark forest (*Victorian Places* 2015). The bush scenery attracted artists, writers and nature-lovers.

In 1903 the *Australian Handbook* described Eltham as part of an orcharding and grazing district. In 1901, 4289 acres were under cultivation, of which 2506 acres were planted with orchards and market gardens. The township, with a population of 377, included a state school, a branch of the Commercial Bank, and Catholic, Anglican, Wesleyan Methodist and Primitive Methodist places of worship (cited in *Victorian Places* 2015). From 1909, rural properties were increasingly subdivided to create residential estates on the outskirts of the Eltham township (Mills & Westbrooke 2017:69).

The electrification of the railway line was extended to Eltham in 1923, eliminating the need to change to steam train at Heidelberg and allowing faster through-trains and shorter commuting times. The establishment of new residential estates in Eltham followed (Mills & Westbrooke 2017:71). Reflecting the town's growth, a higher elementary school was opened in 1926 (*Victorian Places* 2015).

Eltham was described in 1940 as 'residential, horticultural, dairying and grazing ... a beauty spot for artists and picnickers'. By this time, the town had three recreation reserves, swimming baths, tennis courts and a fire brigade (*Victorian Places* 2015).

Eltham has attracted a number of writers and artists over the years. The landscape painter Walter Withers (1854-1914) moved to Eltham in 1902 when the railway opened; other artists, including



members of the Heidelberg School, painted in the area in the open air. Clara Southern and May Vale, landscape painters and students of Frederick McCubbin, settled in the region. Vale resided at Diamond Creek and Southern at Warrandyte (Bartolomei 2008). The war artist Will Longstaff also lived in Eltham for a period. From 1910, painter William 'Jock' Frater and cartoonist Percy Leason often camped and painted in the area. Artist Justus Jorgensen established the notable Montsalvat artists' colony buildings, on land he purchased in 1934. Seeking a closer engagement with the natural environment, the establishment of Montsalvat, with its adobe and rammed earth buildings, influenced future mudbrick construction in the area. Several local designers, including Alistair Knox, specialised in mudbrick housing in the postwar period (*Victorian Places* 2015). Others who have been inspired by Eltham and have made the Nillumbik region their home include landscape architect Edna Walling; authors Alan Marshall and Carolyn Van Langenberg; artists Clifton Pugh and Danila Vassilieff; composers and musicians Graeme and Roger Bell; jewellers and sculptors Michael Wilson, Simon Icarus Baigent and Matcham Skipper; writer CB Christensen; poet Chris Wallace-Crabbe; and actor Kerry Armstrong (Bartolomei 2008; Pierce 1987:354).

Eltham experienced significant postwar development with a number of residential estates subdivided and put up for sale. The population of the town increased steadily as a result. In 1933, only 927 residents were recorded in the town in 1933; this had increased to 7177 residents in 1971. As a result, Eltham High School opened in 1950 and the Catholic Ladies College was relocated to Eltham in 1971 (*Victorian Places* 2015). The Eltham War Memorial Trust Baby Health Centre opened in 1951. New shire offices opened in 1965, and Eltham College commenced classes in 1974 (Eltham District Historical Society 2000:np).

A distinctive style in local building emerged in Eltham in the postwar period, with a strong use of natural materials, low form structures, and an integration with the natural environment. Houses were often sited in bush gardens, especially after the 1970s. This style was also adapted to community buildings in the area, with the Eltham Library being constructed in mudbrick and recycled timbers in 1994 (Eltham District Historical Society 2019).

The Shire of Eltham became part of the Shire of Nillumbik in 1994, with a small area becoming part of the City of Banyule.



## PLACE HISTORY

The complex of buildings at 61 York Street was built for William Macmahon (Mac) Ball, who, with his wife Katrine (Kay) and daughter Jenny, came to Eltham from Kew in 1942. In 1945 the Ball family moved into an 1890s timber cottage on 18 acres (7.28 hectares) at the eastern end of York Street. The land was part of Crown Allotment 12, Section 4, Parish of Nillumbik, sold to J M Hollow in the early 1850s. Hollow named Crown Allotment 12 'Little Eltham South' and subdivided the land into smaller residential allotments ('Plan of Little Eltham South' c1850s). York Street became part of the town grid from this time.

The extant complex of buildings was supervised and partially constructed by Sonia Skipper to a design by Alistair Knox, with assistance from Tony Jackson, Jack McCarthy, and Gordon Ford. A separate mudbrick study for Mac was built on the site in 1948 (Figure 3, Figure 4 and Figure 5) (Alistair Knox, *Building With Mud Bricks*:np; and Alistair Knox, *We Are What We Stand On*:np in Alistair Knox Foundation).

The study was the second of Knox's mudbrick designs and the first in Eltham (the other being a house for Frank English at 47 Phillip Street, Lower Plenty (City of Banyule) in 1947). It was a simple rectangular building with few windows as wall space was needed to store books. Like Knox's earlier residence for Frank English, it used a brick that was 12" x 9" x 6" (300mm x 225mm x 150mm) laid in a stretcher bond exposing the 12" x 6" on both sides (Alistair Knox, *We Are What We Stand On*:np in Alistair Knox Foundation).

In his article *We Are What We Stand On* Knox fondly reminisces on the experience of constructing the study with Tony Jackson and Gordon Ford. He also describes 'The Pottery', a studio built for Ball's wife Katrine, designed by Peter Glass:

*The second construction I undertook was a study for Professor Macmahon Ball. William Macmahon Ball has been a political scientist of considerable international repute for many years. We built his studio around the time he was Australia's delegate in the Japanese peace negotiations. Our small community drew a quiet sense of reflected glory from him as if we felt we were involved in the negotiations ourselves. It was a pleasant simple construction and both 'Mac' and Katrine encouraged earth building. Peter Glass at about this time built a beautiful earth building for Katrine called 'The Pottery'. He tells an interesting story about it. One of the main walls was not as straight as it could have been and he kept trying to doctor it up, but nothing he did made it agreeable to his accurate artistic eye. One day in a combined fit of despair, rage and conscience he lost his usual gentlemanly calm and rushed in and pushed it all over and started again.*

*Tony Jackson, a dynamic eccentric, worked with Gordon Ford on the Macmahon Ball Studio. Many hilarious activities took place during the course of its construction. The bricks were made by digging a pit about a foot deep and partly filling it with water. The dam walls were continually widened as the edges were broken back into the water and pugged as it was walked on by the digger moving forward. It was a hard primitive system because the mixing was all done manually and the mixture had to be lifted up to get it out of the hole. Brickmaking has always been a contract deal, which tends to produce a frenetic tinge into otherwise logical people. They are always beset by the decision as to when a brick is a brick and not just a heap of mud. In addition, they are also pursued by the possibility of rain destroying them when in a half-dry condition. If it wasn't too much rain, it could be too little water.*



*The shortage of water was another hazard. Eltham had a most inadequate water supply, that always failed on the high sides of the central amphitheatre on the hot summer days. The taps were left on full overnight to try and fill the brick-making dams, but the flow was so slow that there would often be only a few inches in the bottom in the morning. Work would begin early before the heat became-too intense and at any time from about 9 a.m. onwards, voices could be heard from the highest point of the hill calling out, 'The water's off'. Once this happened it nearly always stayed off until after dark, unless a cool change came during the day and the taps that always flowed in the valley were turned off.*

The 1950 pottery building (Figure 5) may have been constructed on the southern portion of 61 York Street (also known as 61A), to the south of the driveway. As access to the site was not available for the purposes of this assessment further research regarding the current status of the 1950 pottery studio is likely to be required.



Figure 3. The interior of William Macmahon Ball's study, built in 1948. (Source: Alistair Knox, *Building With Mud Bricks*:np in Alistair Knox Foundation)



Figure 4. The Macmahon Ball study, built in 1948. (Source: Alistair Knox, *Building With Mud Bricks*:np in Alistair Knox Foundation)



In the late 1940s (likely c1948), Ball commissioned designer-builder John Harcourt, to build a pise addition to the existing 1890s house on the site. Harcourt had been active as a builder in the area and had built his own house in Eltham in 1941. The addition comprised two bedrooms (one an attic bedroom), shower, toilet, and fireplace and chimney of local sandstone (Marshall 2008:140; Alistair Knox Foundation; *Argus* 18 January 1941:9).

In 1959, Ball had the 1890s cottage demolished replacing it with an extension that abutted Harcourt's pise section of the house (Figure 6 and Figure 7). The extension was built to an Alistair Knox plan titled 'MCMAHON BALL REBUILDING PROJECT' (Figure 8 and Figure 9). (Alistair Knox Foundation).

Over the successive years, Ball subdivided the original land parcel in York Street. By the time of his death in 1986 the parcel of land that today is addressed as 61 (59-71) York Street was left to his daughter Jennifer (Jenny) and her children Michael, Bronwyn and David. It is believed that the subject property is still owned by Ball's family members (CT:V9796 F805; CT:V10126 F922).

The subject complex at 61 York Street today retains private residential use (Figure 10 and Figure 11). It is believed that 'The Pottery' was converted to a dwelling with a two-storey addition by 2002 (BP 02/2254) (Figure 12). As a site visit was not possible at the time of assessment, this will require further research to confirm.



Figure 5. The interior of Katrine Ball's studio, The Pottery, built in 1950. (Source: Alistair Knox, *We Are What We Stand On*:np in Alistair Knox Foundation)





Figure 6. Subject site shown on the 1951 (upper) and 1963 (lower) aerial photograph. Approximate extent of the subject site is outlines in red, with Ball's earlier landholding outlined in yellow. (Source: CPO, 'MELBOURNE AND METROPOLITAN PROJECT NO.2' 1951; 'Melbourne Project' 1963, via Landata)



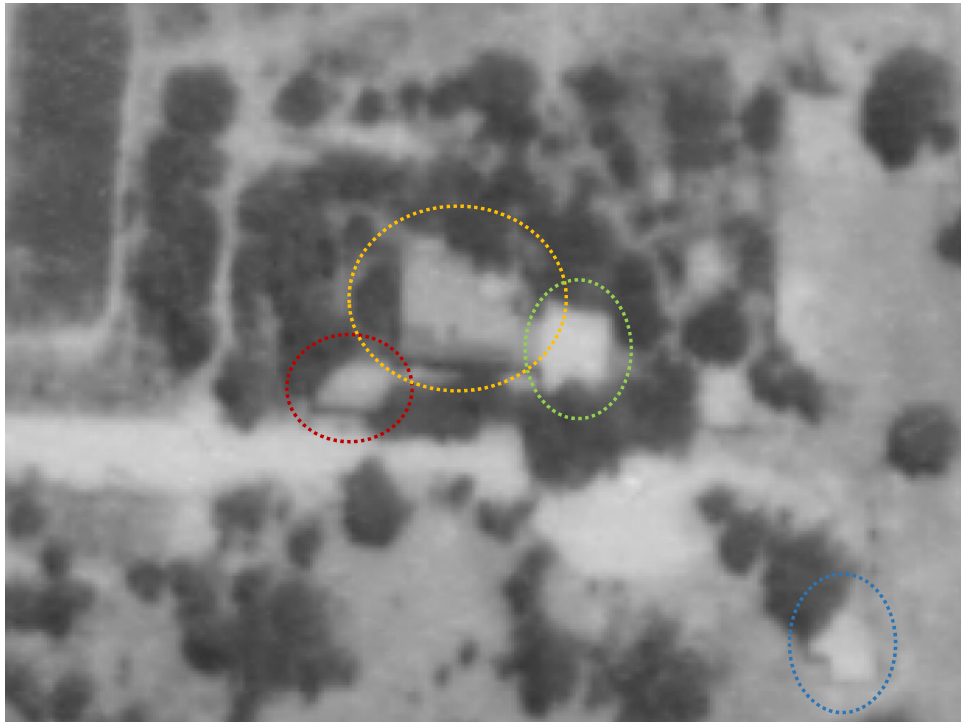


Figure 7. Close up of the subject site from 1951. The structures that existed on site by this time include: the 1948 study (outlined in red), the 1890s cottage (yellow), the c1948 rise addition with two rooms (green) and The Pottery built in 1950 (blue). (Source: 'MELBOURNE AND METROPOLITAN PROJECT NO.2' 1951 via LANDATA)

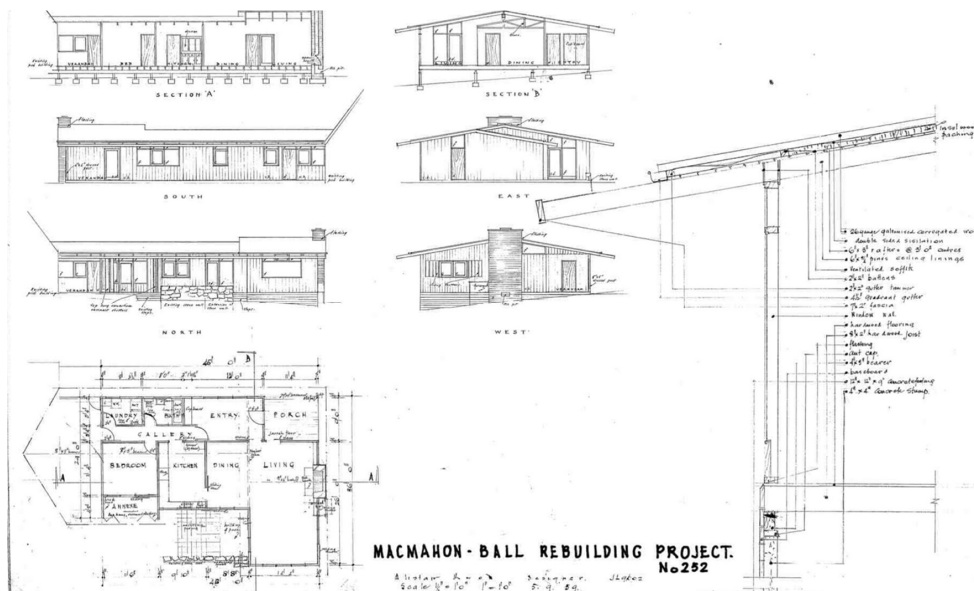


Figure 8. The Knox plan for the Ball rebuilding project, 1959. (Source: A Knox 5 September 1959, Job No 252, Alistair Knox Foundation).



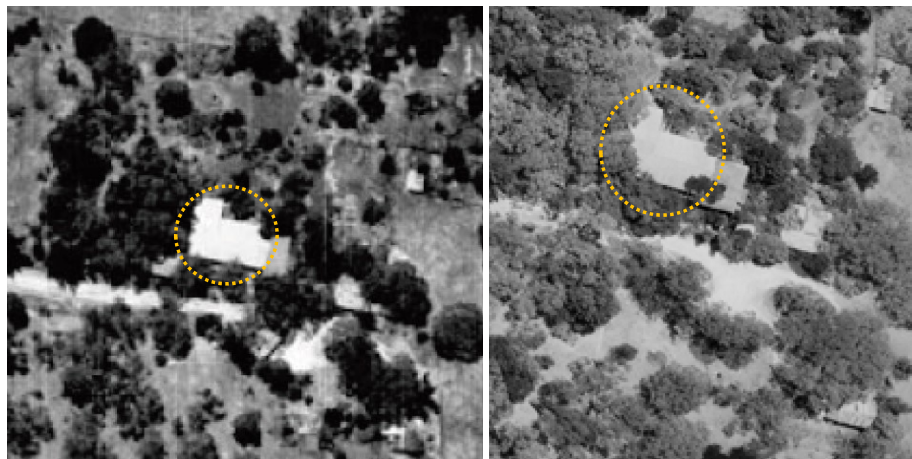


Figure 9. Close up of the subject complex from 1963 (left) and 1978 (right). Note the main house that replaced the 1890s cottage in 1959, outlined in yellow. (Source: 'Melbourne Project' 1963 & 'Diamond Creek' 1978, via LANDATA)



Figure 10. A photo of the Ball house, undated. (Source: T Knox nd, Alistair Knox Foundation).





Figure 11. The study, built in 1948. (Source: T Knox nd, Alistair Knox Foundation)

*William Macmahon Ball, owner 1945-1986*

The following has been abbreviated from *The Australian Dictionary of Biography* entry for William Macmahon Ball:

*William Macmahon Ball (1901-1986), professor of political science, diplomat, author, journalist and radio broadcaster, was born on 29 August 1901 at Casterton, Victoria...An indifferent scholar, he left Caulfield Grammar School...without matriculating. He became a student-teacher at New College, Box Hill, and qualified for entry to the University of Melbourne (BA Hons, 1923)...*

*On 24 May 1924 at the Congregational manse, Eagle Junction, Brisbane, he married Iris Shield, a journalist; she died childless in 1926. At St Paul's Church of England, Gisborne, Victoria, on 20 December 1928 he married Muriel Katrine ('Kay') Sandys Cliffe Anderson, a clerk.*

*In 1929 Ball won a Rockefeller travelling fellowship in political science, enabling him to study under Harold Laski at the London School of Economics and Political Science...In 1932 he returned to the University of Melbourne as lecturer (later senior lecturer) in political philosophy and modern political institutions...*

*Ball's stature increased steadily throughout the troubled and emotional decade that led up to World War II: abroad were the Spanish Civil War, the regimes of Hitler, Mussolini and Stalin, and Japan's rampage in China; at home, the Depression, the dismissal of Premier Jack Lang, and the New Guard. In such unquiet and strident times, Ball's voice was one of calm and reason. He was active in the adult education movement as a university*



*extension lecturer...In this period, too, he began giving talks for the Australian Broadcasting Commission, a medium in which he shone. He also wrote articles on international affairs for the Melbourne Herald.*

*Working for disarmament and the peaceful settlement of international differences, Ball published his views in Possible Peace (1936)...In May 1938 he departed on another visit abroad. After witnessing the German occupation of the Sudetenland, he was given a conducted tour of the notorious Sachsenhausen concentration camp - a horror which never left his memory...*

*Invited by Prime Minister (Sir) Robert Menzies, in February 1940 Ball was appointed controller of broadcasting in the Department of Information. In June he became responsible solely for short-wave broadcasting...His section was transferred to the ABC in July 1942...Ball remained with the ABC and added to his public laurels by chairing the popular radio debates, 'Nation's Forum of the Air'.*

*In 1945 'Mac' Ball returned to his university as senior lecturer-in-charge of the department of political science...That year he was part of Evatt's entourage at the United Nations Conference on International Organization in San Francisco, USA...*

*Appointed British Commonwealth member of the Allied Council for Japan, and Australian minister to that country, Ball assumed office on 3 April 1946...*

*For a short while Ball worked as a special foreign affairs writer on the Melbourne Herald where his elegant articles, largely on relations with South-East Asia, enhanced that newspaper's best traditions...In 1949 he settled with contentment into the job [the foundation chair of political science at the University of Melbourne] which he was to retain until his retirement in January 1968...*

*The Balls lived in a several-times-extended timber house in semi-rural Eltham, north of Melbourne. Here Kay's practical abilities and hard work maintained the 'bush and garden' small estate which provided fresh produce for the table and space for Mac to keep his horse...Aided by Kay's splendid table, Eltham saw much quiet but significant entertainment of leading figures in Australian and overseas affairs (Ryan 2007).*

William Macmahon Ball died in 1986 and Katrine Ball died in 1991. Both are buried in Eltham cemetery.

Part of the Ball's land backing onto Bridge Street was donated to Eltham Shire Council and is now a reserve called Macmahon Ball Paddock (EDHS).

*John Harcourt, builder of the pise extension, date unknown (likely c1948-9)*

Journalist John Harcourt was an Eltham resident in the 1930s and 1940s. A pioneer of mudbrick building in Eltham, he was inspired by what he saw at the artists' colony of Justus Jorgensen's Montsalvat, commenced in 1934, and started building pise-de-terre and mudbrick homes along classic French provincial lines from the late 1930s. He continued to build professionally in pise, mudbrick and stone in Eltham (approximately 20 houses) and various other places until about 1950. Harcourt built several of his residences in the 1940s in an area dubbed 'Harcourt Hill' that overlooked Diamond Creek in Eltham (Alistair Knox Foundation; Age 18 November 1972:35; 27 March 1982:39; and 9 September 2000:156).

Harcourt developed an automatic ramming technique which obviated much of the intense labour that ordinary pise required. It also reduced the risk of uneven ramming (Alistair Knox Foundation).



Harcourt, along with Alistair Knox and Peter Glass, played a significant role in the development of the 'Eltham style' of architecture and design and were associated with the development of the Australian bush garden aesthetic.

*Alistair Knox, designer of study (1948) and residence (1959)*

Alistair Knox (1912-1986) was a designer and builder, active in the Nillumbik area between 1946 and his death in 1986. Knox was responsible for over 1266 building designs, including 1000 homes, of which he built approximately 350. Throughout his four-decade long career, Knox was a leading figure in the development of the recognisably regional 'Eltham style' of architecture, and its associated landscapes. Through the sheer number of places designed by Knox in Nillumbik, he remains one of the most influential figures in the Shire's history (Alistair Knox Foundation; Peterson and Kusyk 2014:5-6).

Knox had an interest in design and construction, commencing a Diploma of Architecture and Building Construction at the Melbourne Technical College. Knox left the course after two years (Peterson and Kusyk 2014:9). Following a visit to the Montsalvat artist's colony in 1947, Knox was evidently impressed with the area and the artistic lifestyle that it was becoming known for. This love of the area was solidified in 1949, when he moved his young family to Eltham. The move coincided with Knox leaving his job as a bank clerk and establishing the Knox Building Service in Eltham (Age 19 July 1954:10; Peterson and Kusyk 2014:10). Knox was highly involved with the semi-rural, alternative lifestyle that Eltham and its surrounds had to offer (Alistair Knox Foundation).

The local environment was a constant inspiration to Knox through his career. Many of the homes he designed complemented their Australian bush settings, and his work pioneered forms including flat rooflines, clerestory windows and expanses of glazing that provided a connection between interiors and their settings (NMA 2021). Knox's work was characterised by its use of second hand bricks, large eaves, natural materials, timber walls and large beams. Perhaps most importantly, Knox was associated with the use of mudbrick and adobe walls (NMA 2021). Knox paid special attention to the placement of buildings in relation to their landscapes and the use of Australian plants.

Knox's work can be broadly broken into two phases: work completed before 1955, and work completed after 1955. The earlier phase focused on simple building forms, following the style of prominent architects such as Frank Lloyd Wright (Woodhouse 2007). His work was also greatly influenced by the economic austerity brought about by World War II, which encouraged him to use inexpensive and unconventional materials. The later period was defined by Knox's sophisticated, highly individual designs, often with reclaimed materials. These houses consciously explored uncommon forms and were almost exclusively built in mudbrick (Alistair Knox Foundation).

As Knox was not an architect, his work was often informed by his knowledge that arose from his experience as a builder. Many of his designs were economical and only required limited skills. A preference for reclaimed materials assisted the inexpensive draw of his designs (Alistair Knox Foundation). Although many houses were individually designed, Knox also produced 'spec' houses for general sale (Age 19 July 1980:101).

Towards the end of his career, Knox worked extensively with other designers. Some of these included John Pizzey, Peter Jarvis, Barbara Telford, Robert Marshall and Bohdan Kyzuk (Alistair Knox Foundation). Outside of his profession, Knox served as an Eltham Shire councillor in the period 1972-75, and as its president in 1975. Passionate about community activism and the environment, Knox consulted with groups across Melbourne to fight inappropriate development and loss of public space (Peterson and Kusyk 2014:14-15). Additionally, Knox wrote and spoke extensively on matters about



building and landscaping. Knox was a founding member of the Australian Institute of Landscape Architects, lectured on environmental design and building, and received an honorary doctorate in architecture from the University of Melbourne shortly before his death (Woodhouse 2007).

## DESCRIPTION

61 York Street, Eltham, is located at the eastern end of York Street on a large heavily vegetated parcel of land. The parcel is divided into north and south parts by a curved shared driveway (Figure 12). The southern portion of the land is also known as 61A York Street. The site comprises a complex of key buildings of interest built between 1948-1959 (Figure 12), including:

- a house comprising an originally freestanding mudbrick study built in 1948 to a design by Alistair Knox; a pise extension with attic floor constructed c1948 to a design by John Harcourt (an addition to now demolished 1890s house); and a timber dwelling built in 1959 also designed by Alistair Knox (replacement of the 1890s house); and
- 61a separate 1950 mudbrick pottery studio (understood to be extended with a two-storey addition).

All buildings of the complex were built for Professor (William) Macmahon Ball. A later carport is located to the south of the main mudbrick dwelling.

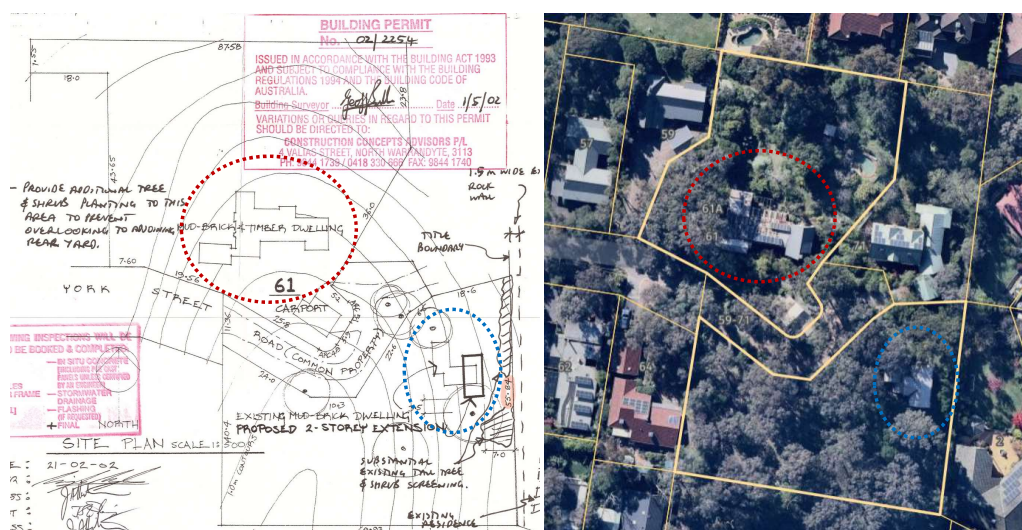


Figure 12. Site plan prepared in 2002, showing the structures of interest (left), and the aerial view of the subject site, with the site boundary outlined in thicker yellow lines (right). Note the house comprising 1948, c1948 and 1959 sections (outlined in red) and a freestanding 1950 pottery now converted to a house (blue). (Source: BP 02/2254; Nearthmap 2021)

The 1948 study is a simple rectangular mudbrick room, with gable roof. The building is dominated by a mudbrick chimney with a stepped chimney breast and brick cappings, centrally located on the building's western elevation (Figure 14). The study was built to accommodate large expanses of bookshelves, historic images show a single vertically proportioned window along the southern elevation and a series of glazed doors to the north. Internally the building is distinguished by its exposed timber-trussed roof structure and timber lined ceiling.



The pise section of the house, built by John Harcourt in c1948, is rectangular in form, with a steep gable roof that allows for an attic area internally. The north end of the gable is recessed accommodating a balcony, while a shed dormer window is evident on the eastern plane of the roof. A chimney is present on the southern elevation of this building (Figure 13).



Figure 13 A 1992 image of the pise attic section of the house. (Source: Bick 1992)

The 1950 mudbrick pottery is believed to be the building on the southern portion of the site, which is now converted to a house and added with a two-storey timber addition that replaced the lower wing.

In 1959 Alistair Knox designed an extension to Harcourt's pise building. L-shaped in plan, this extension is attached to Harcourts building at its eastern end. It is of timber construction with a low - pitched corrugated iron gable roof. When originally built the extension did not abut the mudbrick study building which is located to its southwest. Comprising a recessed entry porch, entry, gallery, living/dining room, kitchen and bedroom, the external walls of the extension are lined with unpainted vertical boards above horizontal baseboards. The vertical boards are laid board-on-board. The outer boards are narrower than the inner boards; this provides a subtle textural depth to the wall plane. Windows and doors are timber framed, many with fixed glazed panels above. A broad brick chimney dominates the western elevation. Internally historic images show timber lined ceilings and exposed rafters and beams that follow the rake of the low-pitched gable roof (Figure 15, Figure 16 and Figure 17).





Figure 14. The mudbrick chimney of the study. (Source: Context 2020)



Figure 15. Gallery and entry of the 1959 extension. (Source. T Knox nd, Alistair Knox Foundation)





Figure 16. Living room of the 1959 extension showing brick fireplace and exposed timber raked ceiling (Source. T Knox nd, Alistair Knox Foundation)



Figure 17. An interior view of the study showing mudbrick fireplace and glazed doors along the northern elevation (Source. T Knox nd, Alistair Knox Foundation)

There are a couple of small buildings and a kidney shape swimming pool located in the northwest corner of the site.



## INTEGRITY

Access to the complex of buildings at 61 York Street, Eltham was not possible for the purpose of this assessment. As the site is heavily vegetated only the western elevations of the 1948 study and 1959 extension could be viewed from the public domain. Both these elevations appear highly intact with the study retaining its gable roof form, mudbrick walls and chimney. The 1959 extension retains its low-pitched gable roof form, timber wall linings, brick chimney and original window openings. Overall, these elevations appear highly intact with minimal changes visible to original or early fabric.

Nearmap aerial imagery shows the 1948 study retains its original built form of a rectangular room with corrugated iron gable roof and chimney.

The pise section of the complex designed by Harcourt in 1948 retains its steeply pitched gable roof form. Historical images (Figure 10) show that the roof was originally tiled, however this appears to have been replaced with corrugated iron.

The Knox designed extension built in 1959 retains its L-shaped footprint with low gable roof form and brick chimney.

The pottery studio has been added with a two-storey addition. Further investigation is required to confirm the integrity of this building.

## COMPARATIVE ANALYSIS

The Nillumbik area has a longstanding association with artistic and intellectual communities, going back to the earliest years of the nineteenth century. The period following World War II saw the arrival of a new generation of artists and thinkers, who appreciated the natural surrounds of the area and the like-minded communities that had developed. Many newcomers were attracted by the cheap and readily available blocks that had gone unsold in the numerous subdivisions from the prewar and interwar periods. The area was later referred to as 'the socio-aesthetic centre of Melbourne' and 'a rural Bloomsbury', a reference to the famous group of intelligentsia, artists and philosophers in London (Knox 1980: 76).

The house and study at 61 York Street, Eltham are directly associated with (William) Macmahon Ball, a noted professor of political science, diplomat, author, journalist and radio broadcaster. Ball resided at the site from 1945 until his death in 1986. Ball is intrinsically linked to the fabric of the place, as the 1948 study, c1948 pise house, 1950 pottery and 1959 extension were all commissioned by Ball and his wife Katrine.

In 1946 Ball was appointed British Commonwealth member of the allied Council for Japan. In his book *We Are What We Stand On* (1980) Alistair Knox comments:

*We built his studio around the time he was Australia's delegate in the Japanese peace negotiations. Our small community drew a quiet sense of reflected glory from him as if we felt we were involved in the negotiations ourselves.*

This highlights Ball's prominence in the local community and the sense of pride held by community members in creating a place for Ball to work and live. It is also noted in Ball's biography prepared for the Australian Dictionary of Biography by Peter Ryan that the Ball's property in Eltham 'saw much quiet but significant entertainment' of leading figures in Australian and overseas affairs (Ryan 2007). Ball wrote innumerable articles and book reviews while living at 61 York Street presumably working on many of these from his desk in the study. His publications included the volumes *Japan: Enemy or Ally* (1948); *Nationalism and Communism in East Asia* (1952); and an edited collection of documents



and readings, *Australia and Japan* (1969). The 41-year long direct association of the subject site with William Macmahon Ball enables it to represent this association better than other places or objects in the Shire of Nillumbik.

Within the Shire of Nillumbik, several surviving places are on the Heritage Overlay for their historical (associative) significance in demonstrating their connection to prominent artists, writers, and intellectuals. The following places are comparable to the Macmahon Ball complex of buildings, 61 York Street, Eltham, for their direct association with a person who contributed to the course of the Shire's history of being associated with artists, writers, and intellectuals and for the tangible evidence the physical fabric of the place provides of this association and the achievements of the person.





Southernwood, 250 Bolton Street, Eltham (VHR 2235, HO13). (Source: VHD)

Southernwood, Walter Withers's house, was first built as a four-room cottage in 1891, and in 1903 it was purchased by the artist Walter Withers. The house is of historical significance as the home of the prominent Australian artist Walter Withers from 1903 until his death in 1914. As a member of the 'Heidelberg School' Withers was the first commercially successful painter to come and live in Eltham. Withers played a part in attracting other artists to the area and, thereby, in establishing Eltham's reputation as an artistic community (VHD).



Peter Garner mudbrick studio and adjacent shed 62 Brougham street, Eltham (HO17). (Source: VHD)

The 1969 studio and shed are significant for its use of highly creative structures constructed in the 'Eltham style'. The studio and shed were associated with Arthur Munday, Peter Garner, Lenore Garner and the Montsalvat artists' community more broadly (VHD).



Stanhope Residence and Garden, 10 Peter Street, Eltham (HO149). (Source: VHD)

The c1910 residence is historically significant for its connection with Will Longstaff, the official war artist, Bishop Reginald Stephen (warden of Trinity college in the 1930s) and with the prominent journalist turned builder, John Harcourt, who rented the residence while he and his partner were building their adobe home in the 1940s.

During the 1940s the residence was also connected with the important literary figures, Clem, and Nina Christesen (Clem was the founding editor of the influential Meanjin Quarterly). When owned by the Christesens the residence was visited by a number of distinguished writers, artists, and academics, including the Nobel Prize winner, Patrick White, and the world-famous cellist Mstislav Rostropovich (VHD).





Landscape, 60 Lavender Park Road, Eltham (HO113). (Source: VHD)

The 1926 residence and rear concrete studio are significant because they are connected with the artist, cartoonist and anthropologist, Percy Lesson. During Lesson's occupation (1926-1938) the property became a centre for visiting artists, including Max Meldrum, Justus Jorgensen, Clarice Beckett, 'Jock' Frater and Richard McCann (VHD).



Alan Marshall Bungalow, 13 Park West Road, Eltham (HO147). (Source: VHD)

The 1955 bungalow is significant for its connection with Alan Marshall, a noted author, storyteller and social documenter. While living and working at the bungalow between 1955 to 1972, several of Marshall's important publications were 'wholly written' within its walls. These include his trilogy of fictionalised autobiographies, several collections of highly popular short stories and humorous sketches as well as well as commissioned histories (including the history of Eltham itself). The bungalow was visited by many other famous Australian authors during Marshall's residence (VHD).

The complex of buildings at 61 York Street are also significant as examples of the work of John Harcourt and Alistair Knox. The following select examples compare well to the subject buildings as work by both designers within the Shire of Nillumbik:



Hazel's Cottage, 14 Peter Street, Eltham (HO150). (Source: VHD)

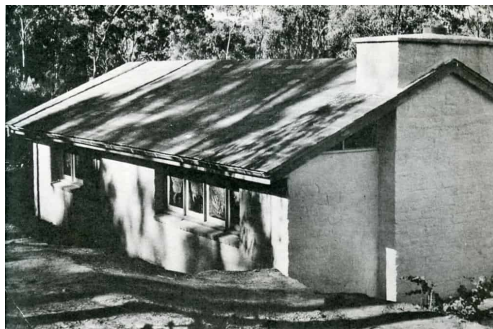
The cottage is historically significant because it was constructed by John Harcourt, the local builder and pioneer of adobe and pise building techniques. The cottage is historically and architecturally significant as an example of the work of John Harcourt and because it features an unusual attic design for that time, which was also used by Harcourt at 4 Fay Street and 61 York Street.





Langi Dorn, 4 Fay Street, Eltham (HO55). (Source: VHD)

The c1940-50 house is historically and architecturally significant as an early example of the use of pise-de-terre and mudbrick building techniques in the Shire and because it is associated with John Harcourt, a pioneer in this type of construction. The house is aesthetically significant because it forms part of a group of mudbrick homes constructed by John Harcourt in "The Hill" area above the Diamond Creek.



Downing-Le Gallienne House and Garden, 12 Yarra Braes Road, Eltham (HO172). (Source: Alistair Knox Foundation)

The house is architecturally significant as an important work by Alistair Knox. Like many other 'Eltham style' buildings, the house was constructed in stages over an extended period of time and featured the extensive use of mudbrick. The house is very unusual in both detail and arrangement - it comprises three separate but linked buildings.

The house is historically significant because it is connected with a number of important figures. It was commissioned by the musician and pioneering composer of modern music, Dorian Le Gallienne, and the economist, Richard Downing (who was later Professor of economics and chairman of the ABC). Several prominent local figures helped in the house's construction, including the renowned artists Clifton Pugh and John Howley, and the well-known actor Wynn Roberts. Le Gallienne and Downing's commission of the property illustrates the way in which intellectuals were drawn to Eltham in the period following the end of World War II. The design of the house and its bush setting epitomise the ideal of the 'Eltham lifestyle' that was developed from the 1940s to the 1960s.

### Discussion

The Macmahon Ball House and Study at 61 York Street, Eltham, compares favourably with the above Individually Significant places for its demonstrated association with the life or works of a person of importance to the Shire of Nillumbik. It is particularly comparable to the above examples as the site served as Macmahon Ball's home and long-time private workplace during his lengthy career as a noted professor of political science, diplomat, author, journalist and radio broadcaster.



The Macmahon Ball House and Study complex compares favourably against the above Individually Significant places for its demonstrated association with the life or works of a person of importance to the Shire of Nillumbik. The earlier examples such as Southernwood (VHR 2235, HO13) and Landscape (HO113) evidence Nillumbik's association with artists of earlier generations, who first attracted their peers to the area. The subject site is particularly comparable to the Peter Garner mudbrick studio (HO17) and Alan Marshall Bungalow (HO147) as examples contemporaneous to the subject site, which represent a later generation of artists and intellectuals who were attracted to the area and established their studios in the immediate postwar period. Despite its continued association with a number of important figures, Stanhope Residence and Garden (HO149) provides less direct comparison, as the house retains intact c1910 fabric and thus the associations are less directly legible from the fabric.

Much like many similar artists houses in the area, the house and study were constructed in stages as needs arose, using simple building forms and materials. In this way the house and study are significant for their contribution to the ongoing understanding of the history of the Shire of Nillumbik and particularly Eltham as a centre for artists, writers, and intellectuals.

The portion of the subject site designed by John Harcourt is particularly comparable to 14 Peter Street, Eltham (HO150), as both places are examples of pise homes with steep gable roof forms that allow for attic floors. Along with the example at 4 Fay Street, Eltham (HO55), the subject site is representative of the work being designed and built by Harcourt at that period that was inspired by traditional building forms.

The Downing-Le Galiennie house at 12 Yarra Braes Road, Eltham (HO172), compares well to Knox's mudbrick portion of the subject site. The Downing-Le Galiennie residence was built in stages between 1948 and 1960, a period which very closely coincides with the phases of development by Knox at the subject site. Where the Downing-Le Galiennie house differs to the subject site is that its three stages of building were constructed of mudbrick whereas the two Knox sections at 61 York Street utilise different building materials with the 1959 section being of timber construction. The residence was commissioned by the musician and pioneering composer of modern music, Dorian Le Gallienne, and the economist, Richard Downing (who was later Professor of economics and chairman of the ABC), demonstrating the way in which many moving in intellectual circles were drawn to Eltham in the period following the end of World War II. When considered in the context of the Downing-Le Galiennie house, the subject site evidences the way in which many artistic or intellectual families established themselves in the area and continued to use the sites with additions and alterations in the postwar period.



## **STATEMENT OF SIGNIFICANCE**

### **WHAT IS SIGNIFICANT?**

The Macmahon Ball House and Study at 61 York Street, Eltham, comprising of a study built in 1948 to a design by Alistair Knox, a pise section with attic floor constructed c1948 to a design by John Harcourt, and an extension built in 1959 to another design by Alistair Knox, all for the owner Professor (William) Macmahon Ball, is significant.

Elements that contribute to the significance of the place include:

- 1948 mudbrick study, inclusive of its mudbrick walls, chimney gable roof and original window and door openings and joinery;
- c1948 pise portion of the house, inclusive of steep gable roof form, dormer window, chimney and original window and door openings and joinery; and
- 1959 main portion of the house, inclusive of its original built form, shallow gable roof, vertical timber wall linings and horizontal base boards, and original window and door openings and joinery.

The mudbrick 1950 pottery ('The Pottery') with contemporary extension and the bush setting also contribute to the significance of the place.

### **HOW IS IT SIGNIFICANT?**

The Macmahon Ball House and Study at 61 York Street, Eltham, is of local historic, representative, and associative significance to the Shire of Nillumbik.

### **WHY IS IT SIGNIFICANT?**

The Macmahon Ball House and Study at 61 York Street, Eltham, are of historical significance to the Shire of Nillumbik. Like many properties associated with other local artists and intellectuals houses in the area, the property was developed in stages as needs arose and finances became available, using simple building forms and materials. The buildings show the development of the site as the residence for prominent professor of political science, diplomat, author, journalist and radio broadcaster William Macmahon Ball who lived at the property between 1945 until his death in 1986. The complex of buildings provides important evidence of the collaborative work of key building designers active in Eltham in the postwar period, namely Alistair Knox and John Harcourt. In this way the buildings on the site are significant for their contribution to the ongoing understanding of the history of the Shire of Nillumbik and particularly Eltham as a centre for artists, writers, and intellectuals after World War II (Criterion A).

The mudbrick study at 61 York Street, Eltham, is an important example of the early work of designer and builder Alistair Knox in the suburb. The building is predated only by the English House in Lower Plenty (now Shire of Banyule), and is the first example in Eltham of the earlier building forms and materials that would inform much of Knox's later career as a well-known and prolific local designer and builder. Between 1946 and 1986 Knox designed over 1000 houses, and a number of churches, schools and other buildings in Nillumbik. Knox built approximately 350 of these himself, and he is best remembered for his use of mudbrick throughout many of these sites. Knox was integral in the development of the recognisably regional 'Eltham style' of architecture and landscape practice. Builder John Harcourt also contributed to the complex as a builder of the c1948 pottery studio (likely at today's 61A York Street). Harcourt, along with Alistair Knox and Peter Glass, played a significant



role in the development of the 'Eltham style' of architecture and design and were associated with the development of the Australian bush garden aesthetic. (Criterion D)

The site is significant to the Shire of Nillumbik for its associations with William Macmahon Ball (1901-1986), prominent professor of political science, diplomat, author, journalist and radio broadcaster. Ball lived at the site for 41 years from 1945 until his death in 1986. In 1946 Ball was appointed British Commonwealth member of the allied Council for Japan and was Australia's delegate in the Japanese peace negotiations. Ball wrote innumerable articles and book reviews while living at 61 York Street presumably working on many of these from his desk in his mudbrick study. (Criterion H)





RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as an Individually Significant place.

**Extent of overlay:** To title boundaries

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

Nillumbik Planning Scheme

External paint controls	No
Internal alteration controls	No
Tree controls	No
Outbuildings or fences	Yes - Mudbrick study
To be included on the Victorian Heritage Register	No
Prohibited uses may be permitted	No
Aboriginal heritage place	No

Other

N/A



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Response No:  
6

Details

191 Cherry Tree Road,  
Hurstbridge Stage A - 13  
Objection



## 125, 173 and 191 Cherry Tree Road, Hurstbridge

### ‘Wendouree’ and Canary Island Date Palms, and Smith Orchard Houses

<b>Prepared by:</b> Context	<b>Survey date:</b> December 2020
<b>Place type:</b> Residential, Orcharding	<b>Designer:</b> -
<b>Significance level:</b> Significant	<b>Builder:</b> Not known
<b>Extent of overlay:</b> To title boundaries	<b>Major construction:</b> 1910 (125), c1915 (173), c1903 (191)



Figure 1. ‘Wendouree’ at 125 Cherry Tree Road, Hurstbridge. (Source: Context 2020)



Figure 2. 173 Cherry Tree Road, Hurstbridge. (Source: Context 2020)



## HISTORICAL CONTEXT

This place is associated with the following historic themes taken from the *Nillumbik Shire Thematic Environmental History* (2016):

### 2    PEOPLEING NILLUMBIK'S PLACES AND LANDSCAPES

#### 2.8   Twenty-acre occupation licences

*One of the most conspicuous features of the cadastral map of the Nillumbik area is the concentrated clusters of hundreds of small lots of around eight hectares (20 acres), which are located almost exactly over the old auriferous (gold-bearing) lands of the area. There are around 800 of these small lots, amounting to around 6,500 hectares, or 15 per cent, of the land area of the current Nillumbik Shire. This settlement pattern originated in a system of temporary tenure on auriferous Crown land that was introduced in the land Acts from the 1860s and would prove a useful safety valve to the problems that arose from selection (Mills & Westbrooke 2016:34).*

*Victoria's land acts are best known for the introduction of selection but this was accompanied by an evolving system for licensed occupation of Crown land for residential and cultivation purposes. The Nicholson Act 1860 provided for licences to occupy Crown lands for purposes such as stores, inns, ferries and bridges. This provision stretched to include 'occupation licences' and hundreds were taken up by miners and tradesmen on goldfields and on other Crown land (Mills & Westbrooke 2016:34).*

*By June 1866 more than 5,000 settlers had occupied over 120,000 acres in the colony under this section [Section 42 of the Land Act 1865] (Nelson & Alves 2009, p. 253; Powell 1970, p. 126). Section 42 licensees were typically tenant farmers, married farm labourers, working miners, storekeepers, small traders and carriers (Mills & Westbrooke 2016:34).*

*The success of Section 42 was also the cause of some dissent, as many considered the application of this section of the Act to be a distortion of the original purpose, which was to assist needy miners. As a result, under the Amending Land Act 1869, Section 42 was replaced with the more stringent Section 49 under which licensees could apply to occupy and cultivate a maximum of 20 acres exclusively on auriferous land. They could only hold one licence and there was no provision for later sale. This was soon found to be too severe and, by 1873 under new land Regulations, licensees could apply to have the land sold at public auction. Under Section 4 of the Amending Land Act 1880 licensees were able to purchase the land directly and could then take out further licences (Mills & Westbrooke 2016:36-37).*

*As mining slowed around Queenstown and Panton Hill in the late 1860s, miners turned to the land as another source of sustenance. Alan Marshall illustrated this process when he wrote about selectors including Burrows, Purcell, Smith, Owens, Clarke, Ellis and Harvey occupying Cherry Tree Road, (on the way to Panton Hill from Hurstbridge). The majority took up licences under Section 49 then purchased the land after 1880 and, in many cases, acquired further licences. One of these was Lot 3, Section C, Greensborough, later the site of the Smith Orchard House*



(HO182), first licensed to E Smith in 1877 and purchased by him in 1880 (Mills & Westbrooke 2016:36-37).

#### 4 TRANSFORMING AND MANAGING THE LAND AND NATURAL RESOURCES

##### 4.4 Agriculture, orchards and viticulture

*The spread of orchards began with the selectors in the 1860s and by 1900 orchards covered much of the west of the shire, from Diamond Creek up to Strathewen in the north. Auriferous or quartz-laden soil was said to be suitable for fruit growing and the slopes of the Diamond Valley offered well-drained soil for the trees. Fruit growing is a labour-intensive activity, well suited to the small blocks of land selected in the Diamond Valley. The growing population of Melbourne in the second half of the nineteenth century provided a handy market for the fruit of the Diamond Valley (Mills & Westbrooke 2016:61).*

*Arthurs Creek, Doreen, Hurstbridge, Strathewen, Plenty, Diamond Creek, Yarrambat and Research became important centres for a fruit-growing industry that was based at Diamond Creek. While many smaller orchardists probably struggled to make profits in a labour-intensive industry, those who planted on a larger scale did very well (Mills & Westbrooke 2016:61).*

*The Arthurs Creek Fruitgrowers Association was formed in 1890. Members held regular shows at Diamond Creek and were active in the fight for railway connections between the fruit-growing districts and Melbourne. By the turn of the century, Arthurs Creek dominated the Melbourne fruit market. In 1912, following the passing of the Cool Store Trust Bill, for which the Arthurs Creek Association had actively lobbied, a cool store was constructed at Diamond Creek (on the site now occupied by squash courts). As well as the co-operative coolstore there were, by 1931, two privately owned cool stores at Diamond Creek operated by TJ Clark and Burke Brothers respectively. Even in the 1950s and 1960s Yarrambat orchardist Otto Rupp was placing his apples and pears in Mr Collins' cool store. In 1931 The Leader's correspondent wrote that 'scores of small orchards few more than 20 acres in extent, are to be found within the neighbourhood of Diamond Creek and Eltham, and it is on fruit growing that most of the inhabitants of this district depend for their livelihood.' Writing of the 1920s, Graham McInnes recalled that from Hurstbridge to Panton Hill the 'immediate countryside was undulating park-like bush with the trees widely spaced, or else rolled aside by the fastidious patterns of orchards. As we bowled merrily on the downhill stretches the neatly planted rows of peaches, apples, nectarines and pears went by like wheel spokes and made a neat line from every angle' (Mills & Westbrooke 2016:61).*

*The Shire of Nillumbik orchards probably peaked around the turn of the century, when local fruit was being exported to other states and overseas. By the First World War however, many local orchardists were experiencing difficulties. The Australasian reported in 1910 that 'growers have been loath to part with their old trees and their hesitation has resulted in one of the most important fruit-growing districts being left in the background.' Smaller orchardists struggled at the best of times to make a living from their trees, turning to raising chickens, selling firewood like Otto Rupp, even working for other landowners or in goldmines as well as tending their fruit trees. Even large growers like Draper disadvantaged themselves*



*by offering too wide a variety of fruits at a time when dealers began to demand fewer varieties, but steady supplies, especially for overseas markets (Mills & Westbrooke 2016:62).*

*The Federation of Australia had removed tariffs between colonies so Tasmanian apples now competed with local produce, while the spread of railways throughout Victoria made fruit from the Goulburn Valley an equal competitor for the Melbourne market. There are still fruit growers in the shire today, but as a major local industry, orchards were finally defeated by the drop in exports to the United Kingdom during the Second World War. Disease wiped out some fruit trees and, as the city crept nearer, land became more valuable as building blocks rather than for farming or orcharding (Mills & Westbrooke 2016:62).*

## LOCALITY HISTORY

Hurstbridge, established near the junction of Arthurs Creek and Diamond Creek, is located on the country of the Wurundjeri-willam clan of the Woi wurrung people.

The Hurstbridge area, named after Henry Hurst and a ford he built over Diamond Creek in 1860, was originally known as Upper Diamond Creek, or Allwood, after Cornelius Haley's cattle run of the same name. 'Allwood' was taken up in 1841 and occupied by Robert Hurst, father of Henry, and his family from 1868 (Hurstbridge and District Local History Group). In 1894, Henry Hurst's daughter, Frances, and her husband, William (Bill) Gray, rebuilt the Allwood residence, incorporating a transported building, and named it 'Allwood House'. They developed the extensive Allwood Nurseries on the property, from which they exported fruit trees ('Hurstbridge Heritage Trail' n.d.).

A number of land Acts were introduced after the 1850s gold rushes in Victoria, to establish an agricultural industry. Land was made available in the Hurstbridge area under the 1869 land Act. Some of the land taken up under this Act was held freehold by the 1870s; other allotments were leased until the introduction of the 1901 land Act, and not held freehold until the first decades of the twentieth century (*Greensborough Parish Plan* 1961). Orchards and nurseries were subsequently established, with apples, in particular, grown in large quantities.

Hurstbridge was a part of a substantial area given over to the growing of apples, pears and stone fruit, the main agricultural industry in the Diamond Valley region (the area covered by much of the present Nillumbik Shire), from the 1880s to the 1930s. With its soil and climate suited to the growing of fruit, Diamond Valley formed a significant part of the wider fruit-growing region situated to the north and east of Melbourne in the counties of Evelyn, Bourke and Mornington. Orchards and nurseries were established on the hills and in the gullies of the catchments of Diamond Creek and Arthurs Creek, stretching from the township of Diamond Creek, through Hurstbridge, Cottles Bridge, Arthurs Creek and Panton Hill, to the foot of the Kinglake Ranges at Strathewen and Queenstown (now St Andrews) (National Trust Report, 'Shaws Cool Store, Cottlesbridge', B6979, cited in Butler 2006:140).

Up until 1900, when private subdivision commenced, Hurstbridge's businesses comprised only tearooms, a wine and billiard saloon, a butcher shop, a bakery and a blacksmith (Butler 1996:43). A public hall opened in 1892 (Eltham District Historical Society 2000).

When the Melbourne-Eltham railway line was extended to Hurstbridge in 1912, the railway station at today's Hurstbridge was named Allwood and a settlement subsequently developed (Hurstbridge Historical Trail; *Victorian Places* 2015). The Allwood Post Office and store opened in 1911 opposite the railway station (Eltham District Historical Society 2000). Fruit-drying works and a cool store for fruit



were constructed behind the station in 1912. The railway station became a central point for the transport of fruit and timber from surrounding areas (Eltham District Historical Society 2000).

Subdivision of residential estates followed. In 1913, a sale advertisement noted that 219 acres in the 'Home of the Wattle' at Hurstbridge had been subdivided into allotments 'admirably adapted for week-end homes, small farms, orchard blocks' (*Argus* 10 December 1913:5).

Most of the town's growth between 1912 and the mid-1920s took place along Main Road. Offices to house the *Evelyn Observer* newspaper opened in 1918 (the building now houses the Hurstbridge Post Office) (*Victorian Places* 2015; 'Hurstbridge Heritage Trail' n.d.). Hurstbridge State School No. 3939 opened in the Church of England Sunday school hall in 1916, with a dedicated school building opened in 1922 (the building was destroyed by fire in 2005) (Blake 1973:445). A memorial sports oval was opened at Hurstbridge in 1921 (Eltham District Historical Society 2000). A single lane bridge, designed by John Monash, opened in 1918 to replace the ford built by Henry Hurst.

Special trains ran to Hurstbridge so that Melbourne visitors could gather wattle. So great were their numbers and the destruction they wrought that a charity, the Wattle Day Red Cross afternoon tea, was established in the Hurstbridge to bring some control to the crowds (Butler 1996:48).

Further subdivision occurred in Hurstbridge in the interwar period. In 1920, for example, landowners Frances and Bill Gray subdivided 34 lots on the west side of Main Road in the northern part of what is now Hurstbridge; by 1925 a few lots had also been subdivided on the west side of Main Road. The Hurstbridge Railway Estate also opened in 1924 (Mills & Westbrooke 2017:72). Some soldier settlement also occurred on rural blocks in the area in the 1920s.

The township was renamed Hurstbridge in 1924 after Henry Hurst, although the derivations 'Hurst's Bridge' and 'Hurst Bridge' were in use until the 1950s. The section of railway line between Eltham and Hurstbridge was electrified in 1926, three years after the electrification of the line between Melbourne and Eltham.

Due to the increased competition in fruit-growing from irrigated districts after World War I and the impact of the economic depression of the 1930s, many of the area's orchardists turned to other pursuits such as raising poultry, selling firewood, or supplementing their incomes by working for other landowners or in the few goldmines still in operation in the Diamond Creek, Greensborough and Smiths Gully areas (Nillumbik Shire 2020; 'Victorian Gold Project' 1999:14).

By 1940, a recreation reserve, a croquet green and tennis courts had been established (*Victorian Places* 2015). The majority of the Hurstbridge township area was not subdivided into residential blocks until after World War II. With this subdivision and the availability of rail services to Melbourne, Hurstbridge's population nearly doubled between 1933 and 1954, increasing from 433 to 824. Electricity was supplied to the town in 1957, and in 1967 a high school was opened (*Victorian Places* 2015; 'Hurstbridge Heritage Trail').

Hurstbridge has been a tourist destination since the opening of the railway line in 1912, with visitor numbers rising with increased car ownership from the 1920s and particularly after World War II.

Like Eltham, Hurstbridge attracted artists, with Albert Tucker moving to a five-acre property with his wife, Barbara Bilcock, at Hurstbridge in the 1960s (Hurstbridge and District Local History Group).

The population had grown to 2350 residents in 1981. By the 1980s, Hurstbridge featured clubs, four churches and an active shopping centre (*Victorian Places* 2015).



## PLACE HISTORY

'Wendouree' and Canary Island Date Palms at 125 Cherry Tree Road, and the two Smith Orchard Houses at 173 and 191 Cherry Tree Road, Hurstbridge were owned for long periods of time by the Smith family, who operated a number of orchards in the area.



Figure 3. Showing the subject properties at 125, 173 and 191 Cherry Tree Road, Hurstbridge, outlined in red.  
(Source: Nearmap 2021)

### 125 and 173 Cherry Tree Road

Wendouree at 125 Cherry Tree Road is located on Crown Allotment 3, Section C, Parish of Greensborough. It was licensed in 1877 to Edwin Smith under the *Amending Land Act 1869*. Crown Allotment 3 was granted to Edwin Smith in 1888 (CT:V2110 F871; *Greensborough Parish Plan 1961*). 173 Cherry Tree Road is located on adjacent Crown Allotment 2, granted in 1888 to John Smith, baker of Yarra Flats (CT:V2110 F870; *Greensborough Parish Plan 1961*). In 1894, Edwin Smith, then a farmer of Panton Hill, became the owner of latter allotment (CT:V2110 F870).

After they married in 1873, Edwin Smith and his wife Louisa Georgiana (née Purcell) selected land on Cherry Tree Road. They subsequently cleared the allotments to start an orchard and farm, and built a house, 'Beaumont' (at today's 190 Manuka Road, see Figure 4). The Smiths continued to develop their commercial orchard, which in later years comprised apples, peaches, apricots, plums and pears (Smith 2013).

Following Edwin Smith's death in 1910, Edwin's son William Thomas Smith, orchardist of Panton Hill, became the owner of both Crown allotments (CT:V2110 F870 & F871). The existing houses at 125 and 173 Cherry Tree Road were built after this time.





Figure 4. Showing the Smith family home, 'Beaumont', then addressed as Cherry Tree Road, Pantom Hill (today at 190 Manuka Road, Hurstbridge), c1895. Pictured are Edwin and Louisa with the first 10 of their 11 children. From left: Florence Emily, Marian Louisa Sarah, Edwin (father) with Victor Albert on his lap, Edwin James Samuel, Lilian Rose, Louisa Georgina (mother), Alice Mary (at back), Bertram Edward (next to his mother), William Thomas (at back), George John, and Alfred George. (Source: Smith 2013)

### 125 Cherry Tree Road

The existing building at 125 Cherry Tree Road was built c1910 for George John Smith and his wife Barbara (née Bradley) shortly after their marriage. Their property 'Wendouree', was located near the Smith family home 'Beaumont'. George and Barbara established an orchard and brought up their family of three children on the property (Smith 2013).

In 1917, under William T Smith's ownership, Crown Allotment 3 was subdivided into two allotments. The ownership of both lots were to pass to orchardist George John Smith, of 'Wendouree' in Cherry Tree Road, Hurstbridge, in 1917 and 1921. George Smith retained ownership of both lots until 1952 (CT:V2110 F871).

In 1952, Lester (Les) George, son of George and Barbara Smith, and his wife Valeria (Val) Annie Smith, became the owners of the larger allotment, today's 125 Cherry Tree Road (CT:V4909 F751). Separate accommodation was built onto the existing home, 'Wendouree', for Les and Val, with George continuing to live in the house as well. At this time, the land was also used as a poultry farm, which was a common for smaller orchardists who were experiencing financial difficulties (Smith 2013; Mills & Westbrook 2016:62). The Smith family retained ownership of this allotment until 1993 (CT:V7687 F116).

In 1952, Dorothy Beeton became the owner of the other allotment (today's 145 Cherry Tree Road) of approximately one-quarter acre (CT:V4909 F751).

'Wendouree' is visible in the two aerial photographs taken in 1951 and 1987. The Canary Island Date Palms existed by 1951, indicating that they were planted between 1918 and 1951, during George and Barbara's ownership (Figure 6 and Figure 7). An extension or verandah is evident to east side of the original house by 1951. This is possibly the separate accommodation built for Les and Val Smith, who married in 1952. By 1987, a return verandah with an elongated eastern portion was extant, indicating



that the house was further extended during the Smith family's ownership. The southern portion of the land surrounding the house was also cleared by 1987 (Figure 7 and Figure 8).



Figure 5. 'Wendouree', the home of George and Barbara Smith, built 1910 at 125 Cherry Tree Road. (Source: Smith 2013)

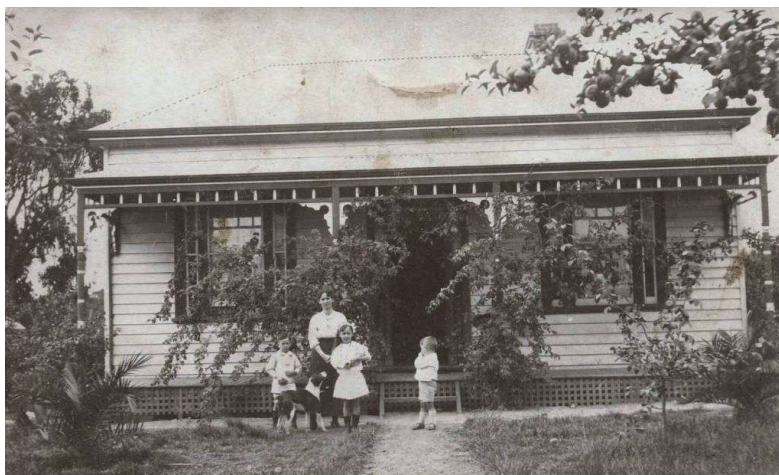


Figure 6. Barbara Smith with her three children and their dog, at 'Wendouree' in 1918. The Canary Island Date Palms (HO182) were planted after this time. (Source: Smith 2013)





Figure 7. Extract of a 1951 aerial photograph showing the property 'Wendouree', with the approximate boundaries of the pre-1952 subdivision shown in green dotted line, and approximate boundaries of today's 125 Cherry Tree Road in red. The rows of trees surrounding the house indicate that the surrounding land was still being used for farming activities. Two Canary Island Date Palms existed by this time (outlined in yellow). (Source: CPO, 'MELBOURNE AND METROPOLITAN PROJECT' 1951, via Landata)





Figure 8. Extract of a 1987 aerial photograph showing 125 Cherry Tree Road with its approximate boundaries shown in red dotted line. The southern portion of land was cleared by this time. The return verandah with an elongated eastern portion was added after 1951 (outlined in yellow). (Source: CPO, 'WESTERN PORT FORESHORES' 1987, via Landata)

### 173 Cherry Tree Road

Under William T Smith's ownership from 1910, Crown Allotment 2 was subdivided into four lots between 1917 and 1924: two lots comprised house blocks of approximately one-half to one acre each; another lot comprised a narrow strip of land on the western boundary of the allotment; with the balance comprising the majority of the land (see Figure 9).

One house block, part 839042, was transferred to Louisa Georgina Smith, Edwin Smith's wife and William's mother, in 1917. Louisa retained ownership of the block until 1928 (CT:V2110 F870;



CT:V4079 F670). This land comprised the Smith family home, 'Beaumont' at 190 Manuka Road (see Figure 9 and Figure 10).

In 1917, part 839043, at the southeast corner of Crown Allotment 2, was transferred to Bertram (Bert) Edward Smith, as was part 1184111 (today's 155 Cherry Tree Road) in 1924 (see Figure 9) (CT:V2110 F870). Bertram Smith, son of Edwin and Louisa Smith, owned both lots until 1970 with members of the Smith family retaining ownership until 1978 (CT:V4079 F671; CT:V9323 F431).

The subject house at 173 Cherry Tree Road was built for Bert Smith and his wife Mabel (née Suttie) around the time of their marriage in 1915 south the earlier Smith family home 'Beaumont' (see Figure 12) (Smith 2013). Bert and Mabel established an orchard on the land and brought up their two sons on the property (Smith 2013).

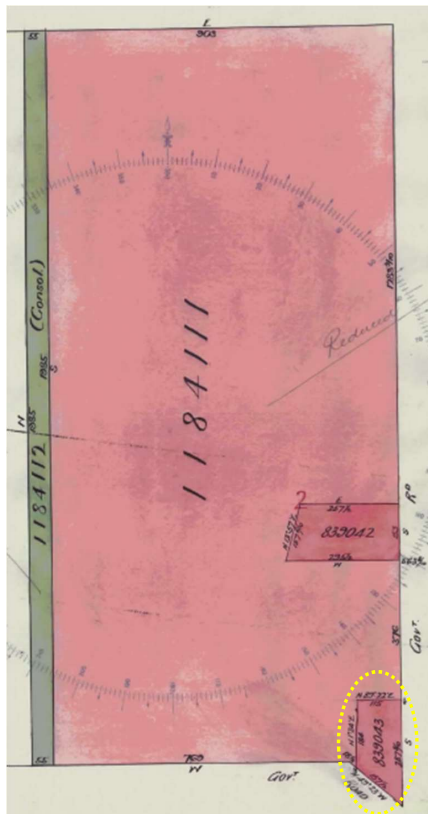


Figure 9. Crown Allotment 2, subdivided in 1917. Part 839043 (outlined in yellow) comprises the site at 173 Cherry Tree Road. Bert Smith also owned part 118411 and established an orchard on the land. (Source: CT:V2110 F870)





Figure 10. Extract of a 1951 aerial photograph showing the approximate boundaries of the land owned by Bertram Smith at that time (in green dotted line) and today's 173 Cherry Tree Road in red. The early Smith family home 'Beaumont' is shown in yellow. (Source: CPO, 'MELBOURNE AND METROPOLITAN PROJECT NO.2' 1951, via Landata)



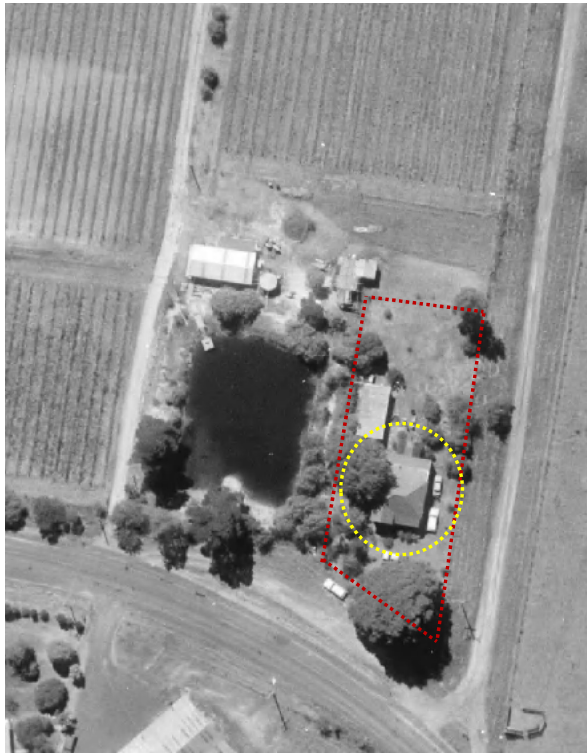


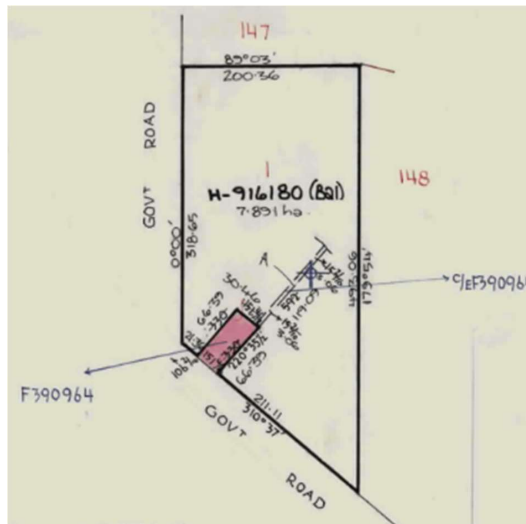
Figure 11. Extract of a 1987 aerial photograph showing 173 Cherry Tree Road with its approximate boundaries shown in red dotted line. The surrounding land was no longer owned by the Smith family but was still being used for farming at this time. A new shed was built to the northwest of the house (outlined in yellow). (Source: CPO, 'WESTERN PORT FORESHORES' 1987, via Landata)



Figure 12. Undated photograph of the home of Bertram, son of Edwin and Louisa, and Mabel Smith at 173 Cherry Tree Road. (Source: Smith 2013)



A Planning Permit was issued in 1999 for an extension to the dwelling at 191 Cherry Tree Road (PP).



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Figure 14. To the left is an extract of a 1951 aerial photograph showing the approximate boundaries of the land owned by Edwin James Samuel Smith at that time (in green dotted line) and today's 191 Cherry Tree Road (highlighted in red). to the right is an extract of a 1987 aerial showing 191 Cherry Tree Road with additions to the front, side and rear of the original house. (Source: CPO, 'MELBOURNE AND METROPOLITAN PROJECT NO.2' 1951' & 'WESTERN PORT FORESHORES' 1987, via Landata)

#### *Smith family, owners 1877-1980*

The following extract from *Gold 'n' opportunity* by Leonie Smith, a fifth-generation Smith descendant, details the history of the Smith family.

*Edwin Smith was born on the 3rd December 1848 at Bury, Lancashire, the 5th child of Samuel and Sarah Smith. He was almost 6 years old when he arrived in Australia in 1854 with his family. After he left school he worked as a miner at Caledonia Diggings. At the age of 25 he married Louisa Georgina PURCELL on the 2nd April 1874 at the Eltham Church of England...*

*Louisa, the first of...five children was born shortly after James and Sarah [Purcell] arrived in Australia [in 1853]. She was born at Sandridge (...Port Melbourne). James and Sarah Jane Purcell made their way to the goldfields area of Andersons Creek...then to Smiths*



*Gully/Queenstown...The Purcell's became the keepers of the Caledonia Hotel at Queenstown, said to have been situated near the Caledonia Creek...*

*After their marriage, Edwin and Louisa were one of the first to take up Crown land in Cherry Tree Road, Panton Hill. Edwin bought 10 lots of about 20 acres each at a cost of about half a crown an acre. For a short time Edwin and Louisa rented a cottage a little further down the road towards Hurstbridge while they cleared their land by hand and built their own cottage which they named "Beaumont". The cottage is still standing today, although it has seen some changes over the years.*

*The 10 lots Edwin originally purchased were eventually divided up amongst his children, some selling their lot to siblings and others staying on and working the land. At Beaumont, as he cleared the land Edwin began establishing an orchard, planting many varieties of apples, and peaches, apricots, plums and pears etc. and continually extended his plantings as he cleared the land.*

*Edwin and Louisa had 11 children over the 22 years following their marriage. As adults, those who didn't stay on the original property, stayed close by in the Panton Hill/Smiths Gully/Wattle Glen and Yarra Glen areas, the men established their own orchards, the Smith sisters with their husbands also established orchards or ran cattle...In the next generation of Edwin and Louisa's family, many of their grandchildren and a great grandson stayed in the local Panton Hill area and established their own orchards, the latter only to retire and sell his apple orchard in 2003...That ended well over a century of commercial fruit growing by the Smith family in the area.*

*Edwin Smith died on the 18th January 1910 and was buried at Nillumbik Cemetery in Diamond Creek...After the death of her husband, Louisa stayed on the family property for another 25 years, and died on the 24th October 1935. Like her husband, she was also laid to rest at the Nillumbik Cemetery in Diamond Creek (Smith 2013).*

Other information about the Smith family can be gleaned from the obituary of Louisa Smith published in 1935:

*The death occurred on October 24 of Mrs L. G. Smith, relict of the late Edwin Smith, of Panton Hill, at the residence of her eldest daughter (Mrs Arthur Jones) of Wattle Glen. The late Mrs Smith was born at Sandridge (now Port Melbourne) on May 22 82 years ago, a few weeks after her parents (the late Mr and Mrs James Purcell) had arrived from England in the sailing ship "Catherine Mitchell." Her childhood and girlhood days were spent in various parts of the district, Warrandyte (then Anderson's Creek), Diamond Creek, Eltham, Queenstown, and Panton Hill. In 1873 [1874] she was married to Edwin Smith, of Queenstown, and they selected land on Cherry Tree Road and commenced an orchard and mixed farm. Seven sons and four daughters were born of the marriage, three of the sons and one daughter are still living on the original property (Advertiser 15 November 1935:2).*

## DESCRIPTION

The three properties associated with the Smith family are located on the north side of Cherry Tree Road, a two-lane road connecting the Hurstbridge and Panton Hill townships. Built in the earlier decades of the twentieth century, 125, 173 and 191 Cherry Tree Road adopted various designs of Edwardian timber houses typically built on rural properties.



### 125 Cherry Tree Road

125 Cherry Tree Road, Hurstbridge, comprises a large land parcel of about 13 acres covered with moderate vegetation and a 1910 timber house 'Wendouree'. The land gently slopes down to the west. Three dams exist within the property boundaries, including one close to the southern property boundary. Built for George Smith, orchardist, and his wife Barbara, 'Wendouree' is a 1910 single-storey weatherboard house with an M-profile hipped roof clad in corrugated metal. The original house had a symmetrical façade with two windows with sidelights on the either side of the central doorway, and a concave profile verandah to the front of the building. The house has undergone various changes since 1918 (Figure 6). The changes on the primary (south) elevation include the timber verandah with simple timber posts and brackets (replaced the early verandah between 1951 and 1987), infills under the verandahs on both sides (by 1987), altered window openings and loss of a face brick chimney (date unknown). A modern iron ventilator penetrates the hipped roof on the left-hand side. The timber front fence with a gate is also a later addition. There is a post-1987 rear extension to the western portion of the house (Figure 17).

There are two corrugated metal-roofed sheds to the west and northwest of the main house. These sheds are likely the pre-1952 structures shown on Figure 7. A more recent slanted roofed shed and carport exist to the northeast of the house.

The two mature Canary Island Date Palm (*Phoenix canariensis*) trees that were planted between 1918 and 1951 (HO182) stand in front of the building. The Canary Island Date Palms are good specimens of a tree that was fashionable during the first decades of the twentieth century.



Figure 15. 'Wendouree' at 125 Cherry Tree Road. The return verandah supported by simple timber posts is an addition from between 1951 and 1987. (Source: Context 2020)





Figure 16. 'Wendouree' at 125 Cherry Tree Road, viewed from the south. The timber front fence and covered gateway is a later addition. (Source: Context 2020)



Figure 17. An aerial view of 125 Cherry Tree Road (left), and a close up of 'Wendouree' (right) with the post-1987 extension to the rear (outlined in yellow). (Source: Nearmap)

### 173 Cherry Tree Road

173 Cherry Tree Road, Hurstbridge, is a smaller allotment at the corner of Cherry Tree Road and Manuka Road, comprising a c1915 timber house. The allotment was formed by the 1917 subdivision under the ownership of William Thomas Smith, orchardist and son of Edwin and Louisa Smith. After the change of the ownership in 1978, the property is now separated from the large farmland at 155 Cherry Tree Road, formerly owned and operated by the Smith family as orchards. The existing weatherboard-clad house was built c1915 for orchardist Bertram and Mabel Smith. The house has a



high-pitched hipped roof with a transverse gable wing, clad in corrugated metal. The verandah is incorporated under the main roof form, and features turned timber posts and timber brackets. The façade is double fronted with a projecting gabled bay on the left-hand (west) side. The gable end is treated with half-timbering and rough cast render. The projecting bay features a three-light window with a corrugated metal awning. There is a face brick chimney behind this projecting bay. Another three-light window is provided on the right-hand side of the entrance. The front windows are later replacements. The central doorway features a sidelight and highlight. The property also comprises a metal-clad shed with a skillion roof (built between 1951 and 1987), to the northwest of the house.



Figure 18. 173 Cherry Tree Road, with a projecting gabled bay with half-timbering detailing. Note the face brick chimney behind the projecting bay (outlined in yellow). (Source: Context 2020)



Figure 19. 173 Cherry Tree Road, comprising a 1910 house and a shed built between 1957 and 1987. (Source: Nearmap)



### 191 Cherry Tree Road

191 Cherry Tree Road, Hurstbridge, is located near the corner of Cherry Tree Road and Manuka Road, comprising a c1903 timber house. The land was subdivided in 1974 during the ownership of Lloyd Richard Smith, son of Edwin and Louisa Smith who was living in Yarra Glen. The c1903 house built for Edwin James Samuel Smith, farmer of Panton Hill and the eldest son of Edwin and Louisa Smith, and his wife Violet. A large gable roofed extension was made to the original house in 1999 to the rear of the earlier house (Figure 20). The earlier weatherboard house exists in a substantially altered form. This house has a corrugated metal-clad gable roof. The primary (south) and west elevation is clad in painted sheets, while the east elevation retains the weatherboard cladding. The original portion of the house has an early rear wing clad in weatherboards with skillion roof. the gabled section next to this wing is a later addition. An attached garage has been added after 1987 to the east elevation. A new window opening is provided on the west elevation. All window and door joinery on the primary elevation are replaced. The front verandah with corrugated iron roof is also a replacement. There is no chimney extant. The 1999 extension has a gabled roof and an attached shed with a smaller gabled roof.



Figure 20. Oblique view of 191 Cherry Tree Road. Note the attached garage (outlined in green), an early rear wing with skillion and gable roofs (outlined in red) and the rear extension dating from 1999 (outlined in yellow). (Source: Nearmap 2019)





Figure 21. The primary (south) elevation of 191 Cherry Tree Road, with an attached garage, replaced window and door joineries and extended verandah. (Source: Google 2019)



Figure 22. 191 Cherry Tree Road clad in painted sheets on the primary (south) and side (west) elevations. The window on the west elevation shown here and the verandah to the front of the house are later additions. (Source: Context 2020)

## INTEGRITY

The three Cherry Tree Road properties display varying degree of changes.

Wendouree at 125 Cherry Tree Road is somewhat intact with some changes to the early built form and fabric. The building retains M-profile hipped roof and symmetrical double-fronted façade design. The overall legibility as an Edwardian timber house is interrupted by later additions such as the return verandah and infills, and the rear extensions.

173 Cherry Tree Road is highly intact to its c1915 design and form, retaining the asymmetric form with a steeply pitched hipped roof with a projecting transverse gable wing and the front verandah inset under the main roof form. Its intact elements and detailing characteristic of the period of its construction includes its weatherboard-clad elevations, corrugated metal-clad roofs, face brick



chimney, half-timbering treatment to the gable end, doorway with a sidelight and highlight, and turned timber verandah posts and timber brackets. The windows are latter replacements.

191 Cherry Tree Road retains the overall built form as a single-storey gable roofed house with skillion roofed rear wing but is substantially altered, having lost key elements of its early design as an Edwardian timber house. The changes include the new surfaces of the primary (south) and side (west) elevations finished with painted sheets, loss of chimney and verandah, replaced window and door joinery.

Overall, 125 and 173 Cherry Tree Road have moderate integrity, remaining legible of its original designs as Edwardian timber houses built on agricultural properties. The integrity of 191 Cherry Tree Road is compromised due the changes, but legible when viewed part of the group.

### **COMPARATIVE ANALYSIS**

The planting of orchards in the municipality began in the 1860s with the selectors who applied for 20-acre occupation licences under the Amending Land Act 1869. By 1900 orchards covered much of the Shire of Nillumbik. Arthurs Creek, Doreen, Hurstbridge, Strathewen, Plenty, Diamond Creek, Yarrambat and Research became key areas for a fruit-growing industry that was based at Diamond Creek. Orcharding in Nillumbik peaked from the 1880s to the 1910s until World War I, when local orchards were exporting their produce to other states and overseas.

Although the industry declined from the 1930s, a few commercial orchards in more rural parts of the Shire remained productive into the 1990s and the present. Parts of Nillumbik played a major role in the wider orcharding regions situated to the north and east of Melbourne in the counties of Evelyn, Bourke and Mornington.

'Wendouree' and Canary Island Date Palms at 125 Cherry Tree Road, and the two Smith Orchard Houses at 173 and 191 Cherry Tree Road are demonstrative of a group of houses that exhibit characteristics of the smaller-scale houses associated with small orchards or farms. These houses were built on a large land parcels held by local families who look up lands to establish to grow fruits from the 1860s. Largely built from the late nineteenth century until World War I, these houses are mostly built of timber, smaller and more basic in size and design than the houses in the rural townships or suburbs in Melbourne. Like the Smith properties, many of these examples had direct access from the surrounding land, while some other examples had a clearer distinction between the workplace and home.

These houses demonstrate the type of houses built in the rural area prior to World War I, when land was increasingly being taken up for small-scale agricultural pursuits, such as the Smith family's orchards.

The following examples of pre-1920 houses established in local orchards are listed on the Nillumbik Heritage Overlay.





Weatherboard farm house and outbuildings, 760 Hurstbridge-Arthurs Creek Road, Arthurs Creek (HO89). (Source: VHD)

The property comprises a c1905 farmhouse and pre-1920 outbuildings. The farmhouse is of historical and associative significance for its association with the MacMillan family of orchardists over a long period of time and has strong links with Eltham's fruit-growing industry. The house is also historically and aesthetically significant as one of a small number of pre-1920s weatherboard dwellings in the rural areas of the shire, and as one of the most substantial examples (VHD). The house has a double-gable roof with return verandah, situated on a sloping land.



Weatherboard farm house, 710 Hurstbridge-Arthurs Creek Road, Arthurs Creek (HO88). (Source: VHD)

The house (built c1876-1880s with subsequent Federation period renovations and additions) is historically significant for its strong associations with orchardist, William Draper, a member of the noted fruit-growing firm started by the local pioneer and horticultural expert, Charles Draper, and its strong links with Eltham's fruit-growing industry, which reached its heyday in 1880-1910. The house is historically and architecturally significant because houses of this style are comparatively rare in the shire and because it has a number of unusual features, including a distinctive bay window (VHD). The house displays some changes from later periods, including the infill of the verandah (likely from the Federation period).

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Nink farm and orchard complex, 265 Ninks Road, St Andrews (HO237). (Source: VHD)

The Nink farm and orchard complex comprises a group of pre-1940 buildings and exotic planting. The original front garden and driveway are also retained. This place is of historical and associative significance for the close link with the locally prominent Nink family. The main house and the associated buildings display various changes, reflecting the focus on practicality of the farm-associated buildings. The site is also important as an uncommon example late nineteenth century weatherboard farmhouse complex. Its collection of some major exotic plantings is reminiscent of its once quite substantial ornamental garden which is also rare in Nillumbik. The New Zealand cabbage tree palms are significant as the largest examples of their type in the shire (VHD).



Cracknell orchard house, 395-405 Kangaroo Ground-St Andrews Road, Panton Hill (HO221). (Source: VHD)

The c1889 Cracknell orchard house is significant for the long association with Sam Cracknell who had a Colony-wide prominence in the nineteenth century in equestrian business pursuits, and for the design of the house which is a rare and intact example in the shire of what is a standard design Victorian period timber house in some Melbourne suburbs. The site is also significant as a well-preserved house from an early orchard in the district. This house retains an ornamental front garden separated from the surrounding land (VHD). The house represents a slightly different type of living in farm, where the residence was carefully separated from the utilitarian nature farm workings.





Harless orchard house, 35 Ingrams Road, Research (HO218). (Source: VHD)

The Harless Orchard House, built in 1905, is described as 'as probably the best Edwardian era dwelling' in the former Shire of Eltham (VHD). Residential buildings from that era are not common, and many examples adopted the late nineteenth century standard house designs.

The orchard house is one of limited numbers of the surviving Federation period housing stock within the shire, and is a well-preserved example of an orchardist's house in an era of expansion for the industry (VHD).



English oaks (3) and farm house at the former Panton property, 270 Mt Pleasant Road, Eltham (HO235). (Source: Google 2020)

English oaks and farm house, at the former Panton property are significant for its retention of the oaks that are typical plantings for early farms in the area which now are uncommon at this maturity. The house is also historically significant as it recalls Edwardian-era cottage construction in the area, as weekenders and farm let houses, and for the property's historical association with the well-known Joseph Panton whose name has been memorialised in the Panton Hill locality (VHD).

## Discussion

The subject buildings and the above examples also share associations with local families who look up lands in the local areas for orcharding. Like the subject properties, the above houses are mostly of small scale with basic designs that reflected the pragmatism of farming life.

The subject group of buildings is compares favourably to the above houses, in particular, 710 Hurstbridge-Arthurs Creek Road, Arthurs Creek, 265 Ninks Road, St Andrews and 270 Mt Pleasant Road, Eltham, which also evidence alterations to their original built form. These small-scale houses built on farmlands represent the shire's key historical development period - the hayday of fruit-growing industry between 1880 and 1910, and the continuation of the smaller-scale orcharding industry into the 1970s. Changes to these houses reflect the nature of the farm-associated buildings with their focus on practicality over aesthetic purity.

Although altered, 125 Cherry Tree Road is similar to 395-405 Kangaroo Ground-St Andrews Road, Panton Hill, as a house originally built to a standard design that was more common in suburban areas. 191 Cherry Tree Road would have been an example of typical Edwardian cottages of a more basic design, as seen at 760 Hurstbridge-Arthurs Creek Road, Arthurs Creek, or 270 Mt Pleasant Road Eltham. 173 Cherry Tree Road is more directly comparable to 35 Ingrams Road, Research, for



its high intactness to its original c1915 design. Residential buildings from the immediate prewar era are not common in the municipality, and most examples from that period often used the standard house designs from the earlier century.

Built for different members of the Smith family as the family expanded over time, 125, 173 and 191 Cherry Tree Road are a good example as a grouping of farming properties associated with one family. As a group they evidence how families frequently took out a number of occupation licences in close proximity under the names of various family members and continued to farm in association with each other into the twentieth century. As a cluster of buildings closely associated with local orchardists Smiths, the houses represent the orcharding that was major part of the shire's industry from the nineteenth to early twentieth century.



## STATEMENT OF SIGNIFICANCE

### WHAT IS SIGNIFICANT?

'Wendouree' and Canary Island Date Palms at 125 Cherry Tree Road (built in 1910), and the two Smith Orchard Houses at 173 (c1915) and 191 (c1903) Cherry Tree Road, Hurstbridge, a group of houses associated with generations of the Smith family, is significant.

Elements that contribute to the significance of the place include:

- original single-storey forms and scale (125, 173 and 191);
- original or early timber cladding and corrugated metal roofs (125, 173 and 191);
- M-profile hipped roof and symmetrical double-fronted façade design (125);
- two mature Canary Island Date Palms (*Phoenix canariensis*) in the front garden of no 125;
- asymmetric form with a projecting gabled wing, high-pitch hipped roof with a transverse gable, front verandah inset under the main roof form (173);
- stylistic detailing including the face brick chimney, half-timbering treatment to the gable end, doorway with a sidelight and highlight, and turned timber verandah posts and timber brackets (173); and
- single-storey gable roofed form with an early weatherboard-clad rear wing with skillion roof, as well as the original or early weatherboard cladding to the east elevation (191).

Later changes (especially those applied after the Smith family's ownership) are not significant.

### HOW IS IT SIGNIFICANT?

Wendouree and Canary Island Date Palms at 125 Cherry Tree Road, and the two Smith Orchard Houses at 173 and 191 Cherry Tree Road, Hurstbridge, is of local historical, representative and associative significance to the Shire of Nillumbik.

### WHY IS IT SIGNIFICANT?

The group of houses built for generations of the Smith family at 125, 173 and 191 Cherry Tree Road, Hurstbridge, are historically significant for its demonstration of the shire's key historical development period. The cluster of properties evidence the heyday of the fruit-growing industry between 1880 and 1910, and the continuation of the smaller-scale orcharding industry into the 1970s. The houses are built of timber and are basic in form and design reflecting the rural origins of the area. The Smith properties had close association with surrounding land, where they operated commercial orchards and other agricultural businesses including poultry farm. The two mature Canary Island Date Palm trees in the front garden of no 125 are good specimens of a very fashionable tree during the first decades of the twentieth century. (Criterion A and D)

The group of houses at 125, 173 and 191 Cherry Tree Road, Hurstbridge, is significant for their generational association with the Smith family. Edwin Smith and his wife Louise established orchard and farm from 1877 with 20-acre occupation licence issued under the *Amending Land Act 1869*. Edwin and Louisa raised their 11 children at the earlier family home 'Beaumont'. Some of their children continued working at the family orchards, settling in new homes built in the vicinity. 'Wendouree' at 125 Cherry Tree Road was built c1910 for George John Smith and his wife Barbara (née Bradley) shortly after their marriage. The c1915 house at 173 Cherry Tree Road was built for Bert Smith and his wife Mabel (née Suttie). Edwin and Violet Smith (née Bartlett) brought up nine



children in the house at 191 Cherry Tree Road. The Smiths were among a number of local families who settled in the Hurstbridge/Panton Hill area, taking up a number of occupation licences in the 1860s in close proximity under the names of various family members. Members of the Smith family continued the agricultural operation for over 100 years into the 1970s. (Criterion A and H)



## RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as a serial listing, to include HO182 Smith Orchard House at 125 Cherry Tree Road and the properties at 173 and 191 Cherry Tree Road, Hurstbridge.

**Extent of overlay:** To title boundaries

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

### Nillumbik Planning Scheme

External paint controls	No
Internal alteration controls	No
Tree controls	Yes - Two Canary Island Date Palms ( <i>Phoenix canariensis</i> ) at number 125
Outbuildings or fences	No
To be included on the Victorian Heritage Register	No
Prohibited uses may be permitted	No
Aboriginal heritage place	No

### Other

It is recommended that the early Smith family house at 190 Manuka Road, Hurstbridge, is investigated for potential inclusion in this serial listing.



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Response No:  
7

Details

Arthurs Creek Cemetery, 1165 Arthurs  
Creek Road, Arthurs Creek.  
Stage B - 18  
Objection





**Title: Arthurs Creek Cemetery**

**Identified by:** Dr Peter Mills and Samantha Westbrooke  
**Prepared and updated by:** Trethowan Architecture

**Address: 1165 Arthurs Creek Road, Arthurs Creek**

<b>Name:</b> Arthurs Creek Cemetery	<b>Survey Date:</b> 2016, 2022
<b>Place Type:</b> Cemetery	<b>Architect:</b>
<b>Grading:</b> Individually Significant	<b>Builder:</b>
<b>Extent of Overlay:</b> To title boundaries	<b>Construction Date:</b> 1847 onwards



**Historical Context**

The first squatters arrived in the Arthurs Creek area in 1837. The Reid's run 'Hazel Glen', where the original stone and mud house survives, lay on the southwest. The Bears' 'New Leicester' lay on the northwest, the Macfarlane's 'Ard Chattan' lay between Running Creek and Arthurs Creek, and the Smiths 'Glen Ard' lay to the west of Running Creek (Hicks 1988:6). Most of the land west of the Plenty River was sold by the mid-1840s. The land to the east, including the Arthurs Creek area, which was forested and hilly with poor sedimentary soils, was considered 'cattle country' and remained under grazing leases for longer (Hicks 1988:13).





The more open undulating country between the Yan Yean Reservoir and Arthurs Creek/Deep Creek was bought at Crown Land sales in the mid-1860s (PROV, VPRS 16171/P1/6, Linton-2). Under the 1860 Land Act, the remaining grazing leases were revoked. The eastern margin of the Parish of Linton, including the Arthurs Creek locality, was surveyed in 1856 but remained unsold. Lots 16, 17 and 24 of this survey were the first to be selected in c1861 by C. Vaughan, M. McLaughlin and W. Watson (Department of Crown Lands and Survey, 1856). The remainder of the Arthurs Creek area became the Upper Plenty Farmers' Common (later Whittlesea Common) in 1861. An area to the east of Arthurs Creek was proclaimed as the Arthurs Creek Common in 1871 (Vic Gov Gazette, 26 March 1861, No.48:632; PROV, VPRS 0242/P0, file C90869). Most of the European settlers in the area were orchardists and dairy farmers, the most famous of which were the Ryders and Drapers (PROV, VPRS 16171/P1/6, Linton-2). The homesteads of the 1860s such as those of the Ryders and Murphys were typically slab huts (PROV, VPRS 627/ P1, Unit 235, File No 19301). Butter, eggs and poultry were often the first source of income.

A village began to appear in the early 1870s, with the Primitive Methodist church established in 1873, the school opened in 1876 and the Mechanics' Institute in 1878. The Arthur's Creek Fruitgrowers' Association formed in 1890 and held meetings and competitive exhibitions of fruit at the Mechanics' Institute (Argus, 14 May 1890:6). Daily mail services started in 1889. By 1899 George Murphy had built a post office and store (E&WSA& DCVA, 26 April 1918 :3; Payne 1975:191). The settlement would expand little after this point. In the late 1880s there were 1500 acres under fruit within a three-mile radius of Arthur's Creek. The extension of the railway to Yan Yean in 1889 made transport to market easier and quicker (Argus, 21 October 1889:9).

Poor prices during the Depression compounded the decline, and by the late 1930s all but the largest and most progressive orchards were unprofitable. Orchards were cleared and the land turned over to sheep. Markets for lamb and wool were variable and while the larger farms survived on sheep, the smaller holdings reverted to dairying and pigs. By the 1970s beef cattle were becoming more profitable. Orcharding continued at Glen Ard, which by 1975 was reputedly the largest orchard in southern Victoria (Five Pear Trees, Apted's Glen Ard Orchard, 120997). The township had about 350 residents at the 1996 census (Hunter-Payne, 2008).

### **History**

The cemetery was gazetted in 1867 however the land on which it sits was previously part of the property, Hazel Glen owned by the Reid family. A private cemetery was established when Agnes Reid died in 1847 and was buried on a hill on the property that provided views of the ranges. The cemetery was later to be gazetted on this hilltop location.





#### Description & Integrity



Arthurs Creek Cemetery is a rectangular cemetery accessed by a tree lined road off Arthurs Creek Road. The layout of the cemetery plots is such that the plots sit on the rise, overlooking rolling hills of farmland and towards the Arthurs Creek township to the east. There are plantings around the boundary of the cemetery reserve with Cypresses to the west boundary and natives to the south and east boundary. There is tall hedge type planting to the north boundary.



Arthurs Creek Road entry gates



Oaks at the Arthurs Creek Road end





There are double iron gates with four red brick pillars and glazed brown brick capping at the Arthurs Creek Road entry to the Cemetery Road and another set of iron gates with red brick pillars at the entry onto the cemetery reserve.



Sugar Gums to central section of avenue  
 Source: Sam Westbrooke 2016



Cypress Avenue  
 Source: Sam Westbrooke 2016

The avenue of trees along the Cemetery Road consists of Cypress trees directly below the reserve gate, which were planted in 1959. There are Sugar Gums on the mid-section of the approach road, planted in 1963, with Oaks on the first straight from the Arthurs Creek Road entry, also planted in 1963.



Cemetery Reserve Entry Gates  
 Source: Sam Westbrooke 2016



View from entry along west boundary  
 Source: Sam Westbrooke 2016

The cemetery is divided into denominations with a mixture of early and later headstones in these sections. There are a number of elaborate early headstones with some cast iron fences around some of the plots. There are six bays of plots with an east west path running between each bay and a path at the north and south boundaries linking the east west paths.

A new non-denominational section (formerly the 'independent denominational section') was created in 1978, with concrete beams to carry headstones added in 1982. This forms the fourth bay in the cemetery layout. Ground niches were created for interment of ashes in 1980.





Toward the end of the twentieth century the non-denominational section became the 'lawn section' and further concrete beams for headstones were installed.

The red-brick store was erected on the rear (west) boundary in 1970. It has a gable roof. A similar brick building with a gable roof was erected, also on the west boundary as a toilet block in 1976.



Northern boundary  
Source: Sam Westbrooke 2016



Chapel to the south east corner  
Source: Sam Westbrooke 2016



Early headstones  
Source: Sam Westbrooke 2016



View towards east  
Source: Sam Westbrooke 2016

On Australia Day 1994 a plaque was unveiled to commemorate 150 years of the Reid family's occupation of Hazel Glen. The plaque was mounted on a cairn and housed in a gazebo at the cemetery.

The second bay of the cemetery consists of a bush garden with Australian plantings and boulders, which contain plaques. A bluestone niche wall sits at the east end of this garden and is used for reception of cremated ashes. This section was added to the cemetery in 1997.

The red brick Pioneers Memorial Chapel, which was completed in 2004, is located to the north east corner of the site with glazing to the east elevation allowing views over the hills and farmland to the east. The chapel is red brick with a tapered gable roof following the essentially diamond shaped footprint of the building. The taper on the west (entry) side





forms a canopy over the entry, which is glazed. The north and south bays have brick walls with the central, taller chapel with glazing to the east and west elevations.



Non-denominational Lawn area  
 Source: Sam Westbrooke 2016



Native garden Section of cemetery  
 Source: Sam Westbrooke 2016

The Arthur's Creek cemetery remains in use today. Prominent families represented include Bassetts, Christian, Draper, Murphy, Reid, Sutherland and Smith.

### Comparative Analysis

Other cemeteries currently on the Heritage Overlay include the following:

- Hurst Family Cemetery, at Hurstbridge Pre-School, 4-8 Greys Harps Road, Hurstbridge - HO57
- Queenstown Cemetery, 70 Smiths Gully Road, Smiths Gully - HO163
- Ellis Gateway at Nillumbik Cemetery, 35 Main Street, Diamond Creek - HO226



Hurst Family Cemetery. Image source: Victorian Heritage Directory.



Queenstown Cemetery. Image source: Victorian Heritage Database





Gateway to the Nillumbik Cemetery. Source: Nillumbik Cemetery Trust.

The Hurst family cemetery includes tombstones and remains, mature exotic planting. Significant trees include an Atlas Cedar tree, Canary Island Pine tree, Peppercorn tree and Stone Pine tree. The cemetery is historically significant because it is associated with the Hurst family, who were amongst the first settlers at Hurstbridge and because it is a rare example (in Melbourne) of a private burial ground established by a district's early settlers.

The Queenstown Cemetery is a c1866 cemetery and the mature planting within the cemetery and the surrounding site is historically, aesthetically and socially significant to the Shire of Nillumbik. The cemetery is historically significant as a rare example (in Melbourne) of a private burial ground established by a district's early settlers - many of the early burials in the cemetery are those of diggers who worked on the nearby Caledonia (St Andrews) goldfields. A study of the graves and associated records tells the story of the difficulties faced by early miners and settlers in the area, and in particular the high child mortality rate (Criterion A). The cemetery is also historically significant as the resting place of several prominent local citizens, including Charlotte Ness and Kathleen Donaldson (Criterion H).

The Nillumbik Cemetery (established c.1860s) is significant for its association with the early history and a record of the pioneering families of the district. It includes significant plantings including boundary cypress rows and various structures, with ornamental gateway.

The Arthurs Creek Cemetery is comparable to these in terms of age, dating to the mid nineteenth century, and associated with Victorian era colonists in the area. It contains comparable trees and structures. While its gates are less ornamental than the Nillumbik Cemetery, its historical significance is comparable, and its spectacular landscape setting on the hill is distinctive and uniquely associated with the first private burial at the site.

### Assessment Against Criteria

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.

**CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).**

Arthurs Creek Cemetery is historically significant for demonstration of the early settlement of the Arthurs Creek area as well as providing documentary history of the families living in the district from its beginnings until the present day.





*CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).*

*CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).*

*CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

Arthurs Creek Cemetery is aesthetically significant as a representative example of a rural cemetery established in the mid 1800s. It provides examples of late Victorian headstones and cast iron cemetery surrounds as well as demonstrating the early denominational layout of a cemetery. The bush garden section for cremated ashes is of aesthetic interest and links to the history of native landscaping in the Shire. The two sets of entry gates, pine boundary planting, entry avenue with Cypress, Sugar Gums and Oaks and picturesque hillside setting contribute to the aesthetic significance of the place.

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).*

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).*

Arthurs Creek Cemetery is of social significance as an important commemorative site valued by the Arthurs Creek district community

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance).*

The Arthurs Creek Cemetery contains graves of prominent families who have had a long association with the district, including the Bassett, Christian, Draper, Murphy, Reid, Sutherland and Smith families.





### Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>External Paint Colours</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	Yes – sugar gums, cypresses, oaks, avenue of trees.
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	Yes - Gates
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	No
<b>Aboriginal Heritage Place</b> <i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No

### Identified By

Samantha Westbrooke

### Proposed Extent

The proposed extent includes the original cemetery reserve area and the Cemetery Road avenue entry and gates.





## References

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Response No:  
8

Details

61A York Street, Eltham.  
Stage A - 07  
Objection



61 & 61A York Street, Eltham

Macmahon Ball House and Study

<b>Prepared by:</b> Context	<b>Survey date:</b> April 2021
<b>Place type:</b> Residential	<b>Designer:</b> Alistair Knox (1948 mudbrick study and 1959 extension), John Harcourt (c1948 pise house)
<b>Significance level:</b> Significant	<b>Builder:</b> Alistair Knox, Sonia Skipper, Peter Glass
<b>Extent of overlay:</b> To title boundaries	<b>Major construction:</b> 1948 (mudbrick study), c1948 (pise house), 1950 (pottery studio) 1959 (extension)



Figure 1. 61 York Street, Eltham. (Source: T Knox nd, Alistair Knox Foundation)



Figure 2. 61 York Street, Eltham (viewed from North). (Source: Nearmap 2020)



## HISTORICAL CONTEXT

This place is associated with the following historic themes taken from the *Nillumbik Shire Thematic Environmental History* (2016):

### 6 BUILDING TOWNS AND SHAPING SUBURBS

#### 6.4 Postwar growth and experimentation

*Paralleling the activity of the Modernist architects, another more prolific experiment in residential building was germinating in the Eltham-Warrandyte area. The trend was characterised by an acceptance of the characteristics of the site, including the local bush, topography and geology and an attempt to blend and adapt to these conditions through building form and siting, choice of materials and landscape approach. The best-known spokesperson for this trend, Alistair Knox, gave it the label 'Australian environmental building'. (Mills & Westbrooke 2016:78)*

*Externally the Warrandyte Rustic or Australian Environmental Building style was distinguished by use of a palette of honest natural materials including earth in the form of pisé and mud brick, local stone, expressed structural timber, vertical varnished boards for cladding and corrugated iron, slate or shingle roofs. Recycled materials including timber and brick were also popular. Of all these materials earth and especially mud brick, would become the most ubiquitous in the Nillumbik area. The materials for mud brick were free and usually available on the owner's property. Mud brick building was better suited to the large semi-rural house sites common in the area, which had ample space for drying bricks and for using farm machinery to help in making and moving them. Owner-builders generally had great difficulty getting home loans in the early postwar period and use of labour-intensive mud brick as a major component could compensate for lack of capital. There was also an ideological and aesthetic element in the choice of this material that appealed to the increasing population of artists and academics who were drawn to the area. 'Amongst the artistic and literary community in the bush, the participatory hands-on nature of mud brick construction evoked the noble ideals of the Arts and Crafts movement.' (Mills & Westbrooke 2016:78)*

*From the early 1940s John Harcourt, who had settled in Eltham in the 1930s, constructed a number of residences in the area in pisé and mud brick. In 1941 his wife was the main driving force in building a mud brick house on the banks of Diamond Creek. Material for the mud bricks came from the excavation of the hillside for footings and the reinforcing straw also came from the property. This may have been the beginnings of the two-storey house Clay Nuneham in Stanhope Street, Eltham (completed around 1950) (HO165). The Harcourts held large New Year's Eve parties in this house in the 1940s and 50s. (Mills & Westbrooke 2016:79)*

*Harcourt also sold a number of pisé or mud brick house-and-land packages on land he had purchased and possibly also re-subdivided, in the interwar Handfield's subdivision in Eltham (also known as The Hill). The pisé Langi Dorn (HO55), the stone, brick and slate roofed Florrie's Cottage (HO37) and the mud brick Rocknall (HO36) may be part of this group. Miles Lewis suggests there were at least eight pisé or mud brick houses by Harcourt in the locale and describes the style as*



*'English cottage character'. Harcourt left the area in the 1950s. (Mills & Westbrooke 2016:79)*

*Sympathetic treatment by the shire council was another vital element in the rise of earth building. Justus Jorgensen and John Harcourt dealt with a shire secretary who approved building applications without consulting council, provided the plans 'complied with general building regulations' (Cuffley 1993, p. 130). When Knox started his first house the council was starting to review such applications. It was opportune that at this time GF Middleton of the Commonwealth Experimental Building Station had just published a pamphlet titled 'Earth Wall Construction', which Knox was able to distribute to councillors before they considered his permit. Subsequently, Knox observed, the shire adopted 'a practical commonsense approach to the innovative building proposals'. In 1947 owner-builder in pisé Vyvyan Williams thought himself 'fortunate in choosing a site in the Eltham Shire, considering the attitude to earth building of some municipal councils.' (Mills & Westbrooke 2016:79)*

*Alistair Knox was the most prolific of the mud brick designers and builders in the district. He was inspired by his visits to Montsalvat in the early 1940s and, after the war, he studied building at the Melbourne Technical College. Knox's early work in Eltham falls into two main categories: simple rectilinear forms, which were the basis for most of his work up to the 1970s, and a first flush of complex exploratory designs. (Mills & Westbrooke 2016:79)*

*Knox's first commission in the area, the English house in Godalmin Street, Eltham (1947) was a simple rectangle in plan with a skillion roof supported on long yellow box pole beams. He was assisted by Sonia Skipper, an experienced mud builder from Montsalvat, who worked on a number of Knox's buildings. Subsequent projects increasingly explored the potential of the plasticity and flexibility of mud brick. Knox started three houses in 1948. The McMahon Ball [sic] studio was very simple in form and was the first time he used a reinforced concrete slab base, a practice that would become standard for most of his mud brick buildings. Both the Busst house in Eltham (HO162) and the Holmes house (Periwinkle house) (HO11) were more exotic designs, featuring extensive curved walls in mud brick. On the Dowling/La Gallienne house in Yarra Braes Road (HO172), started in 1949, the owners persuaded Knox to return to a simpler gabled rectangular form for their weekender. He later labelled this use of simple forms as 'the key of all that was to take place during the succeeding years.' (Mills & Westbrooke 2016:79)*

*The Lim Joon house (HO119) (started 1950) in Main Road Eltham was a small single-roomed polygonal dwelling with brick walls. The floor-to-ceiling windows were an advanced architectural feature for this time. On the McClennan house in Ryans Road Eltham (1951), Knox returned to the use of curved mud brick walls, with an imposing two-storey half drum on one corner. The next two stages of the Dowling/La Gallienne house were also adventurous with complex geometry and impressive rooflines. Subsequently, as the price of labour rose, mud brick made sense only for the owner-builder and most of Knox's building commissions would be in more conventional materials, albeit often recycled. (Mills & Westbrooke 2016:80)*



*Alistair Knox was also a very effective spokesperson for the mud brick pioneers. His promotion of the principles of environmental building in a variety of publications would have a lasting influence on perceptions of the Eltham area. Mud brick and Australian environmental building became an integral part of the regional identity. Knox's writings would also ensure that the movement would have a far greater impact Australia-wide than the number of completed houses would indicate. (Mills & Westbrooke 2016:80)*

## LOCALITY HISTORY

Eltham, situated in hilly country northeast of Melbourne, is located on the country of the Wurundjeri-willam clan of the Woi wurrung, one of the five tribes of the Kulin Nation. A small, short-lived reservation south of Eltham on the Yarra River was set aside for Aboriginal people in 1852. The area is situated near the junction of the Yarra River and its tributary, Diamond Creek.

Pastoral settlers moved into the area from around 1840 and took up pastoral leases (Bartolomei 2008). It was located proximate to the track used by the Ryrie brothers to provide access between their 'Yering' run, near Yarra Glen, and the Heidelberg village (Victorian Places 2015). In 1841, William Bell and Thomas Armstrong occupied land for a squatting run east of Diamond Creek in what was to become the Eltham district (Eltham District Historical Society 2000: np).

A plan for 50 allotments in the Township of Eltham, Parish of Nillumbik, was announced in 1848, with the name officially gazetted in 1851. The township, near the junction of Diamond Creek and the Yarra River, was laid out in an area bounded by Baxter Street, Diamond Creek, Dalton Street and Bolton Street. The township plan shows that a track to a bridge across Diamond Creek and Main Road was noted as the 'Track from Melbourne' (Butler 1996:32). This area is known today as Eltham South.

Present-day Eltham, however, was not established on the township reserve, where land proved difficult to sell. Instead, the town grew from allotments in Section IV of the Parish of Nillumbik located on Main Road, to the north of Dalton Street and the township reserve (Butler 1996:32). In 1851, Melbourne property developer Josiah Holloway purchased one square mile (or 5120 acres) of this land, which he subdivided immediately, calling the subdivision Little Eltham. The central area of current-day Eltham is contained within the Little Eltham subdivision. A number of large farming properties around the township were purchased from the early 1850s (*Nillumbik Parish Plan* 1951).

Eltham township grew during the 1850s around a cluster of buildings at the corner of Pitt Street and Main Road within the Little Eltham subdivision. Located on the road to the Caledonia goldfields, this small township became a service centre for the surrounding mining areas, and by 1854 supported a population of 282. In this period Eltham had two hotels, a brewery, and a scattering of shops along Main Road (known in the 1850s as Maria Street). The town had a steam flour mill operated by Henry Dendy, and a tannery was located on the Diamond Creek. The Little Eltham School, opened by the Church of England, was built in 1853 near Swan Street and closed in 1872. A second school, a national school (later Eltham Common School No. 209) opened in Dalton Street in 1856. A Wesleyan chapel opened in 1858. Public buildings constructed at this time included a courthouse and a police station in Main Road in 1860. The 'flat land', which is now the Eltham Lower Park, near the Yarra, was used as a racecourse (Kellaway cited in Butler 1996:32-33; Eltham District Historical Society 2000:np). A cemetery was established in 1858. The township and wider area was administered by the Shire of Eltham, established in 1856.

Between the 1860s and the 1880s, Eltham supplied food and produce for the goldmining communities of the Caledonia goldfields at Queenstown (St Andrews) and Panton Hill. It also became a stopping



place on the route to the Woods Point diggings. Eltham's population grew in response (*Victorian Places* 2015).

A Primitive Methodist chapel was built in 1860. The following year St Margaret's Anglican Church, designed by the notable Melbourne architect Nathaniel Billing, was built. In 1881, a Wesleyan church was constructed by George Stebbing to the design of Melbourne architects Crouch and Wilson (Butler 1996:33). A new state school, constructed of local sandstone, opened in 1876.

Several large properties surrounding the township had absentee owners, who subdivided their properties into smaller farms either for lease or for sale. The smaller properties, especially in the Little Eltham township, were run by farmers who often made a modest living as wage labourers. Like many later Eltham residents, they were attracted by cheap land and the country life (Butler 1996:33).

In 1884 Eltham was described as:

*... a pretty little township on the Yarra Flats road ... It has a population of nearly 400 inhabitants, but in addition it is the centre of a large district extending over 208 square miles, having a population of 2344. The land in the district is mostly used for grazing purposes, although as a rule the small farms grow a good deal of wheat, oats and other agricultural produce. A large quantity of fruit, especially raspberries and strawberries, is also produced (Illustrated Australian News 20 December 1884, cited by Carlotta Kellaway in Butler 1996:33).*

The *Australian News* noted that gold had been found in the vicinity of the township, 'but not in remunerative quantities' (cited by Carlotta Kellaway in Butler 1996:33).

In the 1880s agitation began for the extension of the railway line from Melbourne to Heidelberg to serve Eltham and districts further afield such as Kangaroo Ground. The railway station in Eltham opened in 1902, however the line was never extended to Kangaroo Ground. The railway brought excursionists from Melbourne, many of whom picked wattle during the flowering season, and focused development of the Eltham township around the railway station. Eltham was a picturesque village with the advantage of its proximity to metropolitan Melbourne and to attractive countryside with farms and uncleared stringybark forest (*Victorian Places* 2015). The bush scenery attracted artists, writers and nature-lovers.

In 1903 the *Australian Handbook* described Eltham as part of an orcharding and grazing district. In 1901, 4289 acres were under cultivation, of which 2506 acres were planted with orchards and market gardens. The township, with a population of 377, included a state school, a branch of the Commercial Bank, and Catholic, Anglican, Wesleyan Methodist and Primitive Methodist places of worship (cited in *Victorian Places* 2015). From 1909, rural properties were increasingly subdivided to create residential estates on the outskirts of the Eltham township (Mills & Westbrooke 2017:69).

The electrification of the railway line was extended to Eltham in 1923, eliminating the need to change to steam train at Heidelberg and allowing faster through-trains and shorter commuting times. The establishment of new residential estates in Eltham followed (Mills & Westbrooke 2017:71). Reflecting the town's growth, a higher elementary school was opened in 1926 (*Victorian Places* 2015).

Eltham was described in 1940 as 'residential, horticultural, dairying and grazing ... a beauty spot for artists and picnickers'. By this time, the town had three recreation reserves, swimming baths, tennis courts and a fire brigade (*Victorian Places* 2015).

Eltham has attracted a number of writers and artists over the years. The landscape painter Walter Withers (1854-1914) moved to Eltham in 1902 when the railway opened; other artists, including



members of the Heidelberg School, painted in the area in the open air. Clara Southern and May Vale, landscape painters and students of Frederick McCubbin, settled in the region. Vale resided at Diamond Creek and Southern at Warrandyte (Bartolomei 2008). The war artist Will Longstaff also lived in Eltham for a period. From 1910, painter William 'Jock' Frater and cartoonist Percy Leason often camped and painted in the area. Artist Justus Jorgensen established the notable Montsalvat artists' colony buildings, on land he purchased in 1934. Seeking a closer engagement with the natural environment, the establishment of Montsalvat, with its adobe and rammed earth buildings, influenced future mudbrick construction in the area. Several local designers, including Alistair Knox, specialised in mudbrick housing in the postwar period (*Victorian Places* 2015). Others who have been inspired by Eltham and have made the Nillumbik region their home include landscape architect Edna Walling; authors Alan Marshall and Carolyn Van Langenberg; artists Clifton Pugh and Danila Vassilieff; composers and musicians Graeme and Roger Bell; jewellers and sculptors Michael Wilson, Simon Icarus Baigent and Matcham Skipper; writer CB Christensen; poet Chris Wallace-Crabbe; and actor Kerry Armstrong (Bartolomei 2008; Pierce 1987:354).

Eltham experienced significant postwar development with a number of residential estates subdivided and put up for sale. The population of the town increased steadily as a result. In 1933, only 927 residents were recorded in the town in 1933; this had increased to 7177 residents in 1971. As a result, Eltham High School opened in 1950 and the Catholic Ladies College was relocated to Eltham in 1971 (*Victorian Places* 2015). The Eltham War Memorial Trust Baby Health Centre opened in 1951. New shire offices opened in 1965, and Eltham College commenced classes in 1974 (Eltham District Historical Society 2000:np).

A distinctive style in local building emerged in Eltham in the postwar period, with a strong use of natural materials, low form structures, and an integration with the natural environment. Houses were often sited in bush gardens, especially after the 1970s. This style was also adapted to community buildings in the area, with the Eltham Library being constructed in mudbrick and recycled timbers in 1994 (Eltham District Historical Society 2019).

The Shire of Eltham became part of the Shire of Nillumbik in 1994, with a small area becoming part of the City of Banyule.



## PLACE HISTORY

The complex of buildings at 61 York Street was built for William Macmahon (Mac) Ball, who, with his wife Katrine (Kay) and daughter Jenny, came to Eltham from Kew in 1942. In 1945 the Ball family moved into an 1890s timber cottage on 18 acres (7.28 hectares) at the eastern end of York Street. The land was part of Crown Allotment 12, Section 4, Parish of Nillumbik, sold to J M Hollow in the early 1850s. Hollow named Crown Allotment 12 'Little Eltham South' and subdivided the land into smaller residential allotments ('Plan of Little Eltham South' c1850s). York Street became part of the town grid from this time.

The extant complex of buildings was supervised and partially constructed by Sonia Skipper to a design by Alistair Knox, with assistance from Tony Jackson, Jack McCarthy, and Gordon Ford. A separate mudbrick study for Mac was built on the site in 1948 (Figure 3, Figure 4 and Figure 5) (Alistair Knox, *Building With Mud Bricks*:np; and Alistair Knox, *We Are What We Stand On*:np in Alistair Knox Foundation).

The study was the second of Knox's mudbrick designs and the first in Eltham (the other being a house for Frank English at 47 Phillip Street, Lower Plenty (City of Banyule) in 1947). It was a simple rectangular building with few windows as wall space was needed to store books. Like Knox's earlier residence for Frank English, it used a brick that was 12" x 9" x 6" (300mm x 225mm x 150mm) laid in a stretcher bond exposing the 12" x 6" on both sides (Alistair Knox, *We Are What We Stand On*:np in Alistair Knox Foundation).

In his article *We Are What We Stand On* Knox fondly reminisces on the experience of constructing the study with Tony Jackson and Gordon Ford. He also describes 'The Pottery', a studio built for Ball's wife Katrine, designed by Peter Glass:

*The second construction I undertook was a study for Professor Macmahon Ball. William Macmahon Ball has been a political scientist of considerable international repute for many years. We built his studio around the time he was Australia's delegate in the Japanese peace negotiations. Our small community drew a quiet sense of reflected glory from him as if we felt we were involved in the negotiations ourselves. It was a pleasant simple construction and both 'Mac' and Katrine encouraged earth building. Peter Glass at about this time built a beautiful earth building for Katrine called 'The Pottery'. He tells an interesting story about it. One of the main walls was not as straight as it could have been and he kept trying to doctor it up, but nothing he did made it agreeable to his accurate artistic eye. One day in a combined fit of despair, rage and conscience he lost his usual gentlemanly calm and rushed in and pushed it all over and started again.*

*Tony Jackson, a dynamic eccentric, worked with Gordon Ford on the Macmahon Ball Studio. Many hilarious activities took place during the course of its construction. The bricks were made by digging a pit about a foot deep and partly filling it with water. The dam walls were continually widened as the edges were broken back into the water and pugged as it was walked on by the digger moving forward. It was a hard primitive system because the mixing was all done manually and the mixture had to be lifted up to get it out of the hole. Brickmaking has always been a contract deal, which tends to produce a frenetic tinge into otherwise logical people. They are always beset by the decision as to when a brick is a brick and not just a heap of mud. In addition, they are also pursued by the possibility of rain destroying them when in a half-dry condition. If it wasn't too much rain, it could be too little water.*



*The shortage of water was another hazard. Eltham had a most inadequate water supply, that always failed on the high sides of the central amphitheatre on the hot summer days. The taps were left on full overnight to try and fill the brick-making dams, but the flow was so slow that there would often be only a few inches in the bottom in the morning. Work would begin early before the heat became-too intense and at any time from about 9 a.m. onwards, voices could be heard from the highest point of the hill calling out, 'The water's off'. Once this happened it nearly always stayed off until after dark, unless a cool change came during the day and the taps that always flowed in the valley were turned off.*

The 1950 pottery building (Figure 5) may have been constructed on the southern portion of 61 York Street (also known as 61A), to the south of the driveway. As access to the site was not available for the purposes of this assessment further research regarding the current status of the 1950 pottery studio is likely to be required.



Figure 3. The interior of William Macmahon Ball's study, built in 1948. (Source: Alistair Knox, *Building With Mud Bricks:np* in Alistair Knox Foundation)



Figure 4. The Macmahon Ball study, built in 1948. (Source: Alistair Knox, *Building With Mud Bricks:np* in Alistair Knox Foundation)



In the late 1940s (likely c1948), Ball commissioned designer-builder John Harcourt, to build a pise addition to the existing 1890s house on the site. Harcourt had been active as a builder in the area and had built his own house in Eltham in 1941. The addition comprised two bedrooms (one an attic bedroom), shower, toilet, and fireplace and chimney of local sandstone (Marshall 2008:140; Alistair Knox Foundation; *Argus* 18 January 1941:9).

In 1959, Ball had the 1890s cottage demolished replacing it with an extension that abutted Harcourt's pise section of the house (Figure 6 and Figure 7). The extension was built to an Alistair Knox plan titled 'MCMAHON BALL REBUILDING PROJECT' (Figure 8 and Figure 9). (Alistair Knox Foundation).

Over the successive years, Ball subdivided the original land parcel in York Street. By the time of his death in 1986 the parcel of land that today is addressed as 61 (59-71) York Street was left to his daughter Jennifer (Jenny) and her children Michael, Bronwyn and David. It is believed that the subject property is still owned by Ball's family members (CT:V9796 F805; CT:V10126 F922).

The subject complex at 61 York Street today retains private residential use (Figure 10 and Figure 11). It is believed that 'The Pottery' was converted to a dwelling with a two-storey addition by 2002 (BP 02/2254) (Figure 12). As a site visit was not possible at the time of assessment, this will require further research to confirm.



Figure 5. The interior of Katrine Ball's studio, The Pottery, built in 1950. (Source: Alistair Knox, *We Are What We Stand On*:np in Alistair Knox Foundation)





Figure 6. Subject site shown on the 1951 (upper) and 1963 (lower) aerial photograph. Approximate extent of the subject site is outlines in red, with Ball's earlier landholding outlined in yellow. (Source: CPO, 'MELBOURNE AND METROPOLITAN PROJECT NO.2' 1951; 'Melbourne Project' 1963, via Landata)



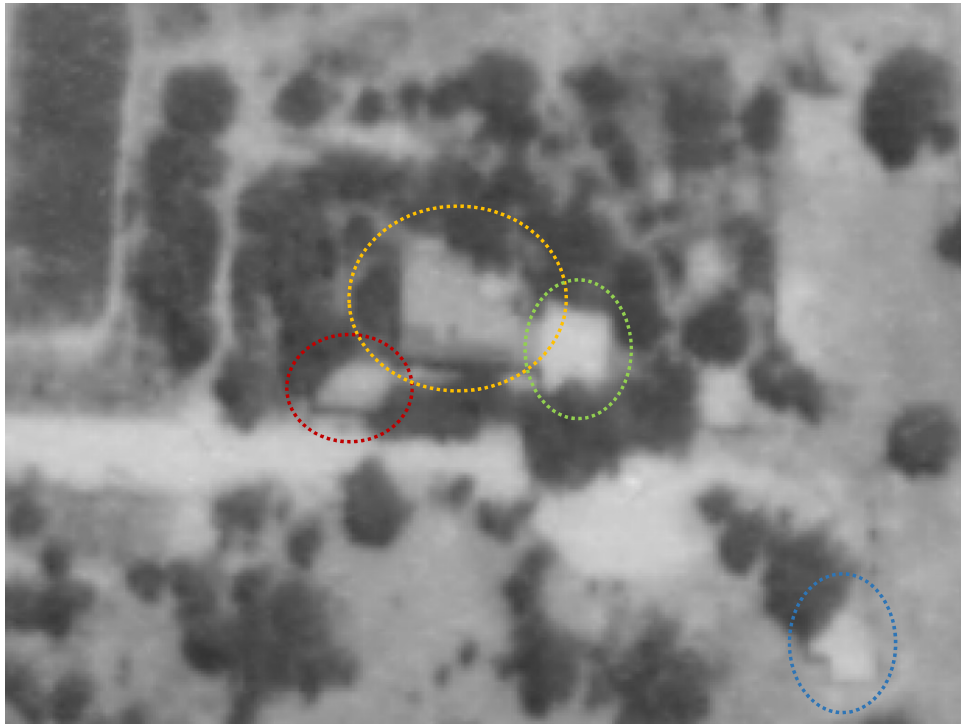


Figure 7. Close up of the subject site from 1951. The structures that existed on site by this time include: the 1948 study (outlined in red), the 1890s cottage (yellow), the c1948 rise addition with two rooms (green) and The Pottery built in 1950 (blue). (Source: 'MELBOURNE AND METROPOLITAN PROJECT NO.2' 1951 via LANDATA)

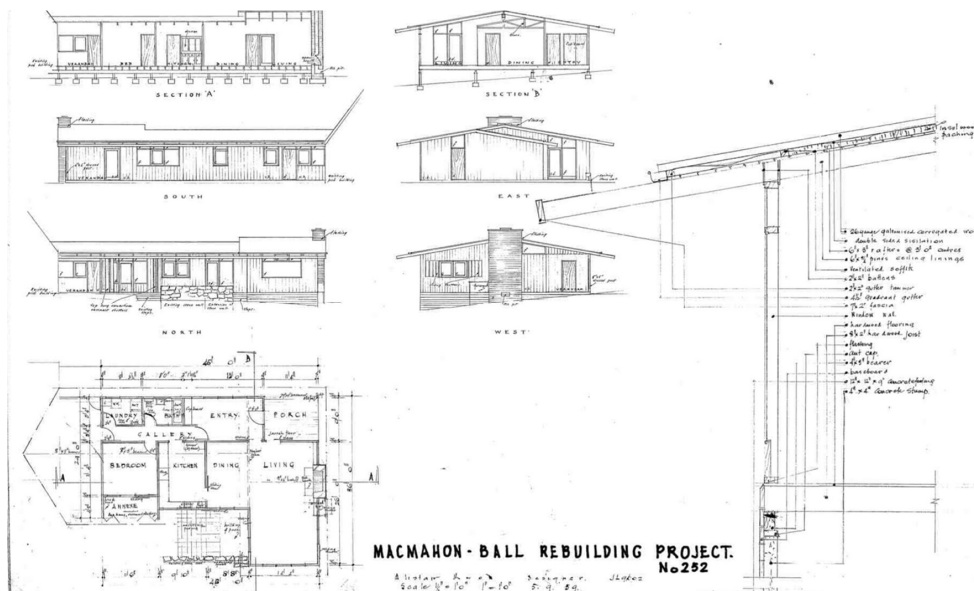


Figure 8. The Knox plan for the Ball rebuilding project, 1959. (Source: A Knox 5 September 1959, Job No 252, Alistair Knox Foundation).



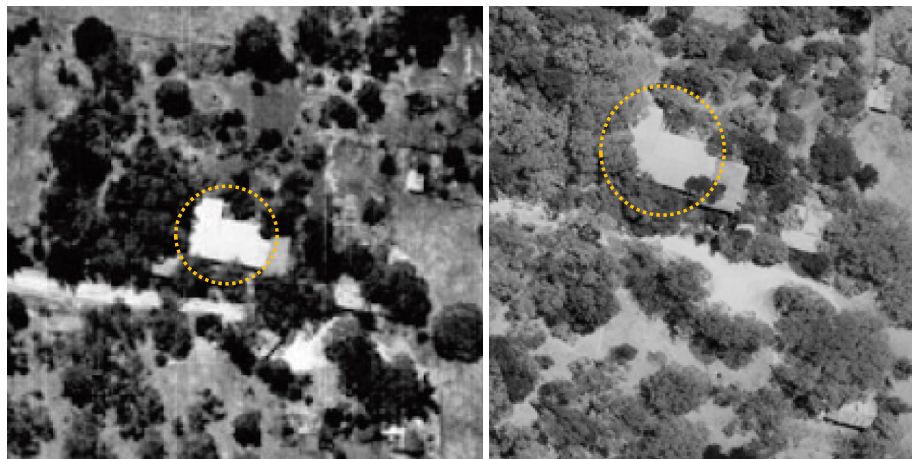


Figure 9. Close up of the subject complex from 1963 (left) and 1978 (right). Note the main house that replaced the 1890s cottage in 1959, outlined in yellow. (Source: 'Melbourne Project' 1963 & 'Diamond Creek' 1978, via LANDATA)



Figure 10. A photo of the Ball house, undated. (Source: T Knox nd, Alistair Knox Foundation).





Figure 11. The study, built in 1948. (Source: T Knox nd, Alistair Knox Foundation)

*William Macmahon Ball, owner 1945-1986*

The following has been abbreviated from *The Australian Dictionary of Biography* entry for William Macmahon Ball:

*William Macmahon Ball (1901-1986), professor of political science, diplomat, author, journalist and radio broadcaster, was born on 29 August 1901 at Casterton, Victoria...An indifferent scholar, he left Caulfield Grammar School...without matriculating. He became a student-teacher at New College, Box Hill, and qualified for entry to the University of Melbourne (BA Hons, 1923)...*

*On 24 May 1924 at the Congregational manse, Eagle Junction, Brisbane, he married Iris Shield, a journalist; she died childless in 1926. At St Paul's Church of England, Gisborne, Victoria, on 20 December 1928 he married Muriel Katrine ('Kay') Sandys Cliffe Anderson, a clerk.*

*In 1929 Ball won a Rockefeller travelling fellowship in political science, enabling him to study under Harold Laski at the London School of Economics and Political Science...In 1932 he returned to the University of Melbourne as lecturer (later senior lecturer) in political philosophy and modern political institutions...*

*Ball's stature increased steadily throughout the troubled and emotional decade that led up to World War II: abroad were the Spanish Civil War, the regimes of Hitler, Mussolini and Stalin, and Japan's rampage in China; at home, the Depression, the dismissal of Premier Jack Lang, and the New Guard. In such unquiet and strident times, Ball's voice was one of calm and reason. He was active in the adult education movement as a university*



*extension lecturer...In this period, too, he began giving talks for the Australian Broadcasting Commission, a medium in which he shone. He also wrote articles on international affairs for the Melbourne Herald.*

*Working for disarmament and the peaceful settlement of international differences, Ball published his views in Possible Peace (1936)...In May 1938 he departed on another visit abroad. After witnessing the German occupation of the Sudetenland, he was given a conducted tour of the notorious Sachsenhausen concentration camp - a horror which never left his memory...*

*Invited by Prime Minister (Sir) Robert Menzies, in February 1940 Ball was appointed controller of broadcasting in the Department of Information. In June he became responsible solely for short-wave broadcasting...His section was transferred to the ABC in July 1942...Ball remained with the ABC and added to his public laurels by chairing the popular radio debates, 'Nation's Forum of the Air'.*

*In 1945 'Mac' Ball returned to his university as senior lecturer-in-charge of the department of political science...That year he was part of Evatt's entourage at the United Nations Conference on International Organization in San Francisco, USA...*

*Appointed British Commonwealth member of the Allied Council for Japan, and Australian minister to that country, Ball assumed office on 3 April 1946...*

*For a short while Ball worked as a special foreign affairs writer on the Melbourne Herald where his elegant articles, largely on relations with South-East Asia, enhanced that newspaper's best traditions...In 1949 he settled with contentment into the job [the foundation chair of political science at the University of Melbourne] which he was to retain until his retirement in January 1968...*

*The Balls lived in a several-times-extended timber house in semi-rural Eltham, north of Melbourne. Here Kay's practical abilities and hard work maintained the 'bush and garden' small estate which provided fresh produce for the table and space for Mac to keep his horse...Aided by Kay's splendid table, Eltham saw much quiet but significant entertainment of leading figures in Australian and overseas affairs (Ryan 2007).*

William Macmahon Ball died in 1986 and Katrine Ball died in 1991. Both are buried in Eltham cemetery.

Part of the Ball's land backing onto Bridge Street was donated to Eltham Shire Council and is now a reserve called Macmahon Ball Paddock (EDHS).

*John Harcourt, builder of the pise extension, date unknown (likely c1948-9)*

Journalist John Harcourt was an Eltham resident in the 1930s and 1940s. A pioneer of mudbrick building in Eltham, he was inspired by what he saw at the artists' colony of Justus Jorgensen's Montsalvat, commenced in 1934, and started building pise-de-terre and mudbrick homes along classic French provincial lines from the late 1930s. He continued to build professionally in pise, mudbrick and stone in Eltham (approximately 20 houses) and various other places until about 1950. Harcourt built several of his residences in the 1940s in an area dubbed 'Harcourt Hill' that overlooked Diamond Creek in Eltham (Alistair Knox Foundation; Age 18 November 1972:35; 27 March 1982:39; and 9 September 2000:156).

Harcourt developed an automatic ramming technique which obviated much of the intense labour that ordinary pise required. It also reduced the risk of uneven ramming (Alistair Knox Foundation).



Harcourt, along with Alistair Knox and Peter Glass, played a significant role in the development of the 'Eltham style' of architecture and design and were associated with the development of the Australian bush garden aesthetic.

*Alistair Knox, designer of study (1948) and residence (1959)*

Alistair Knox (1912-1986) was a designer and builder, active in the Nillumbik area between 1946 and his death in 1986. Knox was responsible for over 1266 building designs, including 1000 homes, of which he built approximately 350. Throughout his four-decade long career, Knox was a leading figure in the development of the recognisably regional 'Eltham style' of architecture, and its associated landscapes. Through the sheer number of places designed by Knox in Nillumbik, he remains one of the most influential figures in the Shire's history (Alistair Knox Foundation; Peterson and Kusyk 2014:5-6).

Knox had an interest in design and construction, commencing a Diploma of Architecture and Building Construction at the Melbourne Technical College. Knox left the course after two years (Peterson and Kusyk 2014:9). Following a visit to the Montsalvat artist's colony in 1947, Knox was evidently impressed with the area and the artistic lifestyle that it was becoming known for. This love of the area was solidified in 1949, when he moved his young family to Eltham. The move coincided with Knox leaving his job as a bank clerk and establishing the Knox Building Service in Eltham (Age 19 July 1954:10; Peterson and Kusyk 2014:10). Knox was highly involved with the semi-rural, alternative lifestyle that Eltham and its surrounds had to offer (Alistair Knox Foundation).

The local environment was a constant inspiration to Knox through his career. Many of the homes he designed complemented their Australian bush settings, and his work pioneered forms including flat rooflines, clerestory windows and expanses of glazing that provided a connection between interiors and their settings (NMA 2021). Knox's work was characterised by its use of second hand bricks, large eaves, natural materials, timber walls and large beams. Perhaps most importantly, Knox was associated with the use of mudbrick and adobe walls (NMA 2021). Knox paid special attention to the placement of buildings in relation to their landscapes and the use of Australian plants.

Knox's work can be broadly broken into two phases: work completed before 1955, and work completed after 1955. The earlier phase focused on simple building forms, following the style of prominent architects such as Frank Lloyd Wright (Woodhouse 2007). His work was also greatly influenced by the economic austerity brought about by World War II, which encouraged him to use inexpensive and unconventional materials. The later period was defined by Knox's sophisticated, highly individual designs, often with reclaimed materials. These houses consciously explored uncommon forms and were almost exclusively built in mudbrick (Alistair Knox Foundation).

As Knox was not an architect, his work was often informed by his knowledge that arose from his experience as a builder. Many of his designs were economical and only required limited skills. A preference for reclaimed materials assisted the inexpensive draw of his designs (Alistair Knox Foundation). Although many houses were individually designed, Knox also produced 'spec' houses for general sale (Age 19 July 1980:101).

Towards the end of his career, Knox worked extensively with other designers. Some of these included John Pizzey, Peter Jarvis, Barbara Telford, Robert Marshall and Bohdan Kyzuk (Alistair Knox Foundation). Outside of his profession, Knox served as an Eltham Shire councillor in the period 1972-75, and as its president in 1975. Passionate about community activism and the environment, Knox consulted with groups across Melbourne to fight inappropriate development and loss of public space (Peterson and Kusyk 2014:14-15). Additionally, Knox wrote and spoke extensively on matters about



building and landscaping. Knox was a founding member of the Australian Institute of Landscape Architects, lectured on environmental design and building, and received an honorary doctorate in architecture from the University of Melbourne shortly before his death (Woodhouse 2007).

## DESCRIPTION

61 York Street, Eltham, is located at the eastern end of York Street on a large heavily vegetated parcel of land. The parcel is divided into north and south parts by a curved shared driveway (Figure 12). The southern portion of the land is also known as 61A York Street. The site comprises a complex of key buildings of interest built between 1948-1959 (Figure 12), including:

- a house comprising an originally freestanding mudbrick study built in 1948 to a design by Alistair Knox; a pise extension with attic floor constructed c1948 to a design by John Harcourt (an addition to now demolished 1890s house); and a timber dwelling built in 1959 also designed by Alistair Knox (replacement of the 1890s house); and
- 61a separate 1950 mudbrick pottery studio (understood to be extended with a two-storey addition).

All buildings of the complex were built for Professor (William) Macmahon Ball. A later carport is located to the south of the main mudbrick dwelling.

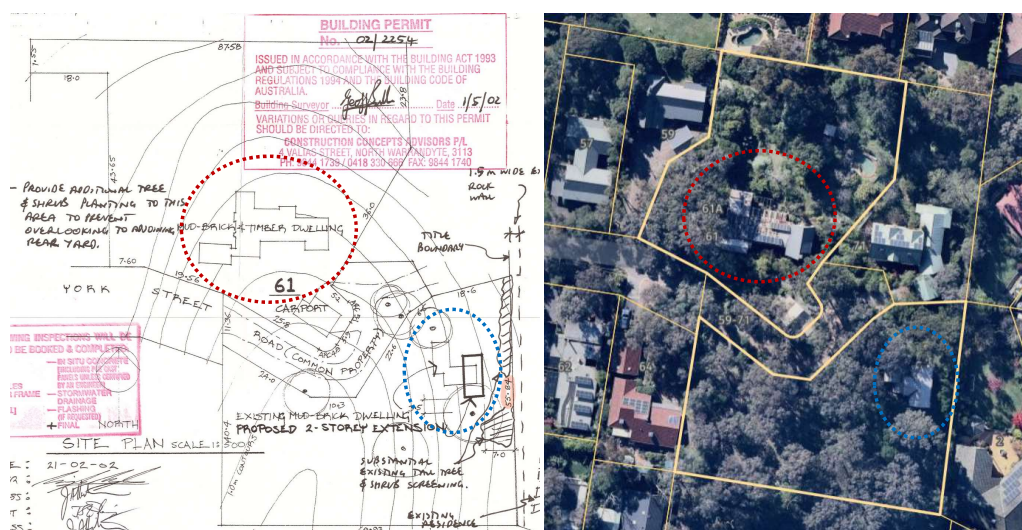


Figure 12. Site plan prepared in 2002, showing the structures of interest (left), and the aerial view of the subject site, with the site boundary outlined in thicker yellow lines (right). Note the house comprising 1948, c1948 and 1959 sections (outlined in red) and a freestanding 1950 pottery now converted to a house (blue). (Source: BP 02/2254; Nearthmap 2021)

The 1948 study is a simple rectangular mudbrick room, with gable roof. The building is dominated by a mudbrick chimney with a stepped chimney breast and brick cappings, centrally located on the building's western elevation (Figure 14). The study was built to accommodate large expanses of bookshelves, historic images show a single vertically proportioned window along the southern elevation and a series of glazed doors to the north. Internally the building is distinguished by its exposed timber-trussed roof structure and timber lined ceiling.



The pise section of the house, built by John Harcourt in c1948, is rectangular in form, with a steep gable roof that allows for an attic area internally. The north end of the gable is recessed accommodating a balcony, while a shed dormer window is evident on the eastern plane of the roof. A chimney is present on the southern elevation of this building (Figure 13).



Figure 13 A 1992 image of the pise attic section of the house. (Source: Bick 1992)

The 1950 mudbrick pottery is believed to be the building on the southern portion of the site, which is now converted to a house and added with a two-storey timber addition that replaced the lower wing.

In 1959 Alistair Knox designed an extension to Harcourt's pise building. L-shaped in plan, this extension is attached to Harcourts building at its eastern end. It is of timber construction with a low - pitched corrugated iron gable roof. When originally built the extension did not abut the mudbrick study building which is located to its southwest. Comprising a recessed entry porch, entry, gallery, living/dining room, kitchen and bedroom, the external walls of the extension are lined with unpainted vertical boards above horizontal baseboards. The vertical boards are laid board-on-board. The outer boards are narrower than the inner boards; this provides a subtle textural depth to the wall plane. Windows and doors are timber framed, many with fixed glazed panels above. A broad brick chimney dominates the western elevation. Internally historic images show timber lined ceilings and exposed rafters and beams that follow the rake of the low-pitched gable roof (Figure 15, Figure 16 and Figure 17).





Figure 14. The mudbrick chimney of the study. (Source: Context 2020)



Figure 15. Gallery and entry of the 1959 extension. (Source. T Knox nd, Alistair Knox Foundation)





Figure 16. Living room of the 1959 extension showing brick fireplace and exposed timber raked ceiling (Source. T Knox nd, Alistair Knox Foundation)



Figure 17. An interior view of the study showing mudbrick fireplace and glazed doors along the northern elevation (Source. T Knox nd, Alistair Knox Foundation)

There are a couple of small buildings and a kidney shape swimming pool located in the northwest corner of the site.



## INTEGRITY

Access to the complex of buildings at 61 York Street, Eltham was not possible for the purpose of this assessment. As the site is heavily vegetated only the western elevations of the 1948 study and 1959 extension could be viewed from the public domain. Both these elevations appear highly intact with the study retaining its gable roof form, mudbrick walls and chimney. The 1959 extension retains its low-pitched gable roof form, timber wall linings, brick chimney and original window openings. Overall, these elevations appear highly intact with minimal changes visible to original or early fabric.

Nearmap aerial imagery shows the 1948 study retains its original built form of a rectangular room with corrugated iron gable roof and chimney.

The pise section of the complex designed by Harcourt in 1948 retains its steeply pitched gable roof form. Historical images (Figure 10) show that the roof was originally tiled, however this appears to have been replaced with corrugated iron.

The Knox designed extension built in 1959 retains its L-shaped footprint with low gable roof form and brick chimney.

The pottery studio has been added with a two-storey addition. Further investigation is required to confirm the integrity of this building.

## COMPARATIVE ANALYSIS

The Nillumbik area has a longstanding association with artistic and intellectual communities, going back to the earliest years of the nineteenth century. The period following World War II saw the arrival of a new generation of artists and thinkers, who appreciated the natural surrounds of the area and the like-minded communities that had developed. Many newcomers were attracted by the cheap and readily available blocks that had gone unsold in the numerous subdivisions from the prewar and interwar periods. The area was later referred to as 'the socio-aesthetic centre of Melbourne' and 'a rural Bloomsbury', a reference to the famous group of intelligentsia, artists and philosophers in London (Knox 1980: 76).

The house and study at 61 York Street, Eltham are directly associated with (William) Macmahon Ball, a noted professor of political science, diplomat, author, journalist and radio broadcaster. Ball resided at the site from 1945 until his death in 1986. Ball is intrinsically linked to the fabric of the place, as the 1948 study, c1948 pise house, 1950 pottery and 1959 extension were all commissioned by Ball and his wife Katrine.

In 1946 Ball was appointed British Commonwealth member of the allied Council for Japan. In his book *We Are What We Stand On* (1980) Alistair Knox comments:

*We built his studio around the time he was Australia's delegate in the Japanese peace negotiations. Our small community drew a quiet sense of reflected glory from him as if we felt we were involved in the negotiations ourselves.*

This highlights Ball's prominence in the local community and the sense of pride held by community members in creating a place for Ball to work and live. It is also noted in Ball's biography prepared for the Australian Dictionary of Biography by Peter Ryan that the Ball's property in Eltham 'saw much quiet but significant entertainment' of leading figures in Australian and overseas affairs (Ryan 2007). Ball wrote innumerable articles and book reviews while living at 61 York Street presumably working on many of these from his desk in the study. His publications included the volumes *Japan: Enemy or Ally* (1948); *Nationalism and Communism in East Asia* (1952); and an edited collection of documents



and readings, *Australia and Japan* (1969). The 41-year long direct association of the subject site with William Macmahon Ball enables it to represent this association better than other places or objects in the Shire of Nillumbik.

Within the Shire of Nillumbik, several surviving places are on the Heritage Overlay for their historical (associative) significance in demonstrating their connection to prominent artists, writers, and intellectuals. The following places are comparable to the Macmahon Ball complex of buildings, 61 York Street, Eltham, for their direct association with a person who contributed to the course of the Shire's history of being associated with artists, writers, and intellectuals and for the tangible evidence the physical fabric of the place provides of this association and the achievements of the person.





Southernwood, 250 Bolton Street, Eltham (VHR 2235, HO13). (Source: VHD)

Southernwood, Walter Withers's house, was first built as a four-room cottage in 1891, and in 1903 it was purchased by the artist Walter Withers. The house is of historical significance as the home of the prominent Australian artist Walter Withers from 1903 until his death in 1914. As a member of the 'Heidelberg School' Withers was the first commercially successful painter to come and live in Eltham. Withers played a part in attracting other artists to the area and, thereby, in establishing Eltham's reputation as an artistic community (VHD).



Peter Garner mudbrick studio and adjacent shed 62 Brougham street, Eltham (HO17). (Source: VHD)

The 1969 studio and shed are significant for its use of highly creative structures constructed in the 'Eltham style'. The studio and shed were associated with Arthur Munday, Peter Garner, Lenore Garner and the Montsalvat artists' community more broadly (VHD).



Stanhope Residence and Garden, 10 Peter Street, Eltham (HO149). (Source: VHD)

The c1910 residence is historically significant for its connection with Will Longstaff, the official war artist, Bishop Reginald Stephen (warden of Trinity college in the 1930s) and with the prominent journalist turned builder, John Harcourt, who rented the residence while he and his partner were building their adobe home in the 1940s.

During the 1940s the residence was also connected with the important literary figures, Clem, and Nina Christesen (Clem was the founding editor of the influential Meanjin Quarterly). When owned by the Christesens the residence was visited by a number of distinguished writers, artists, and academics, including the Nobel Prize winner, Patrick White, and the world-famous cellist Mstislav Rostropovich (VHD).





Landscape, 60 Lavender Park Road, Eltham (HO113). (Source: VHD)

The 1926 residence and rear concrete studio are significant because they are connected with the artist, cartoonist and anthropologist, Percy Lesson. During Lesson's occupation (1926-1938) the property became a centre for visiting artists, including Max Meldrum, Justus Jorgensen, Clarice Beckett, 'Jock' Frater and Richard McCann (VHD).



Alan Marshall Bungalow, 13 Park West Road, Eltham (HO147). (Source: VHD)

The 1955 bungalow is significant for its connection with Alan Marshall, a noted author, storyteller and social documenter. While living and working at the bungalow between 1955 to 1972, several of Marshall's important publications were 'wholly written' within its walls. These include his trilogy of fictionalised autobiographies, several collections of highly popular short stories and humorous sketches as well as well as commissioned histories (including the history of Eltham itself). The bungalow was visited by many other famous Australian authors during Marshall's residence (VHD).

The complex of buildings at 61 York Street are also significant as examples of the work of John Harcourt and Alistair Knox. The following select examples compare well to the subject buildings as work by both designers within the Shire of Nillumbik:



Hazel's Cottage, 14 Peter Street, Eltham (HO150). (Source: VHD)

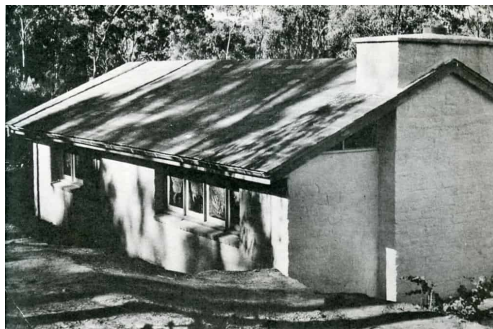
The cottage is historically significant because it was constructed by John Harcourt, the local builder and pioneer of adobe and pise building techniques. The cottage is historically and architecturally significant as an example of the work of John Harcourt and because it features an unusual attic design for that time, which was also used by Harcourt at 4 Fay Street and 61 York Street.





Langi Dorn, 4 Fay Street, Eltham (HO55). (Source: VHD)

The c1940-50 house is historically and architecturally significant as an early example of the use of pise-de-terre and mudbrick building techniques in the Shire and because it is associated with John Harcourt, a pioneer in this type of construction. The house is aesthetically significant because it forms part of a group of mudbrick homes constructed by John Harcourt in "The Hill" area above the Diamond Creek.



Downing-Le Gallienne House and Garden, 12 Yarra Braes Road, Eltham (HO172). (Source: Alistair Knox Foundation)

The house is architecturally significant as an important work by Alistair Knox. Like many other 'Eltham style' buildings, the house was constructed in stages over an extended period of time and featured the extensive use of mudbrick. The house is very unusual in both detail and arrangement - it comprises three separate but linked buildings.

The house is historically significant because it is connected with a number of important figures. It was commissioned by the musician and pioneering composer of modern music, Dorian Le Gallienne, and the economist, Richard Downing (who was later Professor of economics and chairman of the ABC). Several prominent local figures helped in the house's construction, including the renowned artists Clifton Pugh and John Howley, and the well-known actor Wynn Roberts. Le Gallienne and Downing's commission of the property illustrates the way in which intellectuals were drawn to Eltham in the period following the end of World War II. The design of the house and its bush setting epitomise the ideal of the 'Eltham lifestyle' that was developed from the 1940s to the 1960s.

### Discussion

The Macmahon Ball House and Study at 61 York Street, Eltham, compares favourably with the above Individually Significant places for its demonstrated association with the life or works of a person of importance to the Shire of Nillumbik. It is particularly comparable to the above examples as the site served as Macmahon Ball's home and long-time private workplace during his lengthy career as a noted professor of political science, diplomat, author, journalist and radio broadcaster.



The Macmahon Ball House and Study complex compares favourably against the above Individually Significant places for its demonstrated association with the life or works of a person of importance to the Shire of Nillumbik. The earlier examples such as Southernwood (VHR 2235, HO13) and Landscape (HO113) evidence Nillumbik's association with artists of earlier generations, who first attracted their peers to the area. The subject site is particularly comparable to the Peter Garner mudbrick studio (HO17) and Alan Marshall Bungalow (HO147) as examples contemporaneous to the subject site, which represent a later generation of artists and intellectuals who were attracted to the area and established their studios in the immediate postwar period. Despite its continued association with a number of important figures, Stanhope Residence and Garden (HO149) provides less direct comparison, as the house retains intact c1910 fabric and thus the associations are less directly legible from the fabric.

Much like many similar artists houses in the area, the house and study were constructed in stages as needs arose, using simple building forms and materials. In this way the house and study are significant for their contribution to the ongoing understanding of the history of the Shire of Nillumbik and particularly Eltham as a centre for artists, writers, and intellectuals.

The portion of the subject site designed by John Harcourt is particularly comparable to 14 Peter Street, Eltham (HO150), as both places are examples of pise homes with steep gable roof forms that allow for attic floors. Along with the example at 4 Fay Street, Eltham (HO55), the subject site is representative of the work being designed and built by Harcourt at that period that was inspired by traditional building forms.

The Downing-Le Galiennie house at 12 Yarra Braes Road, Eltham (HO172), compares well to Knox's mudbrick portion of the subject site. The Downing-Le Galiennie residence was built in stages between 1948 and 1960, a period which very closely coincides with the phases of development by Knox at the subject site. Where the Downing-Le Galiennie house differs to the subject site is that its three stages of building were constructed of mudbrick whereas the two Knox sections at 61 York Street utilise different building materials with the 1959 section being of timber construction. The residence was commissioned by the musician and pioneering composer of modern music, Dorian Le Gallienne, and the economist, Richard Downing (who was later Professor of economics and chairman of the ABC), demonstrating the way in which many moving in intellectual circles were drawn to Eltham in the period following the end of World War II. When considered in the context of the Downing-Le Galiennie house, the subject site evidences the way in which many artistic or intellectual families established themselves in the area and continued to use the sites with additions and alterations in the postwar period.



## **STATEMENT OF SIGNIFICANCE**

### **WHAT IS SIGNIFICANT?**

The Macmahon Ball House and Study at 61 York Street, Eltham, comprising of a study built in 1948 to a design by Alistair Knox, a pise section with attic floor constructed c1948 to a design by John Harcourt, and an extension built in 1959 to another design by Alistair Knox, all for the owner Professor (William) Macmahon Ball, is significant.

Elements that contribute to the significance of the place include:

- 1948 mudbrick study, inclusive of its mudbrick walls, chimney gable roof and original window and door openings and joinery;
- c1948 pise portion of the house, inclusive of steep gable roof form, dormer window, chimney and original window and door openings and joinery; and
- 1959 main portion of the house, inclusive of its original built form, shallow gable roof, vertical timber wall linings and horizontal base boards, and original window and door openings and joinery.

The mudbrick 1950 pottery ('The Pottery') with contemporary extension and the bush setting also contribute to the significance of the place.

### **HOW IS IT SIGNIFICANT?**

The Macmahon Ball House and Study at 61 York Street, Eltham, is of local historic, representative, and associative significance to the Shire of Nillumbik.

### **WHY IS IT SIGNIFICANT?**

The Macmahon Ball House and Study at 61 York Street, Eltham, are of historical significance to the Shire of Nillumbik. Like many properties associated with other local artists and intellectuals houses in the area, the property was developed in stages as needs arose and finances became available, using simple building forms and materials. The buildings show the development of the site as the residence for prominent professor of political science, diplomat, author, journalist and radio broadcaster William Macmahon Ball who lived at the property between 1945 until his death in 1986. The complex of buildings provides important evidence of the collaborative work of key building designers active in Eltham in the postwar period, namely Alistair Knox and John Harcourt. In this way the buildings on the site are significant for their contribution to the ongoing understanding of the history of the Shire of Nillumbik and particularly Eltham as a centre for artists, writers, and intellectuals after World War II (Criterion A).

The mudbrick study at 61 York Street, Eltham, is an important example of the early work of designer and builder Alistair Knox in the suburb. The building is predated only by the English House in Lower Plenty (now Shire of Banyule), and is the first example in Eltham of the earlier building forms and materials that would inform much of Knox's later career as a well-known and prolific local designer and builder. Between 1946 and 1986 Knox designed over 1000 houses, and a number of churches, schools and other buildings in Nillumbik. Knox built approximately 350 of these himself, and he is best remembered for his use of mudbrick throughout many of these sites. Knox was integral in the development of the recognisably regional 'Eltham style' of architecture and landscape practice. Builder John Harcourt also contributed to the complex as a builder of the c1948 pottery studio (likely at today's 61A York Street). Harcourt, along with Alistair Knox and Peter Glass, played a significant



role in the development of the 'Eltham style' of architecture and design and were associated with the development of the Australian bush garden aesthetic. (Criterion D)

The site is significant to the Shire of Nillumbik for its associations with William Macmahon Ball (1901-1986), prominent professor of political science, diplomat, author, journalist and radio broadcaster. Ball lived at the site for 41 years from 1945 until his death in 1986. In 1946 Ball was appointed British Commonwealth member of the allied Council for Japan and was Australia's delegate in the Japanese peace negotiations. Ball wrote innumerable articles and book reviews while living at 61 York Street presumably working on many of these from his desk in his mudbrick study. (Criterion H)





RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as an Individually Significant place.

**Extent of overlay:** To title boundaries

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

Nillumbik Planning Scheme

External paint controls	No
Internal alteration controls	No
Tree controls	No
Outbuildings or fences	Yes - Mudbrick study
To be included on the Victorian Heritage Register	No
Prohibited uses may be permitted	No
Aboriginal heritage place	No

Other

N/A



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Response No:  
9

**Details**

10 Diaosma Road Eltham.

Stage A - 03

Support with changes



## 10 Diosma Road, Eltham

### Choong House and Garden

<b>Prepared by:</b> Context	<b>Survey date:</b> March 2021
<b>Place type:</b> Residential	<b>Designer:</b> Biltmoderne Pty Ltd (house), Wood Marsh (carport), Gordon Ford (landscape/garden)
<b>Significance level:</b> Significant	<b>Builder:</b> Steven Basic
<b>Extent of overlay:</b> To title boundaries	<b>Major construction:</b> 1985-87 (house), 1988 (carport)



Figure 1. West elevation of the Choong House, 10 Diosma Road, Eltham. (Source: realestate.com.au 2016)



Figure 2. Southwestern elevation of the Choong House, 10 Diosma Road, Eltham. (Source: realestate.com.au 2016)



## HISTORICAL CONTEXT

This place is associated with the following historic themes taken from the *Nillumbik Shire Thematic Environmental History* (2016):

### 6 BUILDING TOWNS AND SHAPING SUBURBS

#### 6.6 1960s and 1970s suburbanisation

*From the mid-1960s the main suburban expansion in the former Eltham Shire area was east from Eltham, aided by the construction of the new Fitzsimons Lane (Eltham-Templestowe) bridge in 1963. This expansion was limited by topography and by methods of corridor planning including the green wedge and rural zoning. As a result, the eastwards trend would not extend past Research. The occupants of this new residential area were typically high-income families commuting to work in the city. When author and diplomat Graham McInnes returned to Melbourne in 1969 after leaving in the 1930s, he said that one of the most noticeable differences was that 'Eltham was the country, now it is right in Melbourne'. (Mills & Westbrooke 2016:87)*

*Residents who had established themselves in the early postwar period questioned the bona fides of this new wave of aspiring bushland homeowners. Knox described how 'the rich and affluent eastern suburbanites started casting sheep's eyes at this unkempt bushscape... Eltham was once again under threat from the land profiteer, who would butcher the living qualities of its inhabitants to make their Roman holiday.' On the other hand, the middle-class professionals of this new influx were environmentally conscious, politically well informed and numerous enough to exert a profound effect on the conservation of the surrounding landscape. (Mills & Westbrooke 2016:87)*

*By the 1970s, the aesthetics of the bush that had been developing throughout Australia were influencing the more sought-after city fringe suburban developments. These suburban developments adopted some of the trappings of environmental building that had been developed, in part, by the Eltham mud brick pioneers. The environmental thinking had been translated into a set of standard approaches, including preservation of existing trees, adaptation to contours, underground services and establishment of a network of linked bush parks. Road planning strategies such as cul-de-sacs enabled isolation from busy through streets. Roads were softened with low-profile gutters and the transition from road to driveway was softened with the use of paving materials in the road surface. Even so, these developments substantially remade the landscape. (Mills & Westbrooke 2016:88)*

*In the 1970s the Nillumbik area and nearby suburbs were graced with a number of residences designed by up-and-coming architects of the day including Kevin Borland, Charles Duncan and Morrice Shaw. Philip Goad describes their works as 'free and inventive compositions' and 'programmatically innovative'. Their designs featured informality, woodsy detailing, mezzanine floors and sliding doors opening onto timber decks. Other features included bagged brick, or brick seconds, window frames stained brown or pale eucalypt green and diagonal timber lining boards. (Mills & Westbrooke 2016:89)*



*Some architects chose not to blend with the bush environment. Peter Burns declared that his own 1967 house at Kangaroo Ground made 'no attempt to blend with the natural landscape but stands out as something distinctively man-made'. Perched high on a ten-acre site, the house was severely triangular in plan with inward sloping unpainted fibro walls and a flat metal deck roof. The house was 'a cheap practical envelope for living'. Acrylic domes replaced conventional windows. Burns did, however, consider himself a conservationist, installing 'a non-polluting system for the disposal of household wastes', as well as underground power and telephone cables. The clean white geometrical form of Ken Robinson's Zadnik house, located on a steeply sloping wooded site in Banoon Road, Eltham, was similarly intended to stand out 'in contrast to the rugged terrain'. The walls were of painted bagged brick and the roof of metal deck. It featured as an Age-RAIA House of the Week in 1975. (Mills & Westbrooke 2016:90)*

## LOCALITY HISTORY

Eltham, situated in hilly country northeast of Melbourne, is located on the country of the Wurundjeri-willam clan of the Woi wurrung, one of the five tribes of the Kulin Nation. A small, short-lived reservation south of Eltham on the Yarra River was set aside for Aboriginal people in 1852. The area is situated near the junction of the Yarra River and its tributary, Diamond Creek.

Pastoral settlers moved into the area from around 1840 and took up pastoral leases (Bartolomei 2008). It was located proximate to the track used by the Ryrie brothers to provide access between their 'Yering' run, near Yarra Glen, and the Heidelberg village (Victorian Places 2015). In 1841, William Bell and Thomas Armstrong occupied land for a squatting run east of Diamond Creek in what was to become the Eltham district (Eltham District Historical Society 2000: np).

A plan for 50 allotments in the Township of Eltham, Parish of Nillumbik, was announced in 1848, with the name officially gazetted in 1851. The township, near the junction of Diamond Creek and the Yarra River, was laid out in an area bounded by Baxter Street, Diamond Creek, Dalton Street and Bolton Street. The township plan shows that a track to a bridge across Diamond Creek and Main Road was noted as the 'Track from Melbourne' (Butler 1996:32). This area is known today as Eltham South.

Present-day Eltham, however, was not established on the township reserve, where land proved difficult to sell. Instead, the town grew from allotments in Section IV of the Parish of Nillumbik located on Main Road, to the north of Dalton Street and the township reserve (Butler 1996:32). In 1851, Melbourne property developer Josiah Holloway purchased one square mile (or 5120 acres) of this land, which he subdivided immediately, calling the subdivision Little Eltham. The central area of current-day Eltham is contained within the Little Eltham subdivision. A number of large farming properties around the township were purchased from the early 1850s (*Nillumbik Parish Plan* 1951).

Eltham township grew during the 1850s around a cluster of buildings at the corner of Pitt Street and Main Road within the Little Eltham subdivision. Located on the road to the Caledonia goldfields, this small township became a service centre for the surrounding mining areas, and by 1854 supported a population of 282. In this period Eltham had two hotels, a brewery, and a scattering of shops along Main Road (known in the 1850s as Maria Street). The town had a steam flour mill operated by Henry Dendy, and a tannery was located on the Diamond Creek. The Little Eltham School, opened by the Church of England, was built in 1853 near Swan Street and closed in 1872. A second school, a national school (later Eltham Common School No. 209) opened in Dalton Street in 1856. A Wesleyan chapel opened in 1858. Public buildings constructed at this time included a courthouse and a police



station in Main Road in 1860. The 'flat land', which is now the Eltham Lower Park, near the Yarra, was used as a racecourse (Kellaway cited in Butler 1996:32-33; Eltham District Historical Society 2000:np). A cemetery was established in 1858. The township and wider area was administered by the Shire of Eltham, established in 1856.

Between the 1860s and the 1880s, Eltham supplied food and produce for the goldmining communities of the Caledonia goldfields at Queenstown (St Andrews) and Panton Hill. It also became a stopping place on the route to the Woods Point diggings. Eltham's population grew in response (*Victorian Places* 2015).

A Primitive Methodist chapel was built in 1860. The following year St Margaret's Anglican Church, designed by the notable Melbourne architect Nathaniel Billing, was built. In 1881, a Wesleyan church was constructed by George Stebbing to the design of Melbourne architects Crouch and Wilson (Butler 1996:33). A new state school, constructed of local sandstone, opened in 1876.

Several large properties surrounding the township had absentee owners, who subdivided their properties into smaller farms either for lease or for sale. The smaller properties, especially in the Little Eltham township, were run by farmers who often made a modest living as wage labourers. Like many later Eltham residents, they were attracted by cheap land and the country life (Butler 1996:33).

In 1884 Eltham was described as:

*... a pretty little township on the Yarra Flats road ... It has a population of nearly 400 inhabitants, but in addition it is the centre of a large district extending over 208 square miles, having a population of 2344. The land in the district is mostly used for grazing purposes, although as a rule the small farms grow a good deal of wheat, oats and other agricultural produce. A large quantity of fruit, especially raspberries and strawberries, is also produced (Illustrated Australian News 20 December 1884, cited by Carlotta Kellaway in Butler 1996:33).*

The *Australian News* noted that gold had been found in the vicinity of the township, 'but not in remunerative quantities' (cited by Carlotta Kellaway in Butler 1996:33).

In the 1880s agitation began for the extension of the railway line from Melbourne to Heidelberg to serve Eltham and districts further afield such as Kangaroo Ground. The railway station in Eltham opened in 1902, however the line was never extended to Kangaroo Ground. The railway brought excursionists from Melbourne, many of whom picked wattle during the flowering season, and focused development of the Eltham township around the railway station. Eltham was a picturesque village with the advantage of its proximity to metropolitan Melbourne and to attractive countryside with farms and uncleared stringybark forest (*Victorian Places* 2015). The bush scenery attracted artists, writers and nature-lovers.

In 1903 the *Australian Handbook* described Eltham as part of an orcharding and grazing district. In 1901, 4289 acres were under cultivation, of which 2506 acres were planted with orchards and market gardens. The township, with a population of 377, included a state school, a branch of the Commercial Bank, and Catholic, Anglican, Wesleyan Methodist and Primitive Methodist places of worship (cited in *Victorian Places* 2015). From 1909, rural properties were increasingly subdivided to create residential estates on the outskirts of the Eltham township (Mills & Westbrooke 2017:69).

The electrification of the railway line was extended to Eltham in 1923, eliminating the need to change to steam train at Heidelberg and allowing faster through-trains and shorter commuting times. The



establishment of new residential estates in Eltham followed (Mills & Westbrooke 2017:71). Reflecting the town's growth, a higher elementary school was opened in 1926 (Victorian Places 2015).

Eltham was described in 1940 as 'residential, horticultural, dairying and grazing ... a beauty spot for artists and picnickers'. By this time, the town had three recreation reserves, swimming baths, tennis courts and a fire brigade (Victorian Places 2015).

Eltham has attracted a number of writers and artists over the years. The landscape painter Walter Withers (1854-1914) moved to Eltham in 1902 when the railway opened; other artists, including members of the Heidelberg School, painted in the area in the open air. Clara Southern and May Vale, landscape painters and students of Frederick McCubbin, settled in the region. Vale resided at Diamond Creek and Southern at Warrandyte (Bartolomei 2008). The war artist Will Longstaff also lived in Eltham for a period. From 1910, painter William 'Jock' Frater and cartoonist Percy Leason often camped and painted in the area. Artist Justus Jorgensen established the notable Montsalvat artists' colony buildings, on land he purchased in 1934. Seeking a closer engagement with the natural environment, the establishment of Montsalvat, with its adobe and rammed earth buildings, influenced future mudbrick construction in the area. Several local designers, including Alistair Knox, specialised in mudbrick housing in the postwar period (Victorian Places 2015). Others who have been inspired by Eltham and have made the Nillumbik region their home include landscape architect Edna Walling; authors Alan Marshall and Carolyn Van Langenberg; artists Clifton Pugh and Danila Vassilieff; composers and musicians Graeme and Roger Bell; jewellers and sculptors Michael Wilson, Simon Icarus Baigent and Matcham Skipper; writer CB Christensen; poet Chris Wallace-Crabbe; and actor Kerry Armstrong (Bartolomei 2008; Pierce 1987:354).

Eltham experienced significant postwar development with a number of residential estates subdivided and put up for sale. The population of the town increased steadily as a result. In 1933, only 927 residents were recorded in the town in 1933; this had increased to 7177 residents in 1971. As a result, Eltham High School opened in 1950 and the Catholic Ladies College was relocated to Eltham in 1971 (Victorian Places 2015). The Eltham War Memorial Trust Baby Health Centre opened in 1951. New shire offices opened in 1965, and Eltham College commenced classes in 1974 (Eltham District Historical Society 2000:np).

A distinctive style in local building emerged in Eltham in the postwar period, with a strong use of natural materials, low form structures, and an integration with the natural environment. Houses were often sited in bush gardens, especially after the 1970s. This style was also adapted to community buildings in the area, with the Eltham Library being constructed in mudbrick and recycled timbers in 1994 (Eltham District Historical Society 2019).

The Shire of Eltham became part of the Shire of Nillumbik in 1994, with a small area becoming part of the City of Banyule.

## **PLACE HISTORY**

The Choong House, built in 1985-87 for Ken Choong, a partner in LIDI, and the Choong family. It was designed by architects Roger Wood, Randal Marsh and Dale Jones-Evans who had established their design practice, Biltmoderne Pty Ltd, in Melbourne in 1983. The standalone carport was designed in 1988 by Wood Marsh (Figure 3) (Mooney 2017). Steven Basic is credited as the builder (Mooney 2017).

Influenced by the mudbrick homes in the area, Biltmoderne referenced the modular and handcrafted quality of solid masonry construction for the residence, while introducing a lightness and vigour



through more fluid architectural forms (Figure 3). Instead of using mudbrick, however, limestone quarried from Mount Gambier (South Australia) was selected as a primary building material (Mooney 2017). Furniture for the house was also designed by Biltmoderne as part of the project (Age 2 June 1987:25). A small garden featuring native plants by renowned garden designer (and Eltham local) Gordon Ford was also a feature of the design (Mooney 2017).

Biltmoderne described the Choong House as follows:

*The formal dynamic of the Choong House is generated by the apparent collision and cantilever of disparate elements set against the weight and undulation of a spinal wall. The result of the composition is proudly dislocated from its suburban context. The spinal wall also serves as a point of reference both topographically and architecturally. Its position on the site acts (as a vertical cantilever) to locate the overall composition. Constructed from limestone and aluminium siding, the building operates as a positive, solid form as well as a reflecting, translucent object. This duality, combined with the lack of even perimeter, offers the building to the viewer as being non-specific and abstract (Jahn 1996:171).*

Sydney architect and author, Graham Jahn, wrote that the Choong House was distinguished from its peers by being the antithesis of the sensory Australian pavilion. It, in fact, 'suggests the reverse, affecting its occupants more overtly than the landscape which surrounds it, nevertheless relying on the subtlety of the context for its total idea' (Jahn 1996:169). Jahn continued

*Part of the proposition of the Choong House appears to be that true suburbia...should allow buildings to be non-continuous objects within their sites and not conform to notions of planned relationships in an overall sense. The idea of the sculptural object, free of conventional motive and reliant on the sensual experience of its formal presence, is truly an extension of abstract modernism free of the stylistic rules which it is normally associated. Some similarity could be drawn between Biltmoderne's work and the domestic designs of Harry Seidler in a conceptual rather than a formal way, where over-complexity of some angles and space ultimately demand rest (Jahn 1996:171).*

The Choong House design won the 1987 RAI Victoria Merit Award for Outstanding Architecture (Heritage Alliance 2008:201). The house was profiled in the media and in books on architecture, including Graham Jahn's *Contemporary Australian Architecture*, first published in 1994.

A subdivision of the property to allow four additional allotments was submitted in 2018 (BP 3 September 2018).



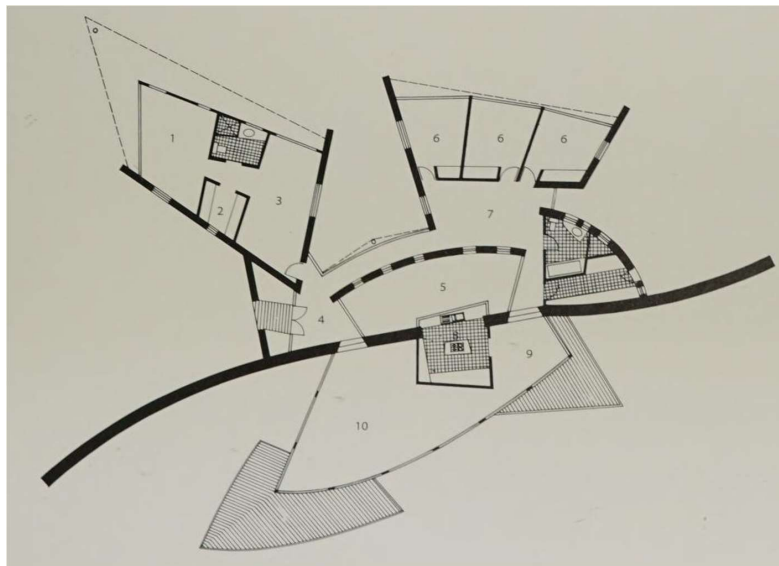


Figure 3. A floor plan of the Choong House. The numbers designate the following: 1 Master bedroom; 2 Dressing room; 3 Study; 4 Entry; 5 Courtyard; 6 Bedrooms; 7 Play area for children; 8 Kitchen; 9 Dining area; and 10 Living area. (Source: Jahn 1996:171)

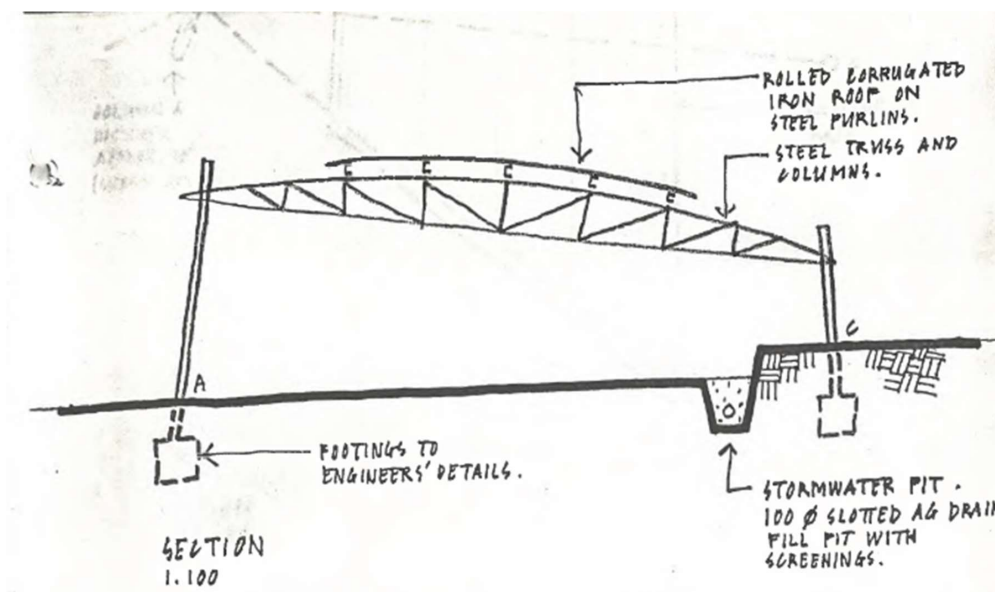


Figure 4. Plans for car port at the Choong House by architects Wood Marsh. (Source: BP, undated)

#### *Biltmoderne, architects, and Wood Marsh, architects*

Biltmoderne Pty Ltd was founded in 1983 by recent RMIT graduates Roger Wood, Randal Marsh and Dale Jones-Evans. The partnership rapidly gained a public profile in Melbourne's architectural scene, becoming well-known for nightclub fit outs and furniture and exhibition design (Built Heritage 2020:160).



In 1987, established Sydney architect Phillip Cox observed that Biltmoderne's individual style was receiving acclaim within architectural circles in Australia. Describing the firm as 'highly creative in a rather narrow field', he stated that they took 'Russian constructivism, a style of architecture popular before the Revolution...and made it incredibly trendy' (*Sydney Morning Herald* 19 November 1987:54). A newspaper article in 1986 described Biltmoderne as 'the grooviest architects within cooee' who zipped around redesigning nightclubs, asymmetrical swimming pools, many-roofed houses, angular couches, [and] wicked point tables' (*Age* 29 August 1986:29). An exhibition of furniture and architecture held at the National Gallery of Victoria in 1987, entitled 'From Robert Adams to Biltmoderne: the architect as designer', featured the firm's work (*Sydney Morning Herald* 19 November 1987:54).

Biltmoderne's projects included refurbishment of the Palace Theatre in Bourke Street, Melbourne, in 1986 to form the Metro Nightclub; the refurbishment of the Chasers Nightclub in Chapel Street, South Yarra; and the Inflation Nightclub in Melbourne in 1985; the latter project won a merit award from the Royal Australian Institute of Architects in the same year. The firm also refurbished Sweetman's Restaurant in Richmond and designed the Macrae and Way film production office, built in Francis Street, South Melbourne, in 1985 (*Age* 16 September 1986:14 and 21 July 1987:11).

Co-founder Jones-Evans left Biltmoderne in 1987 and took up practice as an architect and artist in Sydney in 1996, while Wood and Marsh formed their practice, Wood Marsh Architecture, in Melbourne in 1987 (*Built Heritage* 2020:160; Mooney 2017).

#### *Gordon Ford, landscape designer*

Australian landscape designer Gordon Ford (1918-1999) was a pioneer of the natural Australian style of landscape design. Growing up in country New South Wales, he settled in Eltham, Victoria, after World War II. Ford began landscaping work in 1952-54 under noted landscape designer Ellis Stones (1895-1975), before commencing his own landscape company, working in partnership with his Eltham neighbour, landscape architect Peter Glass (1917-1997) in the 1960s and 1970s.

Over his 50-year career Ford became an important landscape designer and constructor. He had a significant influence on the evolution of a natural Australian style from the 1950s, alongside his predecessors and mentor (Edna Walling and Ellis Stones) and peers (Alistair Knox and Peter Glass). Ford, along with Glass and Knox, was instrumental in the foundation of the Australian Institute of Landscape Architects, established in 1967 (Alistair Knox Foundation).

Ford believed that garden and buildings should form a fully integrated whole, rejecting the notion that a house was simply surrounded by a garden (David Bick cited in Context 2010). Ford favoured Australian native plants, but integral to his design philosophy were spatial considerations (juxtaposing mass and void and concealing boundaries) and foliage texture and shape (Reid 2002:228). He worked on many commissions for domestic gardens, public parks and institutional landscapes. Noted landscape designs include those for his own properties, the Boomerang Residence, 195 Laughing Waters Road, Eltham, c1970 (HO111) and 'Füllung', 76 Pitt Street, Eltham (HO153), as well as the Billabong in the VHR listed Royal Park, Parkville (H2337), and for Monash University.

Ford died at home in 1999.

#### **DESCRIPTION**

The Choong House at 10 Diosma Road, Eltham, is a substantial house constructed predominately of limestone blockwork, built in 1985-1987 to the award-winning design of architects Biltmoderne for



owner Ken Choong. The house is centrally sited on an irregularly shaped, heavily vegetated block. It is accessed by a narrow driveway to the west that runs southwards from Diosma Road (Figure 5). The land falls away from the centre of the allotment to the south and west.

Water and landscape elements, designed by notable landscape designer and Eltham local, Gordon Ford, are skilfully incorporated with the architectural design of the Choong House. The house references the 'Eltham style' mudbrick home in the way it sits solidly in the landscape. The tactility of its weathered, fortress-like limestone walls are softened by the fluidity of the curving sculptural form, creating what Kate Mooney referred to in a 2017 retrospective as 'an endearing paradox' (Mooney 2017). In this sense, the Choong House exhibits elements of organic architecture, with the design responding sensitively to the topography of its site and use of earthy materials. The weightiness of its masonry walls is counterpoised by large areas of glazing and sections of ribbed aluminium cladding.

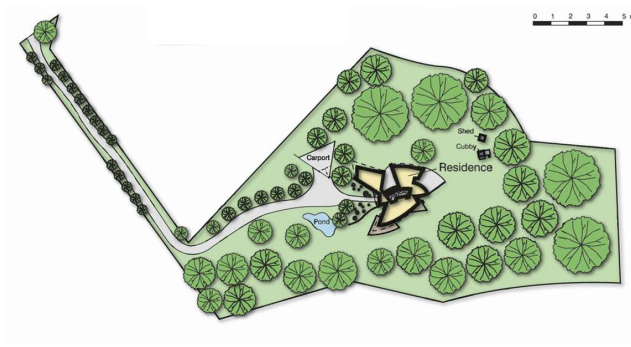


Figure 5. Site plan. (Source: Realestate.com.au 2016)

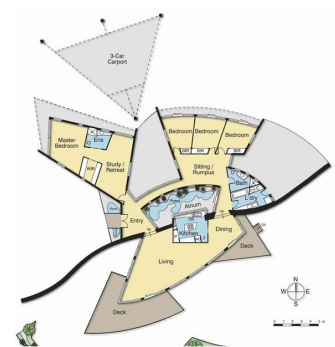


Figure 6. Floorplan. (Source: Realestate.com.au 2016)

The house is arranged around a central limestone spinal wall that runs in an east-west direction extending beyond the enclosed spaces of the house into the landscape. It forms the southern wall of a central atrium from which radiates a series of geometrically distinct wings. Three wings containing the main bedroom suite and study, a set of three secondary bedrooms and the bathroom and laundry are located to the north of the spinal wall and also incorporate limestone wall elements. The wing containing an open plan living zone is located to the south and features large areas of glazing. (Figure 6).

Each form has an independent flat roof that creates a jigsaw-like footprint when viewed aerially (Figure 7). When viewed from the front façade, the building presents as a sculptural arrangement of limestone walls (Figure 8). At the centre of this composition, the entry to the house is located between two high walls curving towards each other and is accessed by a small footbridge over a pond (Figure 9).





Figure 7. An aerial view of the Choong House, 10 Diosma Road. (Source: Nearmap 2021)

Where the spinal wall projects at either end of the building it creates a series of semi-enclosed outdoor spaces which reflect the curved sculptural forms and irregular geometry of the house. (Figure 11).



Figure 8. On approach, the building presents as a collection of limestone walls. (Source: ArchitectureAU 2017)



Figure 9. The entry to the house. (Source: ArchitectureAU 2017)





Figure 10. Large expanses of glazing create window walls, allowing light and landscape to penetrate the internal spaces. Aluminium cladding (right image) and glazing work together to add a lightness to the building. (Source: ArchitectureAU 2017)

Water, a leading design principle of landscape designer Gordon Ford, is integrated throughout the property's bush garden landscaping and into the building and its courtyards. Ponds featuring at the entrance to the house as well as in the atrium at the heart of the residence. Ford's signature volcanic boulders and native groundcover plantings complete the design. As the planned landscaping falls away from the house's immediate surroundings, natural vegetation covers the remainder of the site, mostly mature eucalypts (Figure 11).



Figure 11. The intersection of curved and straight walls creates outdoor spaces with a sense of enclosure. Aluminium cladding and glazing work together to add a lightness to the building. Ford's bush garden landscaping blends seamlessly with the surrounding natural vegetation (Source: ArchitectureAU 2017)



Figure 12. The central atrium garden features Ford's signature interplay of water and volcanic rock with delicate native plantings. (Source: ArchitectureAU 2017)

A carport located to the northwest of the house was built for Ken Choong in 1988 to a design by Wood Marsh, an architectural firm founded by two of the original partners of Biltmoderne. The structure is open on all sides and constructed of steel. The main piers are set on dynamic angles, with three curved, exaggerated steel trusses forming the roof structure (Figure 13).





Figure 13. The steel carport designed by Wood Marsh and constructed in 1988. (Source: ArchitectureAU)

## INTEGRITY

10 Diosma Road, Eltham is highly intact with minimal to no changes visible to original and early fabric. The building retains its complex, flat roofed form, designed around a limestone spinal wall and atrium. Mount Gambier limestone walls, aluminium cladding, glazing and pattern of openings are also in evidence.

The integrity of the house is greatly enhanced by the high level of intactness of these main elements, including details such as the expanses of glazing and aluminium cladding, and elements of Ford's landscape design including the various forecourt and garden spaces, ponds, volcanic boulders and native plantings. The carport, constructed in 1988, shortly after completion of the Choong House, has retained its original sculptural form and has not been subject to visible changes. Overall, the site has very high integrity to the designs of Biltmoderne, Wood Marsh and Gordon Ford.

## COMPARATIVE ANALYSIS

Architect-designed homes became more common in Nillumbik, and its surrounds, from the 1970s. This period saw up-and-coming architects turn their hand to designing residences in the area, many of which responded to the tradition of informality, natural materials and integration with the natural environment that had become hallmarks of the 'Eltham style'. Many of these designs, however, exhibit aesthetic differences that reflect a wider engagement with evolving ideas within Australian architecture being explored within the profession at the time of their construction. Built in the mid-to-late 1980s, the Choong House both references and departs from the 'Eltham style' mudbrick homes that proliferated in the 1950s and 1960s and continue to be used in housing design in the area today.

In his 1991 book, *New Spirit of Architecture*, Peter Cook showcased the work of 41 international designers. wrote that the was Australia. Cook observed that the hotbed of 'post-tech' architecture internationally was Australia, identifying 'invention' as a mainstay of residential design in Australia during the period 1976 to 1991 (cited in Jahn 1996:11). Over these years, a small group of architects in Melbourne experimented with adventurous three-dimensional compositions and minimal detail, consciously avoiding any obvious relationship with the outdoors. The Choong House is an example of this work (Jahn 1996:11).

The Choong House sits solidly in the landscape. Its form, with its irregular, abstract and undulating sculptural geometries, infers a connection with the organic forms of the surrounding landscape. However, the dynamic forms and contrasting materials of the house are consciously articulated from the natural world. It presents as a discontinuous sculptural object within the landscape rather than



striving to integrate with it materially or formally. In this sense, the architecture of the Choong House is more 'an extension of abstract modernism' (Jahn 1996:171) than having a strong affinity with the romantic and earthy Organic architectural style that influenced the development of the 'Eltham style'.

Throughout Nillumbik there are hundreds of 'Eltham style' mudbrick homes, several of which are protected on the Heritage Overlay. Other high-quality architect-designed houses in the locality include the Buzacott House at 80 Kangaroo Ground-Warrandyte Road, Warrandyte North (HO104, built c1955), designed by Fritz Janeba. The Buzacott House exhibits modernist characteristics, with a skillion roof, form designed to respond to its site context and use of natural materials, notably the heavy stone walls. Another comparison is the Wright House at 84 Kangaroo Ground-Warrandyte Road, Warrandyte North (HO105, built 1964), designed by Robyn Boyd, which employs the same use of stone walls as the nearby Buzacott House. Due to their earlier construction date and disparate aesthetic preoccupations, these places provide limited comparison with Choong House. For this reason, it is necessary to compare Choong House with other buildings designed by the firm Biltmoderne, its successor Wood Marsh and the principal architects of these firms, despite them being located outside of the municipality.

#### **Biltmoderne**



Former McCray & Way Film production studios, 3 Francis Street, South Melbourne, Port Phillip City (Contributory - HO440). (Source: realcommercial.com.au, December 2013)

A c1983 building, built for the McCray & Way Film company. The building is noted for its two façades with shaped feature windows, outward curving and zig zag walls, decorative medallions and use of steel and glass. It is a Contributory-graded building in the HO440 Emerald Hill Residential heritage precinct in the City of Port Phillip, and has also been identified as being of potential historical and aesthetic significance as an Individually Significant place (VHD).



Gallery House, 23 Morang Road, Hawthorn, Boroondara City (HO597). (Source: realestateview.com.au, 2004)

Gallery House was designed and built by architect Dale Jones-Evans between 1987 and 1991, who later became part of the innovative architectural practice Biltmoderne. Gallery House is of architectural significance to the City of Boroondara for its innovation recognised through the Royal Australian Institute of Architects Robin Boyd Award for residential buildings in 1991 (VHD).



## Wood Marsh



Gottlieb House, 40 Lumeah Road, Caulfield North.  
 (Source: Google Maps)

A two-storey flat-roofed reinforced concrete house on an elongated and irregular plan designed and built between 1990 and 1994. Its street frontage is dominated by a blank elliptical volume penetrated by a projecting rectilinear bay with fin-like mullions and mirrored glazing, with a steel front door and a simple trabeated concrete slab carport. Recommended for inclusion in the City of Glen Eira Heritage Overlay as an Individually Significant place (VHD).



Merricks House, Merricks, Mornington Peninsula Shire  
 (Source: Wood Marsh)

A 2010 residence designed by Wood Marsh. Designed to respond to the seaside conditions, with a pair of curved rammed-earth walls arcs across the landscape to divide the site and building. To one side of this central spine, views to Western Port Bay are captured and framed; to the other, the vista is back into the slope of the land, away from prevailing winds (Wood Marsh).



Flinders House, Flinders, Mornington Peninsula Shire  
 (Source: Wood Marsh)

A 2012 residence designed by Wood Marsh. At the entry point, a monolithic earthen wall reveals a door. Heavily textured white walls echo the coastal environment and deeply recessed windows are framed in charcoal timber to emphasise their depth (Wood Marsh).



Towers Road House, 9 Towers Road Toorak, Stonnington City (Source: Wood Marsh)

A 2019 residence designed by Wood Marsh. Conceived as an abstract sculptural form, the house curves around a sloping site. The substantial concrete wall has a series of landscaped arcs that extend the garden to the street. The top of the building is a horizontal line, finished with a three-dimensional hemisphere made to look as though it gently penetrates the concrete mass below. Clad in zinc, this form references an inverted roof or dome (Wood Marsh).



### **Discussion**

The Choong House at 10 Diosma Road, Eltham, is comparable to the former McCray & Way Film production studios in Francis Street, South Melbourne, as an example of the work of architectural firm Biltmoderne, despite being built for a fundamentally different purpose. Key common architectural details can be seen across both buildings, namely the aesthetic contrast afforded by the use of heavy sculptural forms with the more dynamic steel and glazed elements.

When compared against later examples by Wood Marsh, key common elements also are evident. This includes the use of monumental masonry walls, sculptural massing, and an abstract response to site context. Choong House bears similarity to Merricks House built 2010, with its similar curved 'spinal wall'. The Flinders House, built in 2012, features a similar entry way to the subject site, with a human scale doorway enclosed within monumental, fortress-like walls. While later Wood Marsh examples show a preference for concrete or rammed earth rather than limestone, all of the examples exhibit the same use of solid materiality and sculptural form that contrasts with more angular glass and steel elements. Choong House, as an excellent example of the work of architects Biltmoderne, can be read as a formative piece of work that foregrounds the aesthetic explorations of many later commissions by its successor, Wood Marsh.



## STATEMENT OF SIGNIFICANCE

### WHAT IS SIGNIFICANT?

The Choong House and garden, 10 Diosma Road, Eltham, designed by architects Biltmoderne and built between 1985 and 1988 for owner Ken Choong, is significant.

Elements that contribute to the significance of the place include the:

- original sculptural built form and scale, including the distinctive 'spinal wall' and central atrium;
- Mount Gambier limestone walls;
- expanses of glazing and ribbed aluminium panels;
- elements of Gordon Ford's original bush garden landscape design, including the central atrium and courtyard spaces, ponds, volcanic boulders and native plantings; and
- open steel carport, designed by Wood Marsh and built in 1988.

### HOW IS IT SIGNIFICANT?

The Choong House and garden, 10 Diosma Road, Eltham, is of local aesthetic and associative significance to the Shire of Nillumbik.

### WHY IS IT SIGNIFICANT?

The Choong House and garden, 10 Diosma Road, Eltham, is aesthetically significant as particularly well designed and detailed architect-designed house that is carefully sited within a bush garden landscape designed by Gordon Ford. Designed by architects Biltmoderne, the building's sculptural form is expressed in a palette of limestone, aluminium and glass. The use of fluid lines, refined metal and glazing juxtaposes with the house's solid limestone massing; both a reference to and clear break from the 'Eltham style'. The architects also designed furniture for the interiors of the house, showing an integrated approach to all aspects and functions of the site. In recognition of the innovative design, the house won the 1987 RAIA Victorian Merit Award for Outstanding Architecture and was profiled in the media and in books on architecture, including Graham Jahn's *Contemporary Australian Architecture* (published in 1994). The property's aesthetic significance is further enhanced by the bush garden elements including Ford's signature use of ponds, volcanic boulders and native plantings in the various garden spaces, designed to blend with the surrounding natural vegetation on the site, as well as the steel carport, built in 1988 to designs by Wood Marsh (the architectural firm created after Biltmoderne by two of its directors, Roger Wood and Randal Marsh) in a complementary style to the house. (Criterion E)

The Choong House is significant as an important early residential commission for the firm of Biltmoderne. The firm were to quickly become Wood Marsh with the departure of founding partner Dale Jones-Evans in 1987, and as such the site is one of only a handful of residences designed by the earlier partnership. It can be read as a formative piece of work that influenced the designs of many of the later commissions by Wood Marsh. The commissioning of Choong House coincided with a period of great recognition for Biltmoderne, where their work was celebrated widely in the architectural community. The firm has since become internationally recognised for their work. (Criterion H)





RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as an Individually Significant place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

Nillumbik Planning Scheme

External paint controls	No
Internal alteration controls	No
Tree controls	No
Outbuildings or fences	Yes – Carport
To be included on the Victorian Heritage Register	No
Prohibited uses may be permitted	No
Aboriginal heritage place	No

Other

N/A



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Response No:  
10

Details

903-907 Main Rd Eltham

Stage A - 22

Support



## 903-907 MAIN ROAD, ELTHAM

### ELTHAM WAR MEMORIAL BUILDING COMPLEX

903-907 Main Road, Eltham

<b>Prepared by:</b> Context	<b>Survey Date:</b> December 2020
<b>Place Type:</b> Community	<b>Architects:</b> AK Lines & MacFarlane; AK Lines, MacFarlane & Marshall; Leith & Bartlett; David L Woodger (designer)
<b>Significance level:</b> Local significance	<b>Builder:</b> RJ Squires (Infant Welfare Centre); Chuck Wire Fence and Gate Company (Memorial Gates)
<b>Extent of overlay:</b> To title boundaries	<b>Construction Date:</b> c.1950-1967

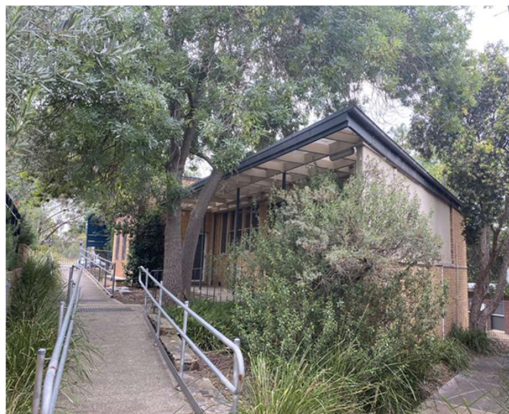


Figure 1. Eltham Infant Welfare Centre. (Source: Context December 2020)



Figure 2. War Memorial Hall and Eltham Preschool. (Source: Context, December 2020)

## HISTORICAL CONTEXT

### *Locality history: Eltham*

Eltham, situated in hilly country northeast of Melbourne, is located on the country of the Wurundjeri-willam clan of the Woi wurrung, one of the five tribes of the Kulin Nation. A small, short-lived reservation south of Eltham on the Yarra River was set aside for Aboriginal people in 1852. The area is situated near the junction of the Yarra River and its tributary, the Diamond Creek.

Pastoral settlers moved into the area from around 1840 and took up pastoral leases (Bartolomei 2008). It was located proximate to the track used by the Ryrie brothers to provide access between their 'Yering' run, near Yarra Glen, and the Heidelberg village (*Victorian Places* 2015). In 1841, William Bell and Thomas Armstrong occupied land for a squatting run east of Diamond Creek in what was to become the Eltham district (Eltham District Historical Society 2000: np).

A plan for fifty allotments in the Township of Eltham, Parish of Nillumbik, was announced in 1848, with the name officially gazetted in 1851. The township, near the junction of the Diamond Creek and the



Yarra River, was laid out an area bounded by Baxter Street, Diamond Creek, Dalton Street and Bolton Street. The township plan shows a track to a bridge across Diamond Creek and the Main Road was noted as the 'Track from Melbourne' (Butler 1996:32). This area is known today as Eltham South.

Present-day Eltham, however, was not established on the township reserve, where land proved difficult to sell. Instead, the town grew from allotments in Section IV of the Parish of Nillumbik located on Main Road, to the north of Dalton Street and the township reserve (Butler 1996:32). In 1851, Melbourne property developer Josiah Holloway purchased one square mile (or 5120 acres) of this land, which he subdivided immediately, calling the subdivision Little Eltham. The central area of current-day Eltham is contained within the Little Eltham subdivision. A number of larger farming properties around the township were purchased from the early 1850s (*Nillumbik Parish Plan* 1951).

Eltham township grew during the 1850s around a cluster of buildings at the corner of Pitt Street and Main Road within the Little Eltham subdivision. Located on the road to the Caledonian Diggings, this small township became a service centre for the surrounding mining areas, and by 1854 supported a population of 282. In this period Eltham had two hotels, a brewery and tannery on Diamond Creek, a scattering of shops along Main Road (known in the 1850s as Maria Street) and a steam flour mill operated by Henry Dendy. The Little Eltham School, opened by the Church of England, was built in 1853 near Swan Street and closed in 1872. A second school, a National School (later Eltham Common School No 209) opened in Dalton Street in 1856. A Wesleyan chapel opened in 1858. Public buildings constructed at this time included a courthouse and a police station in Main Road in 1860. The 'flat land', which is now the Eltham Lower Park near the Yarra, was used as a racecourse (Kellaway cited in Butler 1996:32-33; Eltham District Historical Society 2000:np). A cemetery was established in 1858. The township and wider area was administered by the Shire of Eltham, established in 1856.

Between the 1860s and the 1880s, Eltham supplied food and produce for the gold-mining communities of the Caledonian Diggings at Queenstown (St Andrews) and Panton Hill. It also became a stopping place on route to the Woods Point diggings. Eltham's population grew in response. In 1871, the town's population was 165 and by 1881 this had increased to 388 (*Victorian Places* 2015).

A Primitive Methodist chapel was built in 1860. The following year St Margaret's Anglican Church, designed by the notable Melbourne architect, Nathaniel Billing, was built. In 1881, a Wesleyan church was constructed by George Stebbing to the design of Melbourne architects, Crouch and Wilson (Butler 1996:33). A new state school, constructed of local sandstone, opened in 1876.

Several large properties surrounding the township had absentee owners, who subdivided their properties into smaller farms either for lease or sale. The smaller properties, especially in the Little Eltham township, were run by farmers who often made a modest living as wage labourers. Like many later Eltham residents, they were attracted by cheap land and the country life (Butler 1996:33).

In 1884 Eltham was described as:

*... a pretty little township on the Yarra Flats road ... It has a population of nearly 400 inhabitants, but in addition it is the centre of a large district extending over 208 square miles, having a population of 2344. The land in the district is mostly used for grazing purposes, although as a rule the small farms grow a good deal of wheat, oats and other agricultural produce. A large quantity of fruit, especially raspberries and strawberries, is also produced (Illustrated Australian News, 20 December 1884, cited by Carlotta Kellaway in Butler 1996:33).*

The *Australian News* noted that gold had been found in the vicinity of the township, 'but not in remunerative quantities' (cited by Carlotta Kellaway in Butler 1996:33).



In the 1880s agitation began for the extension of the railway line from Heidelberg to serve Eltham and districts further afield such as Kangaroo Ground. The extension to Eltham opened in 1902 but was never extended to Kangaroo Ground. The railway brought excursionists from Melbourne, many of whom picked wattle during the flowering season, and focused development of the Eltham township around the railway station. Eltham was a picturesque village with the advantage of its proximity to metropolitan Melbourne as well as to attractive countryside with farms and uncleared stringybark forest (*Victorian Places* 2015). The attractive bush scenery attracted artists, writers and nature-lovers.

In 1903, the *Australian Handbook* described Eltham as part of an orcharding and grazing district. In 1901, 4289 acres were under cultivation, of which 2506 acres were planted with orchards and market gardens. The township, with a population of 377, included a state school, a branch of the Commercial Bank, and Catholic, Anglican, Wesleyan Methodist and Primitive Methodist churches (cited in *Victorian Places* 2015). Subdivision of rural properties near Eltham township to form residential estates occurred from 1909 (Mills and Westbrooke 2017:69).

The electrification of the railway line was extended to Eltham in 1923, which eliminated the need to change to steam train at Heidelberg, and allowed faster through-trains and commuting times. The establishment of new residential estates in Eltham followed (Mills and Westbrooke 2017:71).

Eltham was described in 1940 as 'residential, horticultural, dairying and grazing ... a beauty spot for artists and picnickers'. By this time, the town had three recreation reserves, a higher elementary school (1926), swimming baths, tennis courts and a fire brigade (*Victorian Places* 2015).

Eltham has attracted a number of writers and artists over the years. The landscape painter Walter Withers (1854-1914) moved to Eltham in 1902 when the railway opened; others artists, including members of the Heidelberg School, painted in the area in the open air. Clara Southern and May Vale, landscape painters and students of Frederick McCubbin, settled in the region. Vale resided at Diamond Creek and Southern at Warrandyte (Bartolomei 2008). The war artist Will Longstaff also lived in Eltham for a period. From 1910, painter William 'Jock' Frater and cartoonist Percy Leason often camped and painted in the area. Artist Justus Jorgensen established the notable Montsalvat artist's colony buildings, on land he purchased in 1934. Seeking a closer engagement with the natural environment, the establishment of Montsalvat, with its adobe and rammed earth buildings, influenced future mud brick construction in the area. Several local architects and designers, including Alistair Knox, specialised in mud brick housing in the postwar period (*Victorian Places* 2015). Others who have been inspired by Eltham and have made the region their home include landscape architect Edna Walling, authors Alan Marshall and Carolyn Van Langenberg, artists Clifton Pugh and Danila Vassilieff; composers and musicians Graeme and Roger Bell; jewellers and sculptors Michael Wilson, Simon Icarus Baigent and Matcham Skipper; writer CB Christensen; poet Chris Wallace-Crabbe; and actress Kerry Armstrong (Bartolomei 2008; Pierce 1987:354).

Eltham experienced significant postwar development with a number of residential estates subdivided and put up for sale. The population of the town increased from 927 in 1933, to 1278 in 1947, to 7177 in 1971. As a result, Eltham High School opened in 1950 and the Catholic Ladies College was relocated to Eltham in 1971 (*Victorian Places* 2015). The Eltham War Memorial Trust Baby Health Centre opened in 1951. New shire offices opened in 1965, and Eltham College commenced classes in 1974 (Eltham District Historical Society 2000:np).

A distinctive style in local building emerged in Eltham in the postwar period, with a strong use of natural materials, low form structures, and an integration with the natural environment and the preference for bush gardens, especially after the 1970s. The Eltham Library, designed by architect Greg Burgess, was



constructed in mud brick and recycled timbers and received the RAlA Institutional Architecture Award in 1995 (Bartolomei 2008).

The Shire of Eltham became part of the Shire of Nillumbik in 1994, with a small area becoming part of the City of Banyule.

***Contextual history: war memorials***

After World War I hundreds of statues, cenotaphs and plaques were erected across the nation to commemorate the service and immense sacrifice of Australian soldiers. The impulse to honour the memory of those who had lost their lives serving their country was great, but some of these traditional stand-alone memorials that lacked a useful function were met with criticism in some cases. Even the construction of the Shrine of Remembrance in Melbourne, intended as the country's 'national' memorial, was challenged, with alternate plans for a memorial hospital gaining stronger support. In many localities residents pointed out that the resources that were available for a war memorial should be used instead to erect a public building or facility that made a useful addition to town or suburb. Various functional memorials were proposed, including public halls, grandstands, swimming pools and entrance gates. The provision of government funding for the erection of 'memorial halls' made this a popular option in many localities. They served a genuine need of the local community, providing a venue for social gatherings, public meetings, and entertainment while also honouring the war dead.

Following the Second World War, the focus shifted from nationalistic sentiment towards focused renewal of public infrastructure in local areas. There was a boom in the construction of public amenities that would be of benefit to local communities. This innovation in social planning encouraged the construction of multi-purpose community facilities. Frequently such facilities included a public hall and library or a cultural centre carefully sited around a public garden or courtyard. Monuments or other landscape elements were incorporated in these public and recreational spaces as a focus for more direct memorial reflection and/or public commemorative activities (Darian-Smith, Nichols and Willis 2010:206-213).

In 1945, as part of this wider movement to practical memorials, the Eltham Progress Association decided that the community war memorial should take the form of a baby health centre with a creche and children's library (cited by Rudduck in Darian-Smith, Nichols and Willis 2010:213).

***Contextual history: Infant welfare centres and kindergartens***

The formalised government provision of infant welfare in Victoria can be traced back to the formation of the Victorian Baby Health Centres Association in 1918. This was in response to the high infant mortality rates that prevailed in Victoria from the nineteenth century. Infant welfare relied on new teachings about the scientific management of babies and young children, which focused on nutrition, hygiene and daily routine. It established a system of mothercraft nurses and encouraged the establishment of local infant welfare centres that educated mothers about infant and childcare. The Infant Welfare Division of the Department of Health was established in 1926, after which government funding was available for the creation of infant welfare centres in Victoria (*Victorian Year Book* 1973:547). Many towns and suburbs across Victoria established infant welfare centres in the 1930s and 1940s, after which there was a dramatic decline in infant mortality.

The popularity, and necessity, of infant welfare in Victoria was highlighted in 1924, when 'mothercraft lectures' funded by the government. These operated out of a carriage of the 'Better Farming Train', which travelled to regional towns across Victoria to educate farmers in improved agricultural management. This early intervention into the welfare of children and their mothers alerted local councils to the importance of funding programs permanently.



Mills and Westbrooke (2010:5) note the following in relation to baby health centres in the Eltham area:

*The first Baby Health Centre in the region around Eltham was opened at Heidelberg in April 1926. It was funded by Heidelberg City Council and run by the VBHCA. Sub-centres were soon set up in Ivanhoe, Fairfield and Greensborough. The Greensborough centre serviced Greensborough and Diamond Creek in the Heidelberg Shire and it was anticipated that it could also support mothers from Briar Hill, Montmorency, Hurstbridge and Eltham, all in the Eltham Shire. The Greensborough centre operated one day a week from a room in an 1840s hotel building in the main road, known as Marble Hall. By 1933 up to sixteen Eltham residents were using this service at any one time. Up to this point the service had been provided to Eltham residents without a contribution from the Eltham Shire but by 1934 the Eltham Shire Council had been persuaded to provide a £30 annual contribution. A new purpose-built centre was opened at Greensborough in February 1935.*

In the immediate years following World War II there was an expansion in the construction of new infant welfare centres in Melbourne's developing outer suburbs, in response to rapid population growth in these areas and to greater involvement of the Victorian government in managing this service. Architecturally, baby health centres built in the postwar period often straddled the two worlds they belonged to: their form referenced domestic architecture but was combined with the flourishes and hallmarks of civic structures (Darian-Smith and Willis 2010:42). This period in Australia coincided with the postwar focus on birth rates and on social and economic regeneration. The resulting 'baby boom' encouraged the development of municipal buildings that catered to the various needs of the burgeoning population (Darian-Smith and Willis 2010:47).

Much like infant welfare centres, the development of the modern Australian kindergarten or pre-school centre began in the early-twentieth century. Many early kindergartens were primarily concerned with the education and care of children in poor, working-class suburbs, who often had working mothers, and typically they were supported by charity or religious organisations (Nichols and Goad 2010:56; WA 2019). The first free kindergarten in Victoria was opened in the economically disadvantaged area of Montague (South Melbourne) in 1909. Many early kindergartens were not purpose-built but occupied pre-existing buildings—often in church halls that were attached to a parish church. By the 1930s, kindergarten networks, like the Lady Gowrie Child Centres, were increasingly common. The first Lady Gowrie Centre was established in Carlton in 1939 (Gowrie Victoria 2019). The location and siting of these kindergartens was becoming increasingly integral to their establishment; not only was the socio-economic status of the community and its geographical location considered, but the surrounds and site orientation of the building was increasingly important (Nichols and Goad 2010:65).

The postwar period saw a significant change in attitudes towards kindergartens, with their importance becoming recognised by all classes of society (Nichols and Goad 2010:71). Postwar population growth, stemming from the baby boom and increased immigration, also raised demands for the provision of kindergartens. At the same time, the Victorian government took a stronger lead in the provision of pre-school education, with the Department of Health becoming responsible in 1946 for 'the subsidising and supervising of pre-school kindergartens' (*Victorian Year Book* 1973: 547). The movement towards pre-school education grew rapidly in Victoria, and by the 1960s the 'kindergarten experience' was so entrenched in the conventional education system that it was considered the norm (Nichols and Goad 2010:54). Progress associations in suburbs such as Eltham became a driving force in the provision of early childhood education.



## PLACE HISTORY

### *Site chronology*

Date	Event
1939-45	World War II
1945	Eltham War Memorial Trust purchase the subject site
1950-52	Infant Welfare Centre designed and completed
1954	Memorial Gates installed
c.1953-56	Pre-School designed and completed
1961	Children's Library completed
1962	Decision is made to transfer site to Eltham Shire Council
1964	Eltham Shire Council procures section of land at northern end of the site
1965	Site handed over to Eltham Shire Council
1966	Children's Library closed and renamed 'Eltham War Memorial Hall'
1967	Senior Citizens Centre completed
1968	Main Road widened; retaining walls installed and Memorial Gates relocated to present site
2012	Eltham War Memorial Obelisk relocated to the subject site from the Eltham RSL
c.2014	Ramp system installed

### *History of the place*

Planning for a community centre in Eltham began in 1943 by the self-titled 'Women's Auxiliary of the (proposed) Eltham War Memorial Trust'. A committee was formed in March 1945 at a public meeting of the Eltham Progress Association which was held to consider an appropriate means to commemorate locals who had lost their lives fighting in World War II. Soon after, the committee was formalised as the Eltham War Memorial Trust Inc. (Mills and Westbrooke 2010:4). The Trust resolved that Eltham's war memorial was to include a baby health centre, crèche and children's library, to serve as a 'constant reminder of those who fought ... and the little ones for whom they fought and died'. Over £200 was promptly subscribed for the construction of the proposed war memorial buildings (*Argus*, 28 March 1945: 8; Mills and Westbrooke 2010:4). Towards the end of 1945, the Trust purchased a site of one and a half acres on the western side of Main Road, Eltham, from Miss Shillinglaw. The site formed part of the Shillinglaw farm, which comprised lot 90 of Holloway's Little Eltham subdivision of 1851, which was part of Crown Allotment 13, Section IV in the Parish of Nillumbik (Eltham War Memorial Trust 1954; 'Parish of Nillumbik', PROV, VPRS 16171).

### *Infant Welfare Centre*

Plans for the memorial complex hastened in the years following World War II, and in 1950 tenders were called for the erection of an infant welfare centre. The design, by architects AK Lines and MacFarlane, was a box-like form that harked back to the Functionalist design of the interwar years. AK Lines and MacFarlane were responsible for the Eltham Shire Office and Hall c1941 (now demolished) on the corner of Arthur and Main Road. There are distinct similarities in the formal composition and stylistic expression of both buildings (see Figure 3).





Figure 3. Former Eltham Shire Offices and Hall constructed in 1941 to a design by AK Lines & MacFarlane Architects. Image taken c.1965. (Source: Eltham District Historical Society)

The Eltham Infant Welfare Centre was operating at full capacity in only a short time after its opening in 1952, and by 1955, the centre had seen over 3000 babies (Mills and Westbrooke 2010:7-9). Re-roofing occurred in 1957.



Figure 4. Eltham Infant Welfare Centre, c.1954. (Source: Eltham War Memorial Trust, 1954, cited in Mills and Westbrooke 2010: 8)

#### *Memorial Gates*

Following completion of the Infant Welfare Centre, the focus of the Eltham War Memorial Trust turned to memorial entrance gates, to be erected at the south of the newly completed Infant Welfare Centre. A legacy bequeathed by the late EJ Andrew in memory of his wife, Ellen, was used to fund their construction. An estimate was provided by to an estimate by the Chuck Wire Fence and Gate Company in 1953, and they were installed in 1954, complete with a wrought iron arch carrying the words 'Eltham War Memorial'. The decision to erect a flagpole was also made during this time, however it is not known



whether this is the existing flagpole (located near the Memorial Gates at the time of visiting in December 2020), as it is not present in historical photography from 1968 (see Figure 11). (Mills and Westbrooke 2010: 10)

#### *Pre-School and Children's Library*

A pre-school and children's library were to be the next additions to the War Memorial complex. Plans were drawn up by architects AK Lines, MacFarlane and Marshall in 1952, shortly after Marshall had joined the firm. The designs were submitted to the General Health Branch and the Maternal, Infant and Pre-school Branch of the Health Department in c.1953. The proposed buildings, together with the existing Infant Welfare Centre, were to form an arrangement that followed the Main Road boundary of the site. As the design evolved and tenders were sought for construction, further alterations were made to the plans. Ultimately, the library building was postponed, the size of the pre-school was scaled down, and the 'radiating' nature of the buildings' arrangement—originally designed to reflect the curve of Main Road (see Figure 5 and Figure 6)—was abandoned (Mills and Westbrooke 2010:11-12). The pre-school building was completed and opened by the end of 1956.

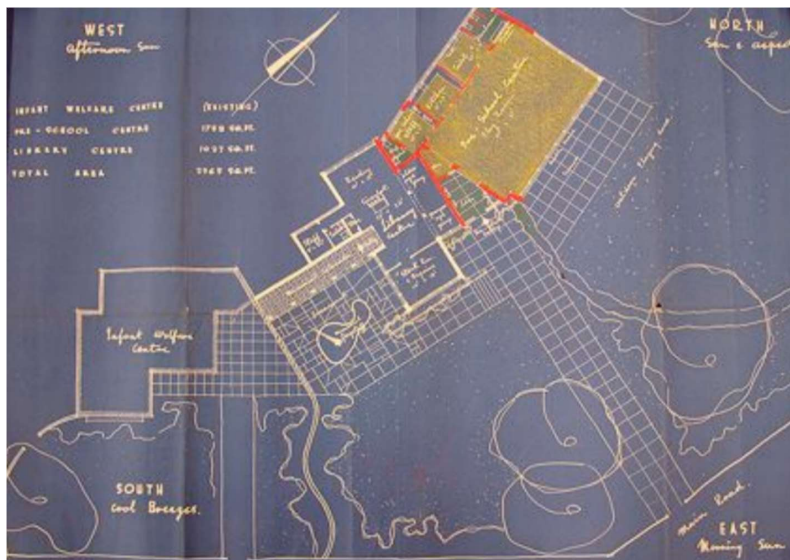


Figure 5. Sketch site plan c.1953, showing the spatial relationship of the Infant Welfare Centre, Children's Library and Pre-school. (Source: Public Building Plans File No.5841 Plan No.4057, Unit 413, VRPS 8044, PROV, cited in Mills and Westbrooke 2010:12)



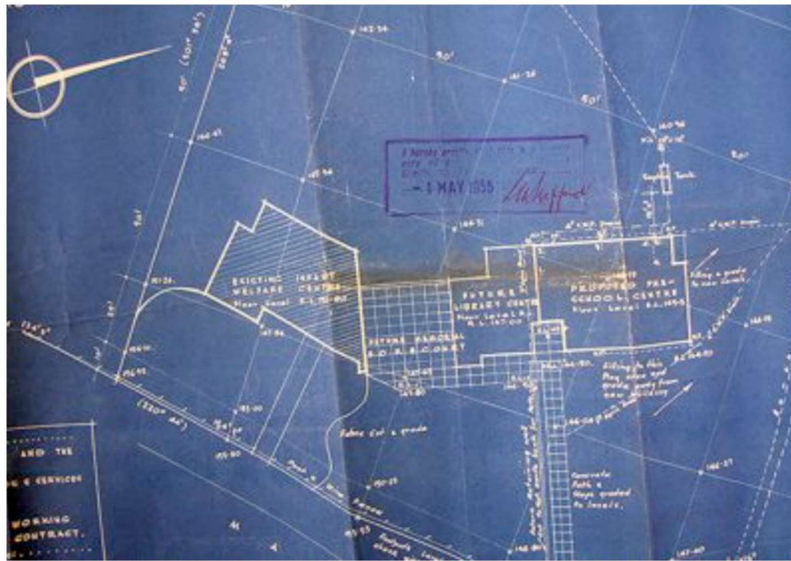


Figure 6. Sketch site plan dated 1956, showing amendments to postpone construction of the library and reductions to spaces in the Pre-School building. (Source: Public Building Plans File No.5841 Plan No.4057, Unit 413, VRPS 8044, PROV, cited in Mills and Westbrooke 2010:13)

Throughout the 1950s and 1960s, regular community fundraising events were held, which were largely led by the Women's Auxiliary of the Trust, to raise money to build for further community facilities. Activities included an Easter Gymkhana and horse show, Children's Carnival and a publication of *A Favourite Book of Country Recipes*, which had an initial print run of 2000 copies (*Argus*, 10 May 1956; Mills and Westbrooke 2010:14). Once sufficient funds had been raised, local architectural designer David L Woodger prepared drawings for the Children's Library, which was completed and opened in 1961.



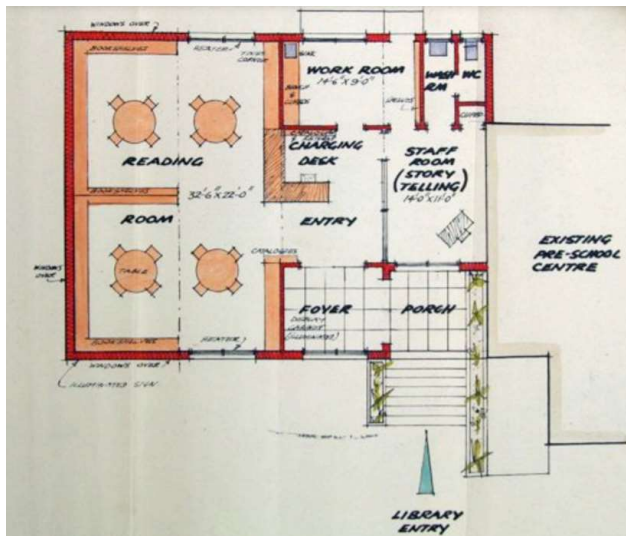


Figure 7. Sketch plan for the Children's Library prepared by local architectural designer David L Woodger in June 1960, showing existing pre-school building to the right. (Source: Public Building Plans File No.5841 Plan No.4057, Unit 413, VRPS 8044, PROV, cited in Mills and Westbrooke 2010: 15)

#### *Site handover to Eltham Shire Council and Senior Citizens Centre*

In 1962 the Eltham War Memorial Trust decided to devolve the War Memorial site to the Eltham Shire Council. The transfer of land was to occur once the Memorial Gardens were complete. Plans for the gardens had evolved since 1956, when they were initially perceived as a 'Memorial Forecourt' in the final plans for the pre-school building. In 1963 a quote for the 'institution of a memorial garden' was accepted. Works included the construction of concrete paths and grading of land to the rear of the buildings on the site (Mills and Westbrooke 2010:10).

In 1964 the Eltham Shire Council procured a strip of land at the northern end of the subject site, to be used for Country Fire Authority buildings, presumably in anticipation of the site being transferred to Council in the following year. A proposal presented by the Eltham Elderly Citizens Club for the erection of a Senior Citizens Centre, on the land still owned by the Trust, was approved, under the condition that the design of the new Senior Citizens Centre correspond with that of the existing buildings on the site.



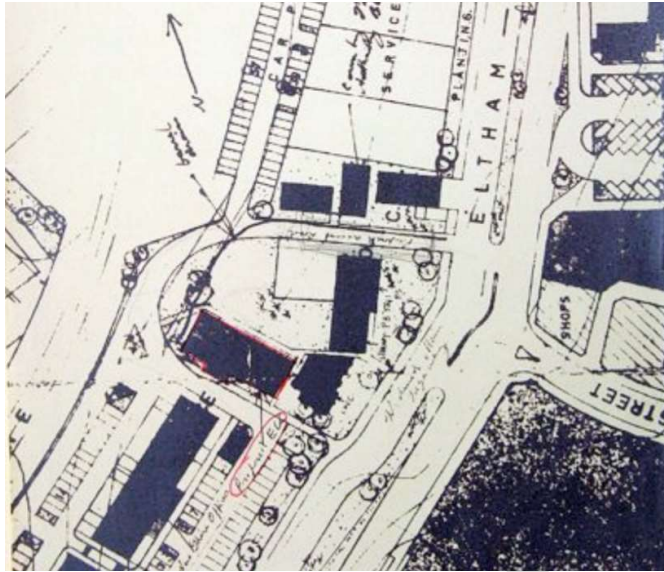


Figure 8. Site plan prepared c.1965, showing location of the proposed Elderly Citizens Centre (outlined in red). (Source: Public Building File No.13712, Unit 1624, VRPS 7882, PROV, cited in Westbrooke 2010:16)

The site was transferred to Eltham Shire Council in 1965, with the Trust to form a committee of management for the property over the following twelve months. Architects Leith & Bartlett prepared the design for the Senior Citizens Centre, the construction of which was partially funded by a state government grant, and the building was opened in April 1967 (Mills and Westbrooke 2010:16). The Centre's design and materiality complimented that of the Eltham Shire Offices built on the site adjacent to the War Memorial complex just two years earlier, also to designs by Leith & Bartlett (see Figure 9 and Figure 10). Both designs incorporated a simple rectangular footprint and flat roof. A similar pattern of vertically proportioned window openings is evident in both buildings.



Figure 9. A 1968 photograph of the Eltham Shire Offices, built in 1965 to designs by architects Leith & Bartlett. (Source: Eltham Pioneers Photograph Collection No. 657 held jointly by Eltham District Historical Society and Yarra Plenty Regional Library)



Figure 10. Current photograph of the Senior Citizens Centre, showing the elevation fronting Library Place and facing toward the space formerly occupied by the Eltham Shire Offices. (Source: Context, December 2020)



In 1966 the Children's Library was closed and the building was renamed as the 'Eltham War Memorial Hall' and lettering was fixed to the principal elevation (Mills and Westbrooke 2010:17). Rubble retaining walls were installed in front of the War Memorial buildings when Main Road was widened in 1968, and it is believed that the Memorial Gates were relocated to their present position at this time (see Figure 11) (Eltham District Historical Society 2018).



**Figure 11.** A 1968 photograph of the War Memorial Garden and Memorial Gates at the southern approach to the Infant Welfare Centre, looking to Main Road. (Source: Eltham District Historical Society)



**Figure 12.** A 1968 photograph of the pathway from Main Road through to the Pre-school and War Memorial Hall. Note the rubble retaining walls, installed in c.1968 when Main Road was reconstructed. (Source: Eltham District Historical Society)



**Figure 13.** A 1968 photograph of the War Memorial Garden. Note the rubble retaining walls and concrete pathway. (Source: Eltham District Historical Society)



**Figure 14.** A 1968 photograph showing a view of the War Memorial building precinct from Main Road. At the far left are the former Eltham Shire Offices (opened 1965, demolished 1994), then the Infant Welfare Centre, and War Memorial Hall at the right. (Source: Eltham District Historical Society)



In 2012 the Eltham War Memorial obelisk (first erected in 1919 on the corner of Main Road and Bridge Street) was relocated from the Eltham RSL to the subject site. Further landscaping works were carried out at this time. In c.2014 the pathway providing access from Main Road to the Pre-School and War Memorial Hall buildings was audited against the *Disability Discrimination Act* 1992 and found to be non-compliant. A ramp system was subsequently installed. (Eltham District Historical Society 2018)

*AK Lines & MacFarlane (later AK Lines, MacFarlane & Marshall), architects*

The firm of AK Lines & MacFarlane was initially the practice of Albert Keith Lines, who had begun his career prior to 1916 after serving articles with the architect Claude Merritt. Lines served in World War I, after which he returned to work for the house building firm of Morewood & Rogers, where he designed and supervised a range of projects before leaving to start his own practice in 1923 (Built Heritage 2010:135).

In 1928, Lines took on Jessica MacFarlane (still a teenager) as an articled pupil. The firm became increasingly popular amongst prosperous middle-class home builders, working on a series of large-scale residential works in the 'middle-ring' suburbs of Camberwell, Balwyn and Kew (Built Heritage 2010:135). Many of these homes were designed and supervised by MacFarlane, with several of them being published in *Australian Home Beautiful* (Built Heritage 2010:135). Suspending practice due to the onset of World War II, Lines and MacFarlane resumed work as a firm in 1945. MacFarlane was made a full partner at this time, becoming one of the first women to take on partnership in an architectural firm in Victoria (WWII at Home 2020).

Bruce Marshall joined the firm in 1948, and was made a full partner in 1952. MacFarlane married and moved to South Australia in 1954, however the firm retained her name. Bruce Marshall, who had expertise in large-scale commercial work, had a prominent role in guiding the firm's output in the following years (Built Heritage 2010:135).

The firm undertook large-scale factory projects around the state, however from the 1950s took on increasing amounts of civil and municipal works. The firm's work on council chambers had begun in the 1940s, prior to the war, when they produced the design for the Eltham Shire Offices in 1941. This body of work gave the AK Lines, MacFarlane & Marshall the reputation as one of the most prominent and specialised firms for the design and execution of municipal offices (Built Heritage 2010:135).

Moving into modernist designs in the post-war period, the firm was commissioned to design the Shire of Benalla civic offices in 1958. The following three decades saw the firm working predominately on municipal work, during which they were responsible for the offices built at Oakleigh (1962), Myrtleford (1967) and Ringwood (1970) (Built Heritage 2010:135). Albert Lines retired in 1967, with the firm continuing to operate.

*AC Leith & Bartlett, architects*

Arthur Cedric Leith was born in 1897, to a family that would later become greatly involved in architecture in Victoria (Built Heritage 2010:134). He had begun practicing under his own name as AC Leith & Associates by the end of the 1920s, and by c.1930 had taken over the pre-existing practice of Haddon & Henderson. Leith was soon after joined in practice by Harold Bartlett, in 1934. Bartlett had been the first to receive a diploma from the Gordon Institute of Technology (Geelong) prior to going abroad during the 1920s and 30s where he gained extensive experience. Bartlett was invited to return to Gordon to become the head of its architecture school, however he left shortly after taking up the post in order to take up the partnership with Leith (Built Heritage 2010:134).



The postwar era saw a number of municipal projects for the firm, including the Kew Civic Centre in 1959, the Lilydale Town Hall in 1961 and the Eltham Municipal Offices in 1965. Although predominantly known for their local council work, the firm branched out into significant high-rise buildings, such as the ANZ head office in 1960. (Built Heritage 2010:134). The firm is still in operation today.

## DESCRIPTION

### Overall Site and Landscape



Figure 15. Aerial view of the site with each individual building date noted: former Infant Welfare Centre 1950-52; Eltham Preschool 1956; War Memorial Hall 1961; Senior Citizens Centre 1967, Eltham War Memorial Cenotaph constructed 1919 relocated to this site in 2012. (Source: Nearmap 2021)

The Eltham War Memorial Building Complex is located at 903-907 Main Road, Eltham. The site is irregular in shape and bound by Main Road to the southeast and Library Place along its southwest and northwest boundaries. The site falls from east to west towards the railway line and from south to north. As a result, the buildings that face Main Road are set below street level behind stone retaining walls.

At street level, the war memorial gates (1954) alongside Main Road open on to a formally landscaped terrace area of lawn, paving and plantings installed in the 2010s. The gravelled forecourt to the southwest of the memorial gate contains at its centre the Eltham War Memorial Cenotaph (1919) (HO126) which was relocated to the site in 2012. Both the gravelled forecourt and lawned areas contain dedicated memorial benches and interpretive panels explaining Australia's involvement in numerous wars. A memorial sundial dedicated to Mrs Ada Lyon in recognition of her work with the Eltham War Memorial Trust is located adjacent to the northern pillar of the memorial gates. A contemporary black aluminium picket fence runs along the rear of this garden area from Library Place. This fence returns to meet Main Road at the northeast end of the garden and then continues along the Main Road boundary.



As this landscaped terrace area is fenced off and at a higher level to the buildings on the site there is limited visual connection between the two

Entry to the complex of buildings is now through a single gate set in this fence along Main Road. This gate accesses a series of curved ramps that lead down to the Memorial Hall/Pre-school and the Infant Welfare Centre. These ramps and associated landscaping were installed in 2014. A second entry off Library Place is through a hooped metal fence adjacent to the Infant Welfare Centre.

Internally the site is fenced with various types of low transparent metal fencing that separate the War Memorial Hall/Pre-school building from the Infant Welfare Centre creating safe and secure play areas for children. The Senior Citizens Centre is accessed off Library Place and is unfenced.

The former Infant Welfare Centre is positioned at the south-west corner of the site. Its principal elevation addresses Main Road, and its southwest elevation faces Library Place. The War Memorial Hall and Pre-School building align with this building, and follow the arc of the site towards the north. These three building are of a similar materiality and form which heightens a sense of visual cohesion within the site. Key uniting design elements shared by these three buildings include the simple box-like forms with flat of low-pitched gable roofs, large expanses of unadorned cream brick walls and large window walls. A fourth building, the Senior Citizens Centre is located to the rear of the former Infant Welfare Centre and is orientated towards Library Place along the southwest boundary of the site.

The site is landscaped with a mix of indigenous and exotic plantings. The landscaping of the site has undergone significant change overtime. Some remnant stone rubble walls remain however the major pathways and entry points to the site and the early landscape layout have all been altered.



**Eltham Maternal Health Centre (former Infant Welfare Centre) (1950-52)**



**Figure 16. Principal elevation of Eltham Infant Welfare Centre showing front window boarded over with concrete trim remaining. (Source: Context, December 2020)**

The former Infant Welfare Centre, built in 1950-52 to a design by AK Lines and MacFarlane Architects, is the earliest building on the site. Positioned on the corner of Main Road and Library Place, the building's main entrance faces Main Road and was originally accessed through the memorial gates positioned along Main Road. The building is asymmetrical in plan with a projecting bay at its southern end. It is constructed of loadbearing cream brick walls laid in stretcher bond and has a flat roof clad in corrugated iron that is concealed behind a low straight parapet that wraps the front and side elevations. This massing of simple geometrical shapes gives the building a distinctive box-like form that is typical of early modern functionalist architecture that gained popularity in the 1920s and 1930s and continued through into the early postwar period.

Entry to the building is through a deep porch that runs across the front of the building in line with the projecting bay (see Figure 18). The porch returns at an acute angle along the north to create a large undercover area for pram storage. The main entry to the building is through a pair of doors set into the southern wall of this area and there are externally accessed bathrooms at its rear (see Figure 20). This area has a flat roof with exposed fascia boards and quad guttering that sits at a lower level to the main building form. The porch roof is supported off three slender metal posts across the front elevation. A dwarf wall at its northern end originally had a louvred infill panel to roof height but is now infilled with cement sheet (see **Error! Reference source not found.**). The front section of the roof was originally an open pergola that has been covered with translucent corrugated PVC sheets, leaving the extant grid



frame of the pergola legible. The rear roof section of the porch is lined with painted timber boards. The porch floor is of ruled concrete. A simple steel balustrade connects the dwarf wall to the first slender metal post and then continues towards the street with the handrail terminating in a scroll.

The projecting bay was originally distinguished by a large, centrally placed, floor to ceiling window framed by a concrete border. The concrete frame remains, however the window has been covered over with timber boarding and two decorative metal panels (see Figure 16). The cream brick planter box that runs under the window is original. Under the entry porch is a large horizontal widow divided into five vertically proportioned double-hung timber sash windows. This window sits above the foundation stone for the building which was laid in November 1950. There is a single solid door at the southern end of the porch that gives access to the projecting front room (see Figure 18).

The remaining elevations are utilitarian in nature with large wall surfaces of unpainted cream bricks punctuated by small timber framed widows located to provide light and ventilation to the rooms behind.



Figure 17. Southern elevation of former Eltham Infant Welfare Centre showing sheer unadorned wall surface of cream brick with low parapet concealing flat roof. (Source: Context, December 2020)



Figure 18. Pergola across principal elevation of the former Eltham Infant Welfare Centre showing slender metal posts. (Source: Context, December 2020)





Figure 19. North elevation of the former Infant Welfare Centre showing dwarf closed wall above that was originally a louvered screen to pram porch. (Source: Context, December 2020)



Figure 20. Pram porch at the former Eltham Infant welfare Centre. The two doors set on the angle provide access to bathrooms whilst the pair of doors to the left are the main entry to the building. (Source: Context, December 2020)

#### Eltham War Memorial Gates (1954)



Figure 21. Eltham War Memorial Gates located along Main Road, Eltham. Constructed in 1954. (Source: Context 2020)



A pair of memorial entrance gates were constructed on the site in 1954. Located on Main Road, the gates and piers are positioned between the Infant Welfare Centre and the War Memorial Hall. They are set on a slight angle so that they orientate towards the entry of the Infant Welfare Centre. The gates are constructed of two concrete pillars that are clad in slate in a crazy-paving pattern. These pillars support a pair of wrought iron gates and a wrought iron archway scroll which contains the words 'ELTHAM WAR MEMORIAL'. On the southern gate a small plaque reads 'These Memorial Gates were donated by the Late Cr & Mrs EJ Andrew'. The northern pillar has two large dedication plaques attached to its front face, one for the War memorial and the other for the relocated Cenotaph that is now located in the garden area behind.



Figure 22. Rear of War Memorial Gates looking towards Main Road.  
(Source: Context, December 2020)



Figure 23. Memorial Plaques on gate pillar dedicated to the War memorial gates and the Cenotaph. (Source: Context, December 2020)



**Eltham Preschool (1956)**



**Figure 24. Principal elevation of the Eltham preschool. Entry to the preschool is through the recessed porch to the right of the planter. The entry to the left is to the former Children's Library added in 1961. (Source: Context December 2020)**

The Eltham pre-school building was constructed in 1956 to a design by Lines MacFarlane & Marshall, Architects. Built towards the northern boundary of the site, the building is orientated towards the arc of Main Road and is attached at its southern end to the War Memorial Hall (former Children's Library) which was added in 1961.

The pre-school building is constructed using a steel portal frame that is expressed internally. It is clad with cream brick and glazed infill panels and has a low-pitched transverse gable roof with exposed rafter ends. The building has a ground hugging form with a long un-broken roof line that contrasts to the box-like form of the Infant Welfare Centre. The principal elevation facing Main Road has an open recessed porch under the main roofline at its southern end with the roof overhang being supported by two slender steel posts.





Figure 25. North elevation of the preschool building showing window wall, low-pitched gable roof and stepping in of building. (Source: Context, December 2020)



Figure 26. West elevation of the preschool building showing strip natural aluminium window with manganese brick sill. (Source: Context, December 2020)



Figure 27. North elevation detail showing the top section of the window wall frosted as a false ceiling has been installed internally. (Source: Context, December 2020)



Figure 28. Window wall under verandah. Note the original eave overhand has been extended to create a deep undercover play area. (Source: Context, December 2020).

Across the front of the building the roofline has been extended at a later date to create a deep verandah. Beneath the verandah the original timber framed window wall remains extant. This wall is divided into seven vertical panes with the outer and central panes divided horizontally into three equal sections with an awning sash window fitted to the centre section. Set into the window wall two solid timber panel doors provide access into the main classroom of the building. At the eastern end of the northern (side) elevation is a window wall that extends to the underside of the gable roof. The building steps back at the rear of this elevation with a single glazed door providing access into the building. The rear, west facing, elevation has a horizontal row of natural aluminium framed windows terminating in a glazed timber framed door with timber framed side window. The windowsill is of glazed manganese bricks.



**War Memorial Hall (former Children's Library) (1961)**



**Figure 29. War Memorial Hall (former Children's Library) built 1961. The building became the War Memorial Hall in 1965 after Eltham Council bought the site from the Eltham War Memorial Trust. (Source: Context, December 2020)**

The War Memorial Hall (former Children's Library) building was constructed in 1961 to a design by David L Woodger, architectural designer. The War Memorial Hall is attached to the preschool building at its northern end. It follows the same built form, materiality and structural steel portal system as its neighbour but steps back from the preschool with a recessed entry at its northern end where it abuts the entry to the preschool. The two entries are by a brick wall and raised planter. Entry to the War Memorial Hall is through a pair of glazed timber doors set into the side (southern) wall of the porch area. These doors have a large, glazed transom light that follows the pitch of the roof. The western wall of the entry porch is set with a large timber framed window that is divided into four. The porch area retains its original terrazzo floor.

Across the principal façade to the south of the recessed entry, two large floor-to-ceiling window openings punctuate the otherwise plain brick wall of the façade. One of these windows retains its original timber framed divided window, while the other has been replaced with a contemporary aluminium module that includes a sliding motorised door. Attached to the wall plane are metal letters that spell out 'WAR MEMORIAL HALL'. Above these letters an early light fitting is extant.

The southern wall of the building is distinguished by a large window wall with high sill and sloped head that follows the pitch of the gable roof. This window would have originally provided southern light into the original library's reading room.



The rear (western) elevation is utilitarian in nature. It has three large window openings fitted with timber framed windows that are divided into four equal panes.

Internally the structural steel portal frame is left exposed and the building retains its original partitioning system. This system uses a combination of brick walls and light weight partitions all of which are glazed above door head height to the raked ceiling above.



Figure 30. Principal elevation of Wall Memorial Hall showing ramped entry installed in 2012. (Source: Context, December 2020)



Figure 31. Southern elevation of the War Memorial Hall showing elevated window wall that originally lit the reading room of the Children's Library (Source: Context, December 2020)



Figure 32. West elevation of War Memorial Hall (Source: Context 2020)



Figure 33. Interior of War Memorial Hall showing extant glazed partitioning system and expressed structural steel portal frame. (Source: Context, December 2020)



#### Senior Citizens Centre (1967)



**Figure 34. Senior Citizens Centre built 1967. The centre was not part of the Eltham War Memorial Trust's vision for the site and is notably different in architectural style, materiality and orientation to the earlier buildings on the site. (Source: Context December 2020)**

The Senior Citizens Centre was constructed in 1967 to a design by Leith & Bartlett, Architects. Built after the site was acquired by the Eltham Council, the building was not part of the War Memorial Trust's original vision for the site. As such, it is notably different in its architectural style, details, materiality and orientation to the other three buildings on the site. Fronting Library Place to the northwest, the building is unfenced leaving it visually and physically separated from the other three buildings that sit within a fenced precinct. The building has a simple rectangular footprint with a flat roof clad in roof decking and cement sheet lined eaves. It is constructed of reddish-brown brick laid in stretcher bond. Although single storey, due to the fall of the site from east to west, the building is elevated above the ground at its western end allowing for carparking in an undercroft. Internally the building is planned with service spaces around its perimeter and a large central hall with a higher ceiling. This space is expressed externally via a pop-up section of the roof, which is clad in corrugated iron.

The principal elevation comprises two pairs of small rectangular windows either side of a projecting entry porch. This porch is enclosed with glazed panel walls, fitted with recent aluminium framed window. To the west of the entry porch the façade is punctuated by seven vertically proportioned floor to ceiling openings. Six of these are fitted with timber-framed window modules and one is fitted with a glazed timber door. The typical window module has a glazed upper half with central mullion and a solid panel below. The windows are set on the inside plane of the wall creating a deep reveal and distinctive sloped stone sills.



The eastern elevation is punctuated with five vertically proportioned window openings similar to those facing Library Place.



Figure 35. Principal elevation of the Senior Citizens Centre facing Library Place. (Source: Context December 2020)



Figure 36. East elevation of the Senior Citizens Centre showing recessed window module with stone sill. (Source: Context December 2020)



Figure 37. North elevation Senior Citizens Centre showing enclosed verandah with timber framed glazed wall. (Source: Context December 2020)



Figure 38. West elevation Senior Citizens Centre showing open basement car parking under the building. Note face brick work has been overpainted. (Source: Google August 2019)

The western (rear elevation) of the building is of face brickwork that has been overpainted. Three centrally placed openings at the lower level provide for parking under the building.

The southern elevation is of unpainted face brickwork. A central panel of light weight, timber framed half glazed wall is divided into 12 equal divisions and has a pair of half glazed doors at its eastern end.

The aesthetic integrity of the building is diminished by the installation of services on the roof including air conditioning units, solar panels and a roof ladder.



## **INTEGRITY**

The Eltham War Memorial Building Complex, is largely intact to its original period of development (1950-1967) with some changes visible to original or early fabric. The buildings on the site retain their original built form and scale, materials and stylistic details, and continue to be used for civic purposes servicing the needs of residents in the local area. Alterations and additions to the buildings include:

- the boarding over of a large window to the principal façade of the former Infant Welfare Centre;
- the replacement of the louvred screen to the northern elevation of the former Infant Welfare Centre building with a solid panel;
- the extension of the roof line of the Eltham Pre-school building to create an undercover play area; the replacement of a timber framed window along the principal façade of the War Memorial Hall building with an aluminium-framed window and;
- the enclosing of the verandah along the northern wall of the Senior Citizen Centre building.

These changes are minor and have been sympathetically implemented. In most cases, these would be easily reversed. They do not diminish the buildings' contributory nature within the complex.

The site maintains its continued mixed community use as originally intended in the early plans for the site by the War Memorial Trust. This includes the use of the Pre-school, War Memorial Hall and Senior Citizens Centre. Although the site has been subdivided, with a sixty-five-foot strip of land to its north being sold to the Eltham Shire Council in 1964, the remainder of the site retains its civic purpose as envisaged. This vision has been retained even after the site was handed over to the Eltham Shire in 1965, with the trust approving the scheme for the proposed Senior Citizens Centre prior to the handover.

Landscape changes have diminished the intactness and integrity of the site as a whole. Land that was originally purchased by the War Memorial Trust for construction of the Eltham War Memorial Buildings has been impinged upon over time. Landscaping that was installed by the War Memorial Trust as part of the early scheme for the complex has been removed or substantially altered. Changes to the original landscaping occurred after the reconstruction of Main Road in 1968 resulting in the installation of stone retaining walls and the relocation of the memorial gates to their current location (Mills and Westbrooke 2010:10). Further changes occurred in 2012 with the relocation of the Eltham War Memorial Cenotaph (HO126) and the creation of the surrounding memorial gardens. Remnant elements that remain of the original or early landscaping of the site include the War Memorial Gates, some rubble stone walls and the memorial stone sun dial.

Overall, with the exception of the landscape alterations, the Eltham War Memorial Building Complex has high integrity.



## COMPARATIVE ANALYSIS

Following the First World War, war memorials mainly comprised statues, monuments, avenues of honour, and plaques. However, as early as the 1920s there was already public sentiment that, due to a scarcity in materials and public funding, resources would better serve the community if they were channelled into the construction of community facilities (Mills and Westbrooke 2010:4). Following World War II, hospitals, especially for children, kindergartens and baby health care centres were popular choices. As public money was in short supply community funding was frequently bolstered by the introduction of a commemorative element.

The Shire of Nillumbik has a large and varied number of traditional war memorials within its suburbs. These include the Shire of Eltham War Memorial Tower, Mature Plantings and Park, 385 Eltham-Yarra Glen Road, Kangaroo Ground (HO49) c.1925-6, 1974; The Eltham War Memorial Cenotaph, 903-907 Main Road, Eltham (HO126) 1919, 1960; London Plane Tree Avenue of Honour, Main Road, Eltham (HO229) c.1950s; Plenty War Memorial Gates, 103-107 Yan Yean Road, Plenty (HO249) c.1950s; Panton Hill War Memorial, Main Road and Church Road, Panton Hill (VWHI) c.1926; Diamond Creek War Memorial Reserve Circuit, Diamond Creek 1921 (VWHI); and the Christmas Hills War Memorial, Eltham and Yarra Glen Roads, Christmas Hills (VWHI) 1921. The present site of a complex of community buildings adds an important additional place type to this group of local war memorial places in Nillumbik. There are no other examples within the shire.

The Shire of Nillumbik also contains a number of community facilities and pre-schools of which a few postwar examples are on the Heritage Overlay. These include the Eltham South Kindergarten, 35 Fordhams Road, Eltham, 1965 (HO202); the Eltham Community Centre, 801 Main Road, Eltham, 1977-78 (HO117); and the Eltham Library 4-10 Panther Place, Eltham, c.1992 (HO239). While each of these places represent the expansion of community services in Eltham driven by population growth after World War II, they were not community funded, nor were they built as war memorials. Architecturally, they are also not directly comparable to the buildings on the subject site as they are representative examples of the 'Eltham Idiom' a style characterised by adobe buildings that have become symbolic of the Eltham area.



**Figure 39. Eltham South Kindergarten, 35 Fordhams Road, Eltham, built 1965 (HO202).**  
(Source: Hermes)



**Figure 40. Eltham Community Centre, 801 Main Road, Eltham, built 1977-78 (HO117).** (Source: Hermes)



**Figure 41. Eltham Library, 4-10 Panther Place, Eltham, built c.1992 (HO239).** (Source: Hermes)

Given the lack of comparable examples currently on the Heritage Overlay, it is therefore necessary to compare the subject site with examples from outside of the Shire of Nillumbik.

Generally, there are fewer postwar places included in the Heritage Overlay than nineteenth century and early twentieth century places with postwar memorial community facilities such as infant welfare centres



and kindergartens particularly under-represented. Furthermore, there are no identified examples of a complex of community buildings built specifically to provide child welfare services on the Heritage Overlay. For this reason, it has been necessary to compare the individual buildings on the site against representative examples of their specific typology that are outside the Shire of Nillumbik.

Comparable postwar examples include:

**Post-war baby health centres in local heritage overlays**

*Baby Health Centre, 318-324 Lygon Street, Brunswick East, c.1939 (HO106 of Moreland Planning Scheme)*

The Baby Health Centre at 318-324 Lygon Street, Brunswick East, is of local historical and architectural significance. The site has been associated with maternal and baby health care since the late 1930s. Architecturally, the building is a well composed late example of the Moderne style, with an interesting semi-circular facade.



**Figure 42. Baby Health Centre, 318-324 Lygon Street, Brunswick East, c.1939 (HO106). (Source: Hermes)**

*The Aberfeldie Baby Health Centre, 13 Beaver Street, Aberfeldie, built 1955 (HO381 of Moonee Valley Planning Scheme)*

The Aberfeldie Baby Health Centre is of local historic, social and architectural significance to the City of Moonee Valley. The centre was designed by S.C. Steele and constructed in 1955. It is socially and historically significant at a local level as a place that symbolises the determined efforts of the Council and local community to establish a place that would improve the health and welfare of women and children. As was typical of baby healthcare centres built at this time the building is domestic in appearance, resembling a cream-brick post-war house, asymmetrical in plan with a hip tile roof with boxed eaves.





Figure 43. Aberfeldie Baby Health Centre, 13 Beaver Street, Aberfeldie, built 1955 (HO381). (Source: Hermes)

*Emerald Street Community Centre, 1 Emerald Street, Essendon West built 1963 (HO332 of Moonee Valley Planning Scheme)*

The Emerald Street Community Centre is of aesthetic, architectural and technological (engineering) significance and historical interest, to the City of Moonee Valley. Built in 1963 to a design by the Shire's Engineer, Garnet Price, it is notable for its distinctive form and unique structural substructure that melds characteristic of the 'Melbourne School' of post-war modernist architecture with an innovative structural approach to overcome the constraints of an unstable site. Historically the building is of interest as one of a number of purpose-built infant welfare centres built in the 1950s and 60s in the City of Keilor due to rapid residential growth.



Figure 44. Emerald Street Community Centre, 1 Emerald Street, Essendon West, built 1963 (HO332). (Source: Hermes)

*Baby Health Centre, 2 Merlyn Street, Coburg North built 1955 (HO399 of Moreland Planning Scheme)*

The Merlynston Baby Health Centre is of local historic, social and architectural significance to Moreland City. It is historically significant as an example of a place associated with an important program that encouraged the provision of modern and up-date maternal and child health facilities, particularly throughout the growing suburbs on the fringe of metropolitan Melbourne, after World War Two. Designed in the form of a brick veneer house with a hip tile roof and a projecting flat-roofed porch, which is noted



on plan as a 'Pram park', The Merlynston Baby Health Centre is architecturally significant as a representative example of a small baby health centre, which illustrates the simple domestic scale and design that is typical of these buildings and reflects the philosophy of the Victorian Baby Health Centres Association.



Figure 45. Baby Health Centre, 2 Merlyn Street, Coburg North, built 1955 (HO399). (Source: Hermes)

***Post-war pre-schools on the Heritage Overlay***

*Robert Cochrane Kindergarten, 2A Minona Street, Hawthorn built 1948-50 (VHR H2309, HO580)*

Robert Cochrane Kindergarten, Hawthorn is a prototype of progressive post-war kindergarten design which had a profound influence on kindergarten design in Victoria. It was the first kindergarten to combine innovative planning and orientation with modern architectural expression; characteristics which became typical of many kindergartens designed by Horace Tribe and other architects throughout the 1950s.



Figure 46. Robert Cochrane Kindergarten, 2A Minona Street, Hawthorn, built 1948-50 (VHR H2309, HO580). (Source: Hermes)

*Greenwood Park Kindergarten, 9 Greenwood Avenue, Ringwood built 1954-55 (HO28 of Maroondah Planning Scheme)*



Greenwood Park Kindergarten is a Modernist timber building, built in 1954-55 after local organisations, traders and individuals raised funds for the kindergarten's Building Fund. It is historically significant as an early and striking embodiment of the post-war kindergarten movement. It is architecturally significant as a fine example of the Modernist style as an example of its building type.



Figure 47. Greenwood Park Kindergarten, 9 Greenwood Avenue, Ringwood, built 1954-55 (HO28). (Source: Hermes)

*East Keilor Pre-School & Infant Welfare Centre, 31 Mark Street, Keilor East built 1967-68 (HO432 of Moonee Valley Planning Scheme)*

The East Keilor Pre-School and Infant Welfare Centre is of local historic and social significance to the City of Moonee Valley. The pre-school and infant welfare centre is a brick building with a low-pitch skillion roof. The windows are floor to ceiling and have textured spandrels below set on manganese brick sills, and aluminium framed windows above with openable sashes set within fixed panes of glass. It is historically significant as an example of a place associated with an important program that encouraged the provision of modern maternal and child health facilities in suburban Melbourne during the early to mid-twentieth century. It is significant as a representative example of a combined pre-school and infant welfare centre of the post-war era. The mature eucalypts provide a related setting.



Figure 48. East Keilor Pre-School & Infant Welfare Centre, 31 Mark Street, Keilor East, built 1967-68 (HO432). (Source: Hermes)

*East Ivanhoe Memorial Kindergarten, 1 King Street built 1958 (East Ivanhoe Pre-school), Ivanhoe (VWHI, not in HO)*



The East Ivanhoe Memorial Kindergarten was opened in 1958. At the time of opening its official name was the 'East Ivanhoe Preschool Memorial Kindergarten'. It was the culmination of years of fundraising by the City of Heidelberg War Memorial Trust and the East Ivanhoe Pre-School Committee and was a response to the increasing demand for children's services in the area.



Figure 49. East Ivanhoe Memorial Kindergarten, 1 King Street, East Ivanhoe, built 1958 (not in HO). (Source: Hermes)

*Armadale Memorial Kindergarten, William Street, Armadale, built 1951 (VWHI, not in HO)*

Construction of the Armadale Memorial Kindergarten began in 1951 after intensive fundraising by the local community. It opened in February 1953. It has a marble plaque dedicated to those who had died during World War II and the quote "the foundation of every state is the education of its youth".



Figure 50. Armadale Memorial Kindergarten, William Street, Armadale, built 1951 (not in HO). (Source: Hermes)

*Glenroy Memorial Kindergarten (not in HO)*

The Glenroy Memorial Kindergarten was constructed in 1953 and was opened in 1954 by Health Minister Mr Barry. It was constructed at a cost of £7000 and initially provided accommodation for 50 children.





Figure 51. Glenroy Memorial Kindergarten, Glenroy (not in HO). (Source: Hermes)

*War Memorial Kindergarten, Whittington (not in HO)*

Following World War II, members of the local community engaged with the Shire of Bellarine to establish a permanent memorial to those who died during the war. It was decided the memorial should take the form of an infant welfare centre and a kindergarten. In 1951 the Shire purchased the land. About one third of the cost of the infant welfare centre was raised by the community and the balance was contributed through the Shire and other grants. The infant welfare centre opened in 1955 and was extended in 1961 for a kindergarten.



Figure 52. War Memorial Kindergarten, Whittington (not in HO). (Source: Hermes)

### Discussion

The Eltham War Memorial Complex of buildings is an unusual grouping of buildings purpose built to memorialise those who served in World War II. There are no other known examples of war memorial buildings currently on the Heritage Overlay in Victoria that were specifically built to provide baby and child welfare services.

When compared to the above examples, each of the three buildings built under the auspice of the Eltham War Memorial Trust are good representative examples of modernist architecture as it developed within the Australian context.



Architecturally, the former Infant Welfare Centre building compares most directly to the earlier Baby Health Centre at 318-324 Lygon Street, Brunswick East, c.1939 (HO106). Both buildings break from the typical domestic form of architecture commonly used at this time for infant welfare centres as seen at the Aberfeldie Baby Health Centre 1955 (HO318) and the Merlynston Baby Health Centre, 1955 (HO399) utilising instead Dudok-inspired functionalist features. These include unadorned cream brick walls with a simple flat parapet and a sheltering pram porch. The composition and expression of these features gives the buildings a distinctive cuboid form that is typical of early modern functionalist architecture. It is of interest that the nearby Eltham Municipal Offices (now demolished), designed by A.K. Lines and MacFarlane in 1940-41, used a similar architectural style and compositional approach. This building is likely to have influenced the use of this architectural form for the Infant Welfare Centre in order to establish a visual unity between civic buildings in the area.

The Eltham Infant Welfare Centre building is not as progressive in design as the later Emerald Street Community Centre, Essendon West, 1963 (HO332) which is notable for melding characteristic of the 'Melbourne School' of post-war Modernist architecture with an innovative structural approach to overcome the constraints of an unstable site. This regional 'Melbourne style' is more evident in both the Eltham Pre-school building and the attached former Children's Library. In both these buildings we see the use of a steel portal frame to create an internal single span space that is enclosed with a low-pitched gable roof and window walls. These features are characteristic of the experimental structures and forms that typify Australian modernism of the 1950s and 1960s, particularly in Melbourne. This can be seen at the earlier Robert Cochrane Kindergarten 1948-50 (VHR V2309, HO580), the Armadale Memorial Kindergarten, William Street Armadale 1951 (not in HO), the East Ivanhoe Memorial Kindergarten, 1958 (not in HO) and the East Keilor Pre-School & Infant Welfare Centre, 1967-68 (HO432). This distinguishes the Pre-school and Library buildings from the War Memorial Kindergarten, Whittington c.1954-55 and the Glenroy Memorial Kindergarten, c.1953 both of which reference more typical conservative forms of domestic architecture in their design.

The Senior Citizens Centre was built in 1967 and was not part of the Eltham War Memorials Trust's original vision for the site. Built after the site was acquired by the Eltham Council, the building is notably different in its architectural style, details, materiality and orientation to the other three buildings on the site. It originates from a period of Eltham's history that is better represented on the Heritage Overlay i.e. Eltham Community Centre (HO117), the Eltham Library (HO239) and the Eltham South Kindergarten (HO202) however, it is more generic in its architectural expression. It does not contribute to an understanding of the distinctive 'Eltham Idiom', a style characterised by adobe buildings that developed at this time and have become symbolic of the Eltham area. As such the building is not considered to be of local significance. It is however of some interest as its construction was approved by the Eltham Memorial Trust prior to the Council acquiring the site and its design complimented the former Eltham Shire Offices built directly opposite in 1965 also to a design by Leith And Bartlett. The Eltham Shire Offices however, was however demolished in 1996.

As discussed earlier within this report, landscape changes have diminished the intactness and integrity of the site as a whole. Landscaping that was undertaken by the War Memorial Trust as part of the early scheme for the complex has been removed or substantially altered. As a result, the current landscaping of the site is not significant, with the exception of the War Memorial Gates, stone sun dial and remnant rubble stone walls. The Eltham War Memorial Cenotaph was relocated to the site in 2012 and is within its own Heritage Overlay.



## ASSESSMENT AGAINST CRITERIA

✓	<b>CRITERION A</b> Importance to the course or pattern of our cultural or natural history (historical significance).
	<b>CRITERION B</b> Possession of uncommon, rare or endangered aspects of our cultural or natural history (rarity).
	<b>CRITERION C</b> Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).
✓	<b>CRITERION D</b> Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).
	<b>CRITERION E</b> Importance of exhibiting particular aesthetic characteristics (aesthetic significance).
	<b>CRITERION F</b> Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).
✓	<b>CRITERION G</b> Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).
	<b>CRITERION H</b> Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

## STATEMENT OF SIGNIFICANCE

### WHAT IS SIGNIFICANT

The Eltham Memorial Building Complex at 903-907 Main Road, Eltham, is significant.

The following features / components contribute to the significance of the place:

- former Infant Welfare Centre building (1950-51);
- War Memorial Gates (1954);
- Eltham Preschool (1956);
- War Memorial Hall (former Children's Library) (1961);
- Stone sundial dedicated to Mrs Ada Lyon;
- Remnant stone rubble garden walls.

The Senior Citizens Centre building is of historical interest only.



#### **HOW IT IS SIGNIFICANT**

The Eltham War Memorial Buildings, Eltham, are of local historical, architectural (representative), and social significance to the Shire of Nillumbik.

#### **WHY IT IS SIGNIFICANT**

The Eltham War Memorial Building Complex is historically significant as a group of community buildings in Nillumbik that incorporated a range of community services and facilities. The complex included infant and child welfare, children's library, senior citizens centre, gates and gardens, and demonstrates the concept of a 'useful' or functional war memorial. The complex evidences the dedicated work by community groups in the postwar period in organising fundraising and managing the construction both of local war memorials and local community facilities across Victoria. The combined community and memorial functions of the Eltham War Memorial complex demonstrate the efficient and pragmatic use of limited resources. While the construction of buildings associated with infant and child welfare was not a rare type of war memorial building, a coordinated complex of several child welfare buildings as a war memorial is rare in Victoria. (Criterion A)

The collection of structures comprising the Eltham War Memorial Building Complex are largely intact, highly representative examples of Modernist architect-designed community buildings. Key design elements across the collection of buildings include the overall simplicity of the buildings, the simple box-like built forms with flat (Infant Welfare centre) or low-pitched gable roofs (Preschool and War Memorial Hall) and large expanses of windows. The War Memorial Gates are an excellent representative example of memorial gates for their period. The slate clad pillars, wrought-iron gates and arched wrought iron scroll are all typical landscaping materials used in the 1950s. (Criterion D)

The former Infant Welfare Centre is distinguished by its box-like form, which is emphasised through its use of planar wall surfaces and parapet, and is representative of a modern functionalist approach to design. The Preschool and War Memorial Hall buildings demonstrate characteristics of the 'Melbourne School' of post-war modernist architecture. This is reflected in their use of a steel portal frame to create an internal single span space that is enclosed with a low-pitched gable roof and large non-structural timber framed window walls. (Criterion D)

The Eltham War Memorial Building Complex is of social significance for its long and continuing associations with the local Eltham community to remember and honour those who fought in World War II. The site as a whole has played an ongoing role in the civic life of the local Eltham community since 1952, when the Infant Welfare Centre first opened on the site. The Eltham preschool, which has operated from the site since 1956, and the War Memorial Hall (former Children's Library) have served the community for over sixty years for various functions and activities, including the provision of services for children and meetings of local groups. (Criterion G)



## RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as an individually significant place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

### NILLUMBIK PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	Yes— Memorial Gates and sundial
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

### OTHER

N/A



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Response No:  
11

Details

No specific property part of the amendment.  
Object & Support



Response No:  
12

Details

145 River Avenue, Plenty  
Stage B - 36  
Support with changes



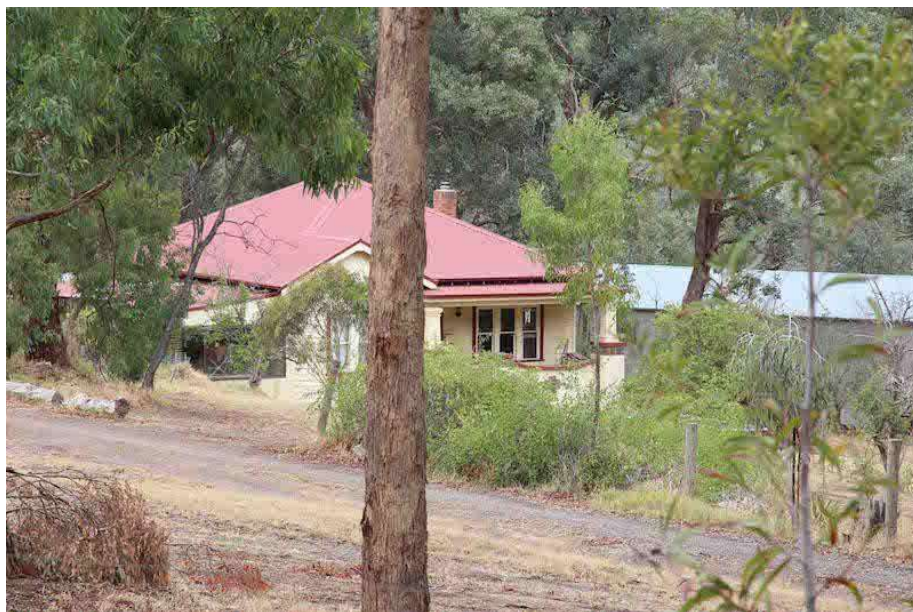


**Title: House, Farm, 145 River Avenue, Plenty**

Prepared by: Trethowan Architecture

**Address: 145 River Avenue, Plenty**

<b>Name:</b> Former farmhouse	<b>Survey Date:</b>
<b>Place Type:</b> Residence, outbuildings	<b>Architect:</b>
<b>Grading:</b> Significant	<b>Builder:</b>
<b>Extent of Overlay:</b> To property boundary	<b>Construction Date:</b> 1920s



*View of 145 River Avenue, Plenty. Source: Peter Mills, 2016.*

**Historical Context**

Plenty is a semi-rural district north of Greensborough, located 20 km northeast of Melbourne. The name Plenty is drawn from the nearby Plenty River, which had been proclaimed by Joseph Tice Gellibrand in 1835. Gellibrand chose the name to reflect the promising countryside of the area (Victorian Places).

In 1840, Crown land sales of the area began with blocks ranging from around 300 to 800 acres. Alexander McKillop was the first to purchase a block; Crown Portion 5 Parish of Morang constituting 820 acres. The Crown continued to auction the other blocks in 1853; Patrick Mornane obtaining Portion 3 Section 4, and L.C Luscombe purchasing 308 acres Portion 2 Section 4 (Westbrook 2016).

The settlement of the land between Plenty River and the early Yan Yean Road, (now partly Heard Avenue and partly Yan Yean Road), was gradually subdivided up until the early twentieth century. From this time the need for smallholdings increased substantially and land was divided more frequently as a result (Westbrook 2016).





This initial, ad hoc settlement pattern varies to other settlements in the Nillumbik Shire and relates to selection and the take-up of occupation licences in and around the auriferous areas. 'Glenaulin' on Portion 2 Section 12 of the Parish of Yan Yean further north, was subdivided into 108 2-acre lots and 72 1-acre lots advertised in early 1854. The selling of the lots, however, was unsuccessful (Westbrook 2016).

The alignment of the Greensborough Road (now Yan Yean Road) was altered from the original survey line with a series of curves to the west in 1869 (Argus, 23 June 1869:2). This new road formed a boundary for a number of subsequent subdivisions (Westbrook 2016).

Those who owned large blocks of land towards the north in Yan Yean Parish attempted ambitious early subdivisions into several smallholder blocks. Portion 2 Section 4 of Yan Yean, to the north of Plenty, was subdivided by Henry and John Cooke who advertised the blocks as, 'Egglestone Estate' c1885 (Westbrooke 2016).

The 1870s marked a more traditional pattern of subdivision in the area where larger blocks were divided into two or three lots. This pattern lasted up until 1900 with only few significant homesteads erected during this time.

The early twentieth century marked the height of a subdivision trend in the area. This was likely influenced by the success of smallholders, particularly orchardists, in surrounding areas such as Arthurs Creek. Leslie Woodbourne Clarke, a grazier from the Doreen property Linton Grange, is seen to have inspired this trend in 1905 having bought the northern lot of the northern half of the Crown Portion 5 and subdividing it into 9 lots from 10 to 28 acres. The first plot was purchased in 1906 and 8 had been sold by 1914, and the last selling in 1927 (CT: V3098 F446). The southern edge of the subdivision included a private road, Clarkes Road, now Worn's Lane. This success led to an increase in subdivision in the Plenty area where most smallholdings ranged from 10 to 30 acres.

Portion 5 west of Yan Yean Road, owned by Bank of Australia Ltd (presumably the rebadged Real Estate Bank Ltd which had purchased the land in 1888) was subdivided into 17 lots of approximately 20 acres each in 1911. Browns Road provided a central dividing line for the subdivision. 14 had sold by 1916 (CT: V2020 F836).

Arthur Grenbry Outhwaite of 'Tallarook', Walsh St South Yarra purchased 496 acres, the section of Portion 3 Section 4 west of the Yan Yean Road, from John Butler's executors in April 1912 (CT: V2326 F062). He subdivided his property into 40 lots immediately (CT: 3589 F730). The Lierse brothers (previously of Oatlands Road) bought the 38 acres at the western end of the subdivision in 1925, which included a number of the weekenders lots (CT: V3589 F 730). When Outhwaite died in 1938, only two lots remained unsold (CT: V3589 F730).

Plenty's new landscape was celebrated in an article in the Advertiser 1925, declaring it 'the Toorak of the northern suburbs, where you get a panoramic view of the surrounding landscape for miles; a grand health resort, and only fifteen miles from the GPO. 'It is also notable that the area is described to be 'thrown open for selection' in 1913, which is likely referring to the recent surge in subdivisions, that a school had been built, that 'fine dwellings (were) built here and there' and the Plenty Social Club and Progress Association had formed (Hurstbridge Advertiser, 31 July 1925:4).

Plenty's town centre was established in the 1920s when the first group of facilities was established such as the school, Methodist church and store (Westbrook 2016). In 1928-29 the Heidelberg Shire resumed 10 acres of land in Portion 2 Section 4 to create a 'pleasure ground and place of public resort'. In May 1930, the Plenty Progress Association began to raise funds to build a hall on this new recreation reserve (Hurstbridge Advertiser, 9 May





1930:4). Tenders were called in May 1931 and the hall was opened in July 1931 (Hurstbridge Advertiser, 9 May 1930:4; 23 May 1930:1).

After World War II, additional community facilities were built. The Plenty reserve became a War Memorial Park with memorial gates, toilets, a playground and trees planted by schoolchildren on Arbour Day. (Pearce and Plenty Historical Society 2009). A fire station shed was erected on the corner of Howell Road (Westbrook 2016).

### **History**

The first title record for this land shows it was purchased in 1891 by John Butler, who then subdivided the land (CT: V2326 F062). The subject land was purchased in 1912 by Arthur Outhwaite, who immediately subdivided it into 52 lots (CT: V3589 F730).

The resulting 'Plenty River Estate' was advertised as "splendid fruit growing land, also very suitable for poultry, flowers, bees or pig rearing" ('Plenty River Estate' c1912). Less than a third of the lots had been sold by 1920, and little if any house or road building had occurred at this stage (Cth Dept. of Defence 1920).

Edward William Gladman, labourer of Tanck's Corner (now Yarrambat), purchased 11 acres in 1921. A 1928 newspaper article explains that the Gladman's had built their own residence by that time and they were lauded as "indefatigable workers for the welfare of the district" (Advertiser (Hurstbridge) 27 July 1928:2). The house is visible on a 1930 topographic map, which also shows orchards in the vicinity, but not on this property (Australian Section, Imperial General Staff c1930). This dates the house between 1921 and 1928.

While the land settled and house constructed during the period of the Closer Settlement program, no evidence has been found that indicates this property was part of the scheme.

Edward Ernest Cunningham, toolmaker of Northcote, purchased the land in October 1928 (CT: V4501 F118). Cunningham married in 1930 (BDM, Victoria). It appears he initially engaged in poultry farming (Advertiser (Hurstbridge) 17 May 1929). Mr and Mrs Cunningham appeared regularly at the Plenty ball during the 1930s (Advertiser, (Hurstbridge), 21 July 1933 p4; 10 November 1939, p2).

The Cunningham's subdivided the land into two lots in 1969. The subject site was the northern portion, Lot 1 (CT: V4501 F118). Edward Cunningham died in 1983 (BDM, Victoria) and in 1984 the land passed to Edward Arthur and Carmel Louise Cunningham who were living on Lot 2 (CT: V8779 F118). The property was most recently sold in 2010 (realestate.com).



### Description & Integrity

The site contains a substantially intact 1920s brick bungalow with an all-encompassing hipped roof and a projecting gable wing to the front with a skillion verandah. The verandah has detailing typical of a 1920s bungalow with a brick balustrade and pillars. There has been a skillion porch addition to the east side. The original timber-framed windows to the front and sides appear to be intact. There are two sheds to the rear of the house which have gable roofs clad in corrugated galvanised iron. The house is set well back from the road.

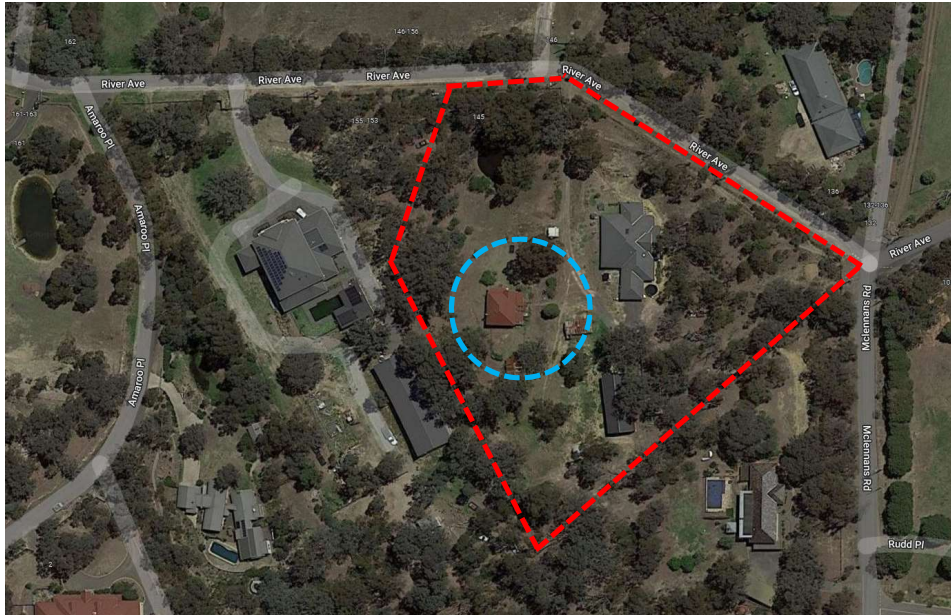


Figure 1: Aerial view of 145 River Avenue, the site boundaries are indicated in red and the relevant house indicated in blue. Source: Google Maps.



Figure 2: View of 145 River Avenue, Plenty. Source: Peter Mills, 2016.



### Comparative Analysis

145 River Avenue, Plenty compares with other inter-war farming properties in Nillumbik already included on the Heritage Overlay. The inter-war period of development was identified in the *Shire of Nillumbik Heritage Gap Study Framework*, June 2009 as being an under-represented development period in the Heritage Overlay. Interwar development was slow, likely related to the distance from central Melbourne and the continuing agricultural setting – hampered by failures of the Closer Settlement scheme. Nevertheless, prosperous farming families were able to construct residences conforming to contemporary stylistic trends seen in suburban Melbourne.

Many farming properties of this period were involved in mixed farming, often combining orcharding with raising poultry for meat and eggs. It is not clear if this practice occurred at 145 River Avenue, although the Cunningham's were, at least, involved in poultry raising. The 1930 topographic map does not show orchards at this property, although they were in the vicinity.

14-26 Browns Lane, Plenty (c1924) is covered by interim Overlay HO270. It is a representative example of an interwar bungalow, originally part of a mixed farming property including orcharding and poultry. Both properties are representative of agricultural development in the interwar period. The house at 145 River Avenue stands out as an example of a brick bungalow dwelling, rather than the more dominant weatherboard found during this period. Stylistically, 14-26 Browns Lane include earlier features and details, reminiscent of Edwardian-era design. Whereas 145 River Avenue demonstrates the newer ideas and development of the brick bungalow.



Figure 3: Façade of house at 14-26 Browns Lane, Plenty. Note the weatherboard construction. Source: Citation for 14-26 Browns Lane, plenty prepared by Context 2021.

860 Cottles Bridge-Strathewan Road, Arthurs Creek (HO28) is an orcharding property that incorporates a c1913 weatherboard house as well as a 1920s/1930s house. The later house demonstrates the transition to the bungalow style incorporating nested front gables, shingles to the gable ends, low roof pitch and timber detailing. The house at 145 River Avenue is similarly demonstrative of the transition to newer bungalow style, but stands out due to its unusual brick construction.





*Figure 4: View of the 1920s/1930s weatherboard bungalow at 80 Cottles Bridge-Strathewan Road. Source: Shire of Eltham Heritage Study, 1992.*

Orchard House at 25 Cottles Bridge-Strathewan Road, Cottles Bridge (HO190) dates from the 1920s and is significant as one of the few pre-WW2 brick houses in the Shire. It is a good example of an inter-war orchard house. Orchard House is a good example of its type, possibly a reflection of its being located on fertile farming land. 145 River Avenue compares favourably against Orchard House as both are rare examples of pre-WWII brick dwellings, and both demonstrate the transition from Edwardian to bungalow design.



*Figure 5: Orchard House at 25 Cottles Bridge-Strathewan Road. Source: Shire of Eltham Heritage Study, 1992.*

Worlingworth, at 10-26 Banoon Road, Eltham (HO7) dates from c1922 and is historically and aesthetically significant. Worlingworth is an example of a substantial brick dwelling and farm. The property is associated with notable anthropologist Donald Thompson, and illustrates Eltham's development to a desirable residential suburb. 145 River Avenue compares favourably as an interwar brick residence, with both properties retaining their setting and evidence of farming practices.





*Figure 6: Worlingworth, at 10-26 Banoon Road, Eltham. Source: Shire of Eltham Heritage Study, 1992.*

The property at 145 River Avenue compares favourably as a remarkably intact example of a brick inter-war bungalow. The site retains two large outbuildings. The property is associated with the Gladmans, who made a large contribution to the welfare of the district as noted when they left the area in 1928. The setting of the house, including the setback from the road and the remnant outbuildings, further demonstrates the property's farming history.





### **Assessment Against Criteria**

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.

*CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).*

145 River Avenue, Plenty is historically significant to the Shire of Nillumbik as an example of a 1920s residence retaining evidence of its original farm setting and use. It is an example of early development within small-holder subdivision, the Plenty Rover Estate. It is one of a few brick dwellings in the area from this period, demonstrating the stylistic transitions common in the interwar period, and is distinguished for its intactness.

*CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).*

N/A

*CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).*

N/A

*CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

145 River Avenue, Plenty is a representative example of an interwar farm and dwelling. The house is remarkably intact and demonstrates the transition to interwar bungalow design and the use of these popular suburban styles in the rural setting.

*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

N/A

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).*

N/A

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).*

N/A

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance).*

N/A





### Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>External Paint Controls</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	No
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	No
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	No
<b>Aboriginal Heritage Place</b> <i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No

### Recommended Extent



### Identified By

Mills & Westbrooke





## References

*Advertiser (Hurstbridge)*, as cited.

*Argus*, as cited.

Australian Section, Imperial General Staff Great Britain c1930, 'Victoria, Yan Yean [cartographic material] 1:63,360 topo series' War Office, General Staff, Australian Section, State Library of Victoria (SLV) Map Collection

Births Deaths & Marriages, Victoria (BDM), as cited.

Commonwealth Department of Defence, 1920, 'Victoria, Yan Yean [cartographic material], Australia 1:63,360 topo series' Government Printer, State Library of Victoria (SLV) Map Collection.

Land Victoria, Certificates of Title (CT), as cited.

Morang Parish Plan

Payne, J.W. 1975, *The Plenty: A centenary history of the Whittlesea Shire*, Lowden Publishing, Kilmore (Vic).

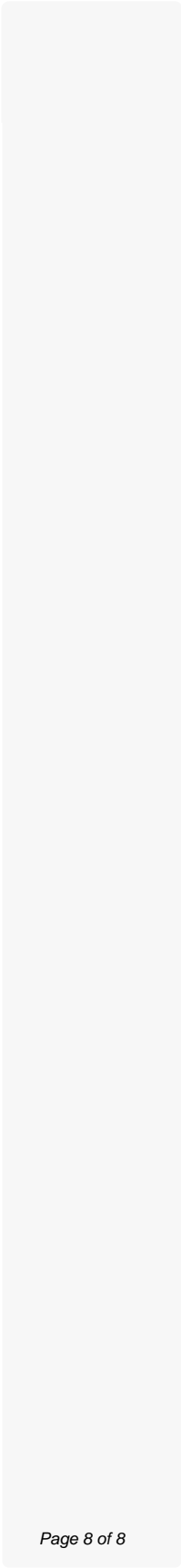
Pearce, A, and Plenty Historical Society, 2009, *Plenty War Memorial Gates - A Short History*, Plenty Historical Society, Plenty (Vic).

'Plenty River Estate' advertisement poster c1912, State Library of Victoria (SLV) Map Collection



Response No:  
13

**Details**  
144 Progress Road, Eltham North  
Stage A - 10  
Objection





## 144 Progress Road, Eltham North

### House

<b>Prepared by:</b> Context	<b>Survey date:</b> December 2020
<b>Place type:</b> Residential	<b>Designer:</b> Glyn Lewis
<b>Significance level:</b> Significant	<b>Builder:</b> Not known
<b>Extent of overlay:</b> To title boundaries	<b>Major construction:</b> c1972-75



Figure 1. View of 144 Progress Road, Eltham North, from the street. (Source: Context 2020)

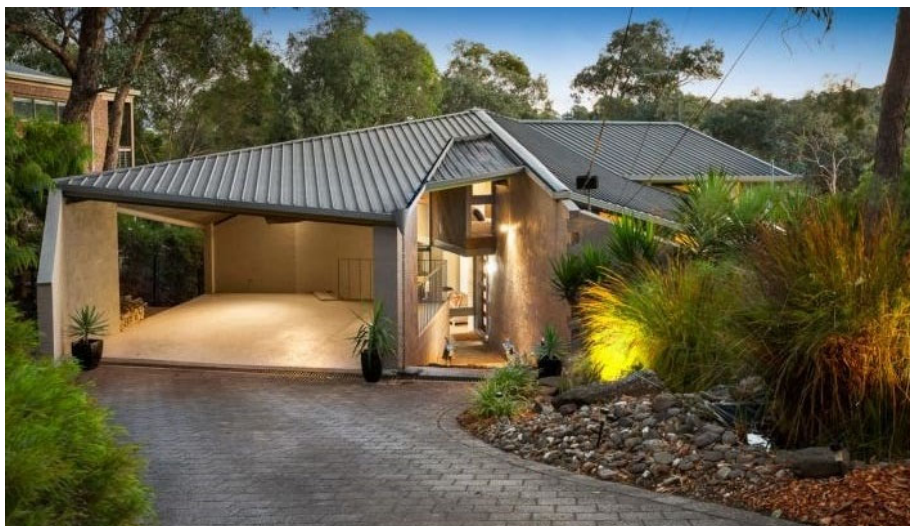


Figure 2. Principal elevation of 144 Progress Road, Eltham North. (Source: realestate.com.au 2017)



## HISTORICAL CONTEXT

This place is associated with the following historic themes taken from the *Nillumbik Shire Thematic Environmental History* (2016):

### 6 BUILDING TOWNS AND SHAPING SUBURBS

#### 6.6 1960s and 1970s suburbanisation

*From the mid-1960s the main suburban expansion in the former Eltham Shire area was east from Eltham, aided by the construction of the new Fitzsimons Lane (Eltham-Templestowe) bridge in 1963. This expansion was limited by topography and by methods of corridor planning including the green wedge and rural zoning. As a result, the eastwards trend would not extend past Research. The occupants of this new residential area were typically high-income families commuting to work in the city. When author and diplomat Graham McInnes returned to Melbourne in 1969 after leaving in the 1930s, he said that one of the most noticeable differences was that 'Eltham was the country, now it is right in Melbourne'. (Mills & Westbrooke 2016:87)*

*Residents who had established themselves in the early postwar period questioned the bona fides of this new wave of aspiring bushland home owners. [Alistair] Knox described how 'the rich and affluent eastern suburbanites started casting sheep's eyes at this unkempt bushscape.... Eltham was once again under threat from the land profiteer, who would butcher the living qualities of its inhabitants to make their Roman holiday.'. On the other hand, the middle-class professionals of this new influx were environmentally conscious, politically well informed and numerous enough to exert a profound effect on the conservation of the surrounding landscape. (Mills & Westbrooke 2016:87-88)*

*By the 1970s, the aesthetics of the bush that had been developing throughout Australia were influencing the more sought after city fringe suburban developments. These suburban developments adopted some of the trappings of environmental building that had been developed, in part, by the Eltham mud brick pioneers. The environmental thinking had been translated into a set of standard approaches, including preservation of existing trees, adaptation to contours, underground services and establishment of a network of linked bush parks. Road planning strategies such as cul-de-sacs enabled isolation from busy through streets. Roads were softened with low-profile gutters and the transition from road to driveway was softened with the use of paving materials in the road surface. Even so, these developments substantially remade the landscape. (Mills & Westbrooke 2016:88)*

*In the 1970s the Nillumbik area and nearby suburbs were graced with a number of residences designed by up-and-coming architects of the day including Kevin Borland, Charles Duncan and Morrice Shaw. Philip Goad describes their works as 'free and inventive compositions' and 'programmatically innovative'. Their designs featured informality, woodsy detailing, mezzanine floors and sliding doors opening onto timber decks. Other features included bagged brick, or brick seconds, window frames stained brown or pale eucalypt green and diagonal timber lining boards (Goad 1999, p. 199). (Mills & Westbrooke 2016:89)*



## LOCALITY HISTORY

Eltham North is located on the country of the Wurundjeri-willam clan of the Woi wurrung people.

Diamond Creek separates Eltham North from Eltham and was the dividing boundary between municipalities; Eltham North was in Heidelberg City and, from 1964, in Diamond Valley Shire. In 2001 Eltham North's western boundary moved from Ryans Road into St Helena. As a result, today Eltham North is located within two local government areas: the City of Banyule and Nillumbik Shire (*Victorian Places* 2015).

Eltham North, originally an outlying rural part of Eltham, became a separate locality with the opening of the Glen Park (later Eltham North) State School No. 4212 in 1924. At the time the locality was known as Glen Park, with that name recorded in street directories until the 1960s. The postal district, however, was Eltham North (*Victorian Places* 2015).

Extensive subdivision to the northeast and northwest of Eltham occurred from the first decades of the twentieth century, although residential development was slow due to an absence of electricity and water services. A new bridge across Diamond Creek, opened in 1915, improved connections between Eltham and Eltham North.

The Eltham and Glen Park Progress Association was formed in 1921 and called for the construction of a railway station at Glen Park (later Eltham North), midway between Eltham and Diamond Creek stations. In 1924 the Glen Park Progress Association expected such a station would service 387 blocks in the Bellevue and Beard estates and 313 blocks in the Glen Park Estate subdivision. Glen Park at this time had 89 houses with a largely working-class population of 198 people. It also had 97 weekenders (Mills & Westbrooke 2017:72).

Glen Park Primary School No. 4212 was subsequently opened after the Progress Association petitioned the Education Department, stating that the population of the area was growing and complaining that children had to walk two to three miles to Eltham or Diamond Creek schools. The first school opened in May 1924, with 38 pupils, in a private house called 'Rest-a-While' in Lower Glen Park Road, where it operated for the next 17 months. In 1925 it was relocated to a single room transported by wagon from Greensborough and moved to land in Banks Road (Eltham North Primary School 2020; Blake 1973:138). The school's name was changed to Eltham North in that year (Blake 1973:138).

In 1925 a building for the Glen Park Gospel Mission was erected (*Advertiser* 4 December 1925:3).

Local builder Alistair Knox designed and constructed a number of mudbrick houses in the area from the late 1940s, contributing to a style of architecture that became known as the 'Eltham style'.

Reflecting the postwar growth in the area, by 1952 there were 62 children attending the Eltham North State School, and in 1953 a new school building was completed in Wattletree Road (Blake 1973:138).

Today the primary school is in the east of the suburb, adjacent to the Glen Park Gospel Church and local shops. There is a kindergarten in Glen Park Road. Eltham North has numerous bushland reserves and playgrounds (*Victorian Places* 2015).

## PLACE HISTORY

The subject site is located on Crown Allotment G, Section 11, Parish of Nillumbik, comprising 89 acres and first purchased by PAC O'Farrell in 1852 (*Nillumbik Parish Plan* 1961). By 1884 the Crown Allotment had been subdivided, with 75 acres of land acquired by James Darley Mealy, 'gentleman',



in 1909. Between 1913 and c1919 Mealy served as a member of the Eltham Shire Council (*Advertiser*, 11 January 1935:2). He died in 1935, and in 1940 the land passed into the ownership of Elise Stewart. In 1947 it was owned by Inter-Urban Builders Pty Ltd (CT:V1537 F305; CT:V3346 V070).

Inter-Urban Builders subdivided the land into residential blocks, with lots sold from 1947 to 1967 (CT:V3346 V070). The subject site is Lot 210 of this subdivision. Lots 209 and 210 were purchased in 1960 by Lower Plenty builders Stanley Brown and Gordon Saw (CT:V8256 F347). Lot 210 changed hands multiple times until 1972, when the property was acquired by Garry and Linda Richardson (CT:V8654 F863). By 1972, residential development had continued along Progress Road (Figure 3).

The subject residence was built for the Richardsons between 1972 and 1975 to a design by architect Glyn Lewis (realestate.com.au 2017). The residence and its complex roof form is depicted in aerial photographs of the area taken in 1975 and 1987 (Figure 4).

A building permit was issued for a carport and garage in 2004 (BP). These are located to the northeast corner of the site, adjacent to the driveway. The site plan attached to the 2004 permit application does not depict the south-facing family room that exists by 2009. Aerial photographs indicate that the family room, the alfresco dining area and the split-level timber decking along the south elevation were added between 2004 and 2009 (Figure 5).

*Glyn Lewis, architect*

Glyn Lewis graduated with a Bachelor of Architecture from the University of Melbourne's Faculty of Architecture in 1965 (*Age* 15 April 1965:13). Lewis's known works include a Californian Bungalow in Alphington that he remodelled as his own home c1980, which appears to have been influenced by American architect Bruce Alonzo Goff, whose work was distinguished by curvilinear or unconventionally geometric forms. Around 1969, Lewis also designed a more conservative project home in Donvale, which was nominated for the 'Finest in Family Living' contest in 1971 (Victorian Modern). Reportedly, Lewis worked in the office of renowned Modernist architect Peter McIntyre in the 1990s (pers. comm with Peter McIntyre 5-6 May 2021).



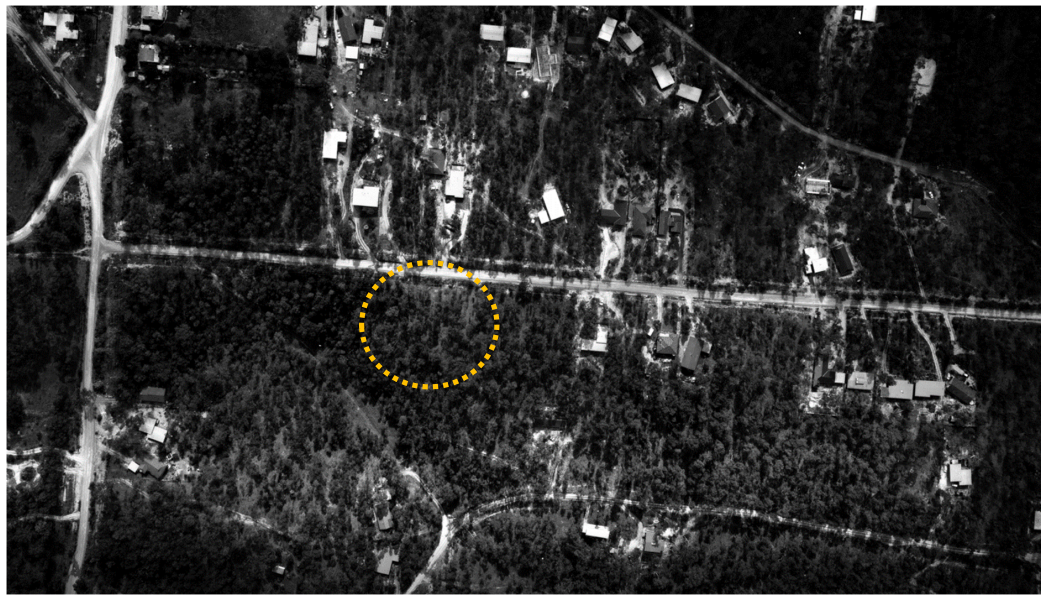


Figure 3. Aerial view of 144 Progress Road, Eltham North, and surrounds in August 1972. The building is not evident. The approximate allotment location is circled in yellow. (Source: CPO, 'RESEARCH CREEK (8/1972)' 1972, via LANDATA)

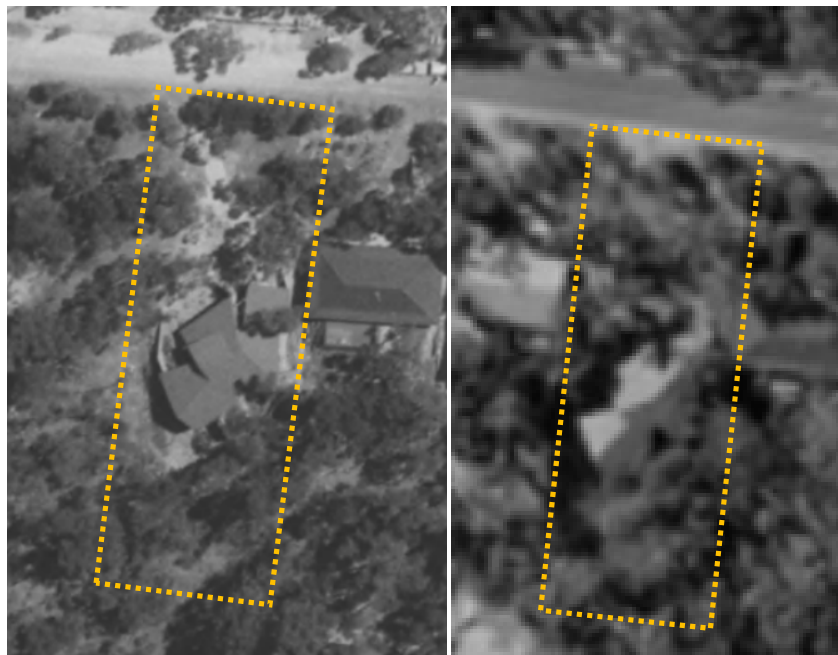


Figure 4. Aerial view of 144 Progress Road, Eltham North, in 1975 (left) and 1987 (right). The approximate allotment boundary is shown in yellow. (Source: CPO, '(ALSO A.P. 1227)' 1975 (left) and 'WESTERN PORT FORESHORES' 1987 (right), via LANDATA)





Figure 5. Site plan of 144 Progress Road prepared in 2004 (left) and a 2009 aerial view (right), showing the new carport and garage added in 2004 (outlined in red) and the south-facing family room added between 2004 and 2009. (Source: BP; Nearthmap 2009)

## DESCRIPTION

The house at 144 Progress Road, Eltham North, built between 1972 and 1975 to a design by architect Glyn Lewis, is constructed predominately of bagged concrete blockwork. Located on the southern side of Progress Road, the house is positioned centrally within a rectangular allotment (Figure 6). The land falls from north to south, providing a secluded setting for the house. Some native and introduced trees exist on the front setback.

A curving paved drive leads from the cross-over at the northwest corner of the block to the original open carport on the eastern side (Figure 7). The recessed entry to the house is accessed via a sloping path located between two converging walls: the western wall of the carport and the eastern walls of the main bedroom and a courtyard to the west.



The subject house sits low in the landscape at its northern end closest to the street but is elevated at its southern end by virtue of the fall of the site, providing views to the south. Its irregular and abstract geometries contrast with the organic forms of the surrounding landscape. In plan, the house comprises a series of fragmented geometric forms with angular wall planes (Figure 8). The internal spaces are distinguished by walls with bagged blockwork and sweeping timber-lined ceilings generated by the house's complex roof form.

The dynamic roof form is clad in metal roof decking. It comprises several angled roof planes slanting from a central ridgeline that runs generally from northeast to southwest. The main roof ridge has been broken and realigned in association with the northern sections of the building (the bedroom wings) to capture northern light and views to both north and south. Internally, the house is split-level with a small upper floor accessed via a spiral staircase. There is a northwest-facing clerestory window on the upper level (Figure 9). There are two sheltered north-facing courtyards to the north of the residence (Figure 10). A walled courtyard encloses the main bedroom and ensuite area on the north elevation to capture northern light and create sense of intimacy and privacy. A separate enclosed deck is accessed through the dining room.

The original dining room and lounge and the new family room also overlook the backyard to the south, with large expanses of floor-to-ceiling windows and doors that integrate indoor to out. The north-south slope of the site provides unimpeded views from these rooms.

The south-facing kitchen and family room have a large glazed section of roof added between 2004 and 2009. The alfresco area and split-level timber decking with a children's slide likely date to from the same period.

The backyard, on the south side of the house, is accessed via a sloping footpath on the east. Landscaping elements and garden furniture including a cubbyhouse in the backyard are not original. A carport and garage structure built in 2004 is located at the front of the property but is largely shrouded with vegetation.





Figure 6. Aerial view of 144 Progress Road, Eltham North (outlined in red), showing its complex corrugated steel roof form. (Source: Nearthmap 2021)



Figure 7. Site plan of the subject site in 2017. (Source: realestate.com.au 2017)

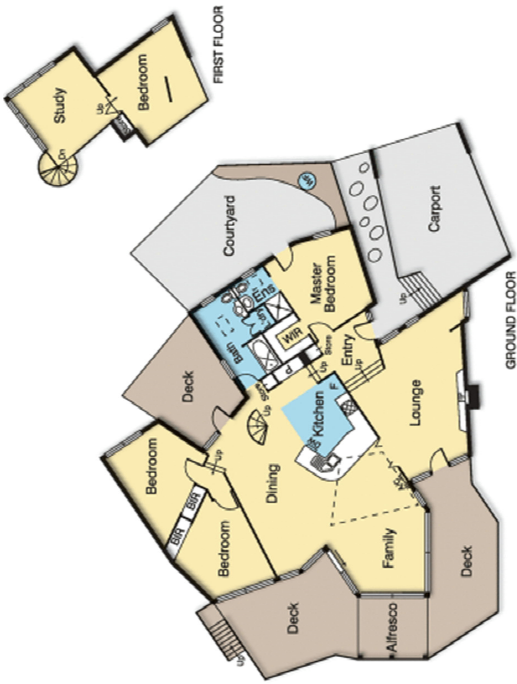


Figure 8. Floorplan of the house in 2017. (Source: realestate.com.au 2017)





Figure 9. The upper-storey study with the northwest-facing clerestory window. (Source: realestate.com.au 2017)



Figure 10. Internal views from the dining room (left) and main bedroom (right). Note the two sheltered north-facing open-air pockets. Also note the spiral staircase. (Source: realestate.com.au 2017)

## INTEGRITY

The house at 144 Progress Road, Eltham North, is largely intact, with few changes to the 1970s fabric. The building retains its original built form including a complex, angled roof form; angular wall planes of bagged concrete blockwork; floor-to-ceiling glazing; and the pattern of openings on the original portion of the house. The skylights on the roof and the upper-storey clerestory window facing northwest are also retained.

The south-facing family room added between 2004 and 2009 is not visible from the street. The 2004 carport and garage structure is visible at the front of the property; it is shrouded with vegetation and is not intrusive.

Overall, the house has high integrity to its original design by Glyn Lewis.

## COMPARATIVE ANALYSIS

Architect-designed homes became more common in Nillumbik and its surrounds in the postwar period. From the 1970s, up-and-coming Melbourne architects including Kevin Borland, Charles Duncan and Morrice Shaw turned their hand to designing residences in the area. Many of these designs incorporated considerations that had become hallmarks of the 'Eltham style' in the immediate postwar period. These included the informality, the use of natural materials and integration with the



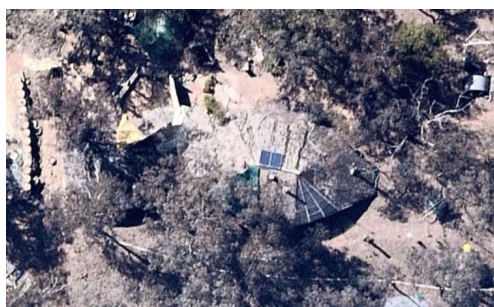
natural environment. Many of these designs, however, exhibit aesthetic differences that reflected a wider engagement with evolving ideas explored within Australian architecture at the time of their construction. As noted in the *Nillumbik Shire Thematic Environmental History*, the architect-designed homes of this period featured 'informality, woodsy detailing, mezzanine floors and sliding doors opening onto timber decks.' The commonly observed construction materials included bagged brick or concrete, second-hand bricks, window frames stained brown or pale eucalypt green, and diagonal timber lining boards (Mills & Westbrooke 2016:89).

The house at 144 Progress Road, Eltham North both references and departs from the 'Eltham style' mudbrick homes that proliferated in the 1950s and 1960s. Its dynamic forms and contrasting materials both consciously respond to and are articulated from the natural world. The architecture presents as a somewhat more discontinuous object within the landscape than earlier 'Eltham style' houses. It does not exhibit the same romantic affinity with the landscape, despite being driven by a response to it. It represents a departure from the earthy, organic architectural style that influenced the development of the 'Eltham style' with its tendency towards more pure and regular geometric forms and more consciously 'natural' materials.

Architect-designed houses from the late 1960s and 1970s are underrepresented on Nillumbik's Heritage Overlay. The following examples are comparable to 144 Progress Road, Eltham North, for their architectural expression or construction period.



Built for the well-known potter Leon Saper in c1967, the house is architecturally significant as a work of Morrice Shaw. Shaw was a Modernist architect who worked in the office of Kevin Borland. The house is one of the most creative and unusual dwellings built in Victoria and Australia during the 1960s. It combines the Modernist ideas with the use of mudbrick and recycled materials that are characteristic of the 'Eltham style' (VHD).



The house is noted for its highly individualist expression, which Alistair Knox described as 'one of the most amazing designs that have occurred in mud-brick building'. The building combines a free-form plan with flowing pisé walls and fireplace under a complex organic roof form. It is the earliest known example in Victoria of a strand of the late-twentieth-century organic style (VHD; Mills & Westbrooke 2016:87-89).

Leon Saper Residence, 60 Dunmoochin Road, Cottles Bridge (HO41). (Source: Victorian Collections; Nearmap 2021)





The Burns House ('Kangaroo'), 644 Henley Road, Bend of Islands (VHR H2314, HO258). (Source: VHD; Nearmap 2021)

The Burns House, known as 'Kangaroo', was designed by the architect and artist Peter Burns and built in stages from 1968 on an elevated sloping bush site. The Burns House is made up of three linked triangular-plan pavilions set in informal gardens established largely by Mary Burns. The use of cheap materials, such as fibro cement sheet cladding to the walls and Stramit system ceilings, reflects the relative austerity of the period and the lack of resources of the family (VHD). The inwardly-sloping walls, acrylic dome windows and flaps for ventilation are key design elements. 'Kangaroo' was designed not to blend in with the bush setting but 'as a gesture to come to terms with nature' (VHD).

The Burns House is architecturally and historically significant at state level.



16 Warringah Crescent, Eltham (recommended as an Individually Significant place in this study). (Source: Context 2021; Nearmap 2021)

16 Warringah Crescent, Eltham, is a substantial concrete block and timber house built c1975 to a design by architect Peter Carmichael of Cocks Carmichael. 16 Warringah Crescent, Eltham, is aesthetically significant as a well-detailed architect-designed house that responds to its sloping bushland block. The house is integrated into the landscape, sited below street level and stepping down the block towards the rear, following the natural fall of the land from east to west. Constructed primarily of clay-coloured concrete blocks, the house is sculptural in form and presents to the street as a series of low interlocking geometric cuboid and angular shapes that both contrast with and complement the natural topography and bush setting of the site.





Nichols House, 17 Haldane Road, Eltham (no HO but identified in the *Nillumbik Shire Thematic Environmental History*). (Source: E. Willis 2009, 'Nichols House, Eltham, 1972-1973'; Nearmap 2021)

The Nichols House was built in 1973 to a design by architect Kevin Borland. Borland won The Age-RAIA House of the Year Bronze Medal for his design of this large sprawling house of brick and timber, built on a steeply sloping site. The house comprises five different levels with small and large spaces. By 1980 Norman Day wrote that the Eltham area was 'potted' with rugged Borland houses (cited in Mills & Westbrooke 2016:89). 'Their rude frames, rough nailed boards and spiky roofs surprise even the unconservative hill people up there.' Day further noted that Borland's signature style of 'bush-carpentered mixture of simple materials, complex planning and uncompromising form-making' was perhaps just as suited to the Eltham hillsides as the earlier visions of the mudbrick houses (Mills & Westbrooke 2016:89).

## Discussion

144 Progress Road, Eltham North, compares well with the above examples of architect-designed homes of the late 1960s and 1970s that are distinguished from the 'Eltham style' mudbrick homes of the earlier decades. These houses represent a period in Nillumbik's history when a group of architects formulated new and inventive responses to suit the hilly topography of the local area. These examples display individualistic designs that depart from earlier 'Eltham style' or Modernist houses that were characterised by far simpler forms, geometries and a more romantic and mimetic identification with the landscape in material terms. The key characteristics that are observed in these later houses include the informality displayed through the irregular geometric plans, the complex broken roof forms, and the sloping walls that reject orthogonal wall planes. The split-level designs with interconnected small and large spaces are also common. Like their earlier 'Eltham style' and Modernist counterparts, these buildings responded to the environmental factors of the local landscape including views, topography, sun and wind. They represent, however, a more complex relationship between nature and the built environment with forms that are consciously articulated from it and contrasting with it.

144 Progress Road is distinguished from the Leon Saper Residence (HO41), a pioneering example of the organic architecture in Victoria, which adopts an undulated form. The state-listed Burns House (VHR H2314, HO258) is more similar to 144 Progress Road, Eltham North, for its pursuit of an angular abstract form that sits as a sculptural object within the bush setting. These houses do not attempt to blend in with the natural landscape.



Outside the Heritage Overlay, the architect-designed houses at 16 Warringah Crescent, Eltham (recommended as an Individually Significant place in this study), and 17 Haldane Road, Eltham (no HO but identified in the Nillumbik TEH), are also similar to 144 Progress Road. The houses have a sprawling form that steps down the block, following the natural fall of the land.

Overall, 144 Progress Road, Eltham North, is representative of the innovative architectural explorations of the time. Its notable elements include the irregular geometries, converging and diverging walls, a rejection of orthogonal wall planes, the broken roof ridge and intersecting roof planes, and the pursuit of an angular (rather than undulating) abstract sculptural form.



## **STATEMENT OF SIGNIFICANCE**

### **WHAT IS SIGNIFICANT?**

The house at 144 Progress Road, Eltham North, built c1972-75 to designs by architect Glyn Lewis, is significant.

Elements that contribute to the significance of the place include:

- the original plan comprising a series of fragmented geometric forms;
- the original complex, angled roof form;
- angular wall planes of bagged concrete blockwork; and
- the full-height glazing and pattern of openings including skylights to the roof and a clerestory window;

Later additions including the garage and carport (built in 2004) and the south-facing kitchen and family room area, alfresco and split-level timber decking (built between 2004 and 2009) have been undertaken in a compatible architectural style but are Non-contributory.

### **HOW IS IT SIGNIFICANT?**

The house at 144 Progress Road, Eltham North, is of local representative significance to the Shire of Nillumbik.

### **WHY IS IT SIGNIFICANT?**

The house at 144 Progress Road, Eltham North, is significant as a representative example of an architect-designed house from the late 1960s and 1970s. During this period, Nillumbik saw the development of a new strand of domestic architecture that departed from the 'Eltham style' or Modernist houses of earlier decades. The house is responsive to but formally articulated from its bush setting. It does not attempt to blend in with the natural landscape. The notable elements of the subject house include its irregular geometries, weighty converging and diverging walls, a rejection of orthogonal wall planes, the broken roof ridge, intersecting roof planes and the pursuit of an angular (rather than undulating) abstract form. (Criterion D)





RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as an Individually Significant place.

**Extent of overlay:** To title boundaries

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

Nillumbik Planning Scheme

External paint controls	No
Internal alteration controls	No
Tree controls	No
Outbuildings or fences	No
To be included on the Victorian Heritage Register	No
Prohibited uses may be permitted	No
Aboriginal heritage place	No

Other

N/A



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Response No:  
14

Contribution ID: Letter Member

ID:

Date Submitted: 03 August 2023

Details

32-36 Perversi Avenue, Diamond Creek

Stage B - 30

HO323

Objection





### Villa Bereguardo

Prepared by: Trethowan Architecture

**Address: 32-36 Perversi Avenue**

<b>Name:</b> Villa Bereguardo	<b>Survey Date:</b> February 2022
<b>Place Type:</b> Residential	<b>Architect:</b> FW Thomas
<b>Grading:</b> Significant	<b>Builder:</b> FJ Jennings
<b>Extent of Overlay:</b> To title boundaries	<b>Construction Date:</b> 1924



### Historical Context

Although Crown Land in Nillumbik Parish was offered for sale in 1852 there were few buyers. A government township was reserved on the west of the Diamond Creek at this time but it was neither subdivided nor sold until 1866. In 1863 the Diamond Reef was discovered on land purchased by Dr John Blakemore Phipps in 1854 east of the creek. The rush to Diamond Creek began and soon Phipps was renting sections of his land, which he later subdivided to miners. In effect the development of Phipps land for gold mining was the beginnings of Diamond Creek, which was soon bustling with gold seekers. In 1866 the government proclaimed Diamond Creek as a township. Many of the important community buildings were established by the early 1870s. By the second half of the 1880s the locality was being carved up rapidly into a dominant pattern of numerous small lots of around 20 acres. These were taken up under occupation licenses, first under Section 49 of the Land Act 1869 and later under Section 65 of the Land Act 1884. Diamond Creek's population





peaked around the turn of the century then seemed to fall away again in the early twentieth century (Graeme Butler & Associates 1996, p.36).

In 1912, the Eltham Railway Line was extended to Hurstbridge through Diamond Creek, bringing tourists to this area. Despite this, Diamond Creek remained a rural township throughout the first half of the twentieth century/ From the 1960s onwards, affordable land on subdivided orchards and accessibility to railway networks attracted young families to build their homes in the area, prompting the population growth in Diamond Creek (Jill Barnard, 2008).

### History

Adolph Frederick Seelenmeyer acquired 158 acres of Portions 2 and 3 Parish of Nillumbik, in 1915, before subdividing the land into smaller lots for sale. Sicilia Perversi acquired 12 acres of the subdivision (Lots 11-15 and 22-23) in February 1924. Guiseppi Perversi acquired another adjoining two acres to the east (lots 16 and 17) in October 1924 (CT: V3899 F780; V4808 F539).

Guiseppi Perversi was born in Bereguardo, near Milan, in 1884, before arriving in Melbourne in 1914 and being naturalised as a citizen in 1914 (Perversi 2002:12; NAA: A1, 1914/6188). It appears that he was first employed as a wine merchant on Chapel Street in Prahran by Azzo Ongarello, before taking over Ongarello's wine license and premises by 1918 (*Vigilante* 1 September 1918:1). Sicilia (Scolari) Perversi was born in East Melbourne in 1895, and was the younger sister of Azzo Ongarello's wife (BDM 5264). Guiseppi Perversi and Sicilia Scolari were married at St Joseph's Catholic Church in Northcote in 1919. (BDM 939; *Table Talk* 6 February 1919:25; 12 May 1927:56). By 1923 Guiseppi Perversi had a wine and spirits store at 295 Hoddle St Abbotsford; Sicilia obtained the wine licence for the business the following year (*Argus* 7 November 1923:13; *Age* 23 December 1924:13).

In March 1924 FW Thomas, architect of 60 Queen St Melbourne, invited tenders for construction of a reinforced concrete bungalow in Diamond Creek (*Argus* 29 March 1924:1). By July building, noted as being constructed for Mr G Perversi, was under way. In July 1924 a newspaper reported that "Mr (F.J.) Jennings, builder, is at present erecting £1500 reinforced concrete house of 7 rooms with verandas on three sides in a commanding position at Diamond Creek". According to the architect, the house was to feature the "Dutch style", which may have been a reference to the curved balustrades (*Advertiser* (Hurstbridge) 25 July 1924:4; Figure 1).

FW Thomas does not appear to have been a prominent architect, and much of his work was based around Prahran. These works include a brick stable in 1906, additions to 'The Colosseum' (a large drapery store on Chapel Street) in 1911, and a warehouse in 1925 (*Age* 22 September 1906:4; *Prahran Telegraph* 22 December 1911:15; *Argus* 17 January 1925:5). In 1927, he designed the Prahran Meat Markets in conjunction with F.L. and K. Klingender (*Age* 5 November 1927:1). FJ Jennings was active as a builder in the district during the 1920s, advertising his services in the Hurstbridge *Advertiser* between 1924 and 1928 (*Advertiser* (Hurstbridge) 23 May 1924:3; 7 December 1928:3). In 1925 he constructed the replacement Queenstown (St Andrews) public hall (*Advertiser* (Hurstbridge) 17 April 1925:2).



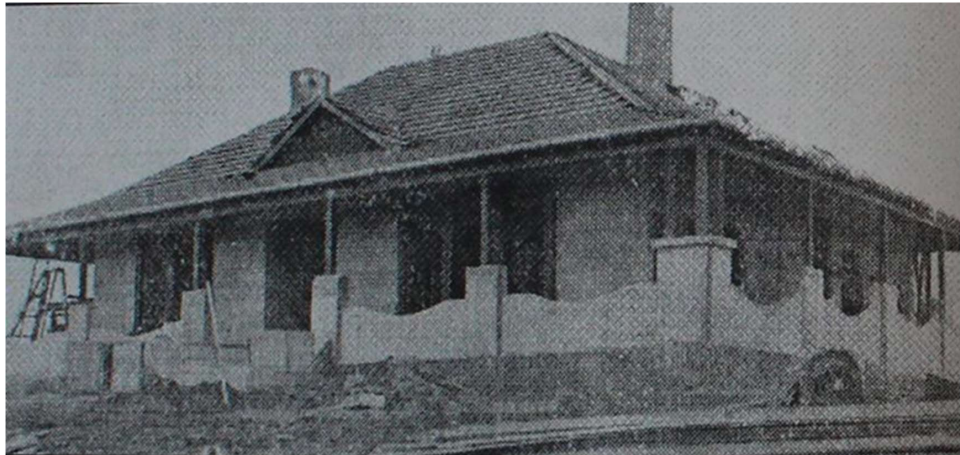


Figure 1: A view of the principal facade of the Perversi house under construction c1924, taken from the southwest. Note the chimneys, curved balustrade and small gable. Source: Bates 2006:36.

It appears that the house at Diamond Creek was initially used by the Perversi family as a weekend residence. The Perversi's were still residing in Collingwood up until 1929, travelling to Diamond Creek by car (*Advertiser* (Hurstbridge) 5 July 1929:2). The Perversi's had evidently planted an orchard on the property by this stage, as they were fined for failing to eradicate codlin moth on their trees (*Advertiser* (Hurstbridge) 22 February 1929:4). By 1930, when their daughter Iolanda was born, they were described as residing at Diamond Creek permanently (*Argus* 9 December 1930:1).

The house performed an important role in the Perversi's involvement in the community life of Diamond Creek. A report on a fund-raiser for an organ for the Sacred Heart church hosted by the Perversi's at their 'charming residence, Villa Bereguardo', reveals details of the house and garden. The verandah was converted into 'an attractive bazaar' for the occasion, with stands against the walls. A flower stall was located in a 'charming bush house' on the lawn, and a lucky dip was located in the 'large fernery.' Afternoon tea was served in the 'spacious dining room,' and music came from a piano and assorted instruments played in the lounge (*Advertiser* (Hurstbridge) 1 December 1933:2-4). In 1939 the house hosted sixty players at a euchre party in aid of the church, and in 1941 the family entertained soldiers from the Heidelberg Military Hospital on behalf of the Diamond Creek Red Cross (*Advertiser* (Hurstbridge) 26 May 1939:5; *Eltham and Whittlesea Shires Advertiser* 20 June 1941:4).

Guiseppe died in Melbourne in 1961 (BDM 14434/1961). The Perversi family sold Lots 22 and 23 in 1967, Lot 15 in 1968, Lot 14 in 1973 and Lot 11 in 1974 (CT: V4808 F539; CT: V9034 F399). Sicilia died in 1973, and bequeathed her land to the Sisters of Mercy in Rosanna (BDM 3544; PROV, VPRS7591/P4 Unit 332, Sicilia Perversi File 752/180.). The land changed ownership multiple times in the following years (CT: V9030 F772).

### Description & Integrity

The subject site is a rectangular residence with a veranda to three sides, contained under a single tile-clad hipped roof. The walls of the building are rendered concrete. The veranda is supported by timber posts with brick pillar bases and is enclosed by a scalloped brick



balustrade. The timber posts have corner timber brackets, and the roof features exposed timber rafters.

The entry to the residence faces west and the principal elevation has a central door with large leadlight windows either side. There is a small, central gable in the roof facing west that is clad with painted shingles. There are two symmetrically arranged rendered chimneys with terra cotta pots at each end of the ridge line of the roof.

To the rear are two small projecting wings at each end of the return verandah, both of which are also contained under the main sweep of the roof (Figure 2. Between these two side wings is a gable roofed wing that is slightly shallower. The side wings have timber framed double hung windows and hoods with brackets over the windows.



Figure 2: A view of the house from the north, showing one of the rear wings highlighted in red. Source: Trethowan.

There is a small out building on the northeast corner of the site. The building has a tile clad gable roof with exposed rafters, and appears to be built of rendered masonry. The gable ends are clad in painted shingles (Figure 3). Alterations have been undertaken to this building, with the installation of new glazing. This appears to be early and is possibly contemporary with the residence. There is also another gable roofed shed on the southwest side of the site, which is used as a double garage and is not original to the house.





Figure 3: A view of the small gabled outbuilding in the northeast corner of the site. Source: Trethowan.





## Comparative Analysis

### *Interwar Bungalows*

Following the financial and social upheaval and general devastation of WWI, Australian housing ideals were significantly altered. Although the aspiration of an individual house on its own block had driven earlier suburban development, the ideal was 'carried into a new dimension' in the interwar period (Cuffley 1989:14). As a mark of the renewed optimism of a society emerging from war, garden suburbs, model villages, War Service Loan and Bank houses facilitated major Australian residential growth. The new bungalow form came to dominate, deviating from the established Victorian and Federation styles, and architectural applications drew from diverse stylistic origins.

A majority of houses of the era were illustrative of the demand for low-cost housing. Schemes such as those of the State Savings Bank provided customers of lesser means readily available finance to purchase land and construct modest houses using pre-prepared designs (Cuffley 1989:17). Many used new cost-efficient materials, especially those in outer suburbs and regional areas. The bungalow was also popular amongst the wealthier classes, who expressed the form in more substantial dimensions and materials. These houses were often architect-designed and individually treated and featured comparatively elaborate design details.

Interwar development in the Shire of Nillumbik appeared to be slow, possibly due to its distance from the city and continuing agricultural setting. The conservatism often associated with sleepier rural areas may also have contributed to a slow up-take of new architecture (Cuffley 1989:22). Many houses built in the Shire during this period appear to be modest, weatherboard structures with little architectural pretence.

Although interwar dwellings are under-represented on the Heritage Overlay, the number of substantial residences built during the Interwar period in the Shire is further limited. The following places are comparable to the subject site, as a more substantial interwar home designed for a prosperous family.

- Brinkkötter House, 32 Lindon Strike Court, Research (HO114)
- Worlingworth, 10-26 Banoon Road, Eltham (HO7)
- Orchard House, 25 Cottles Bridge-Strathewen Road, Cottles Bridge (HO190).





Figure 4. Brinkkoter House, 32 Lindon Strike Court, Research (HO114).

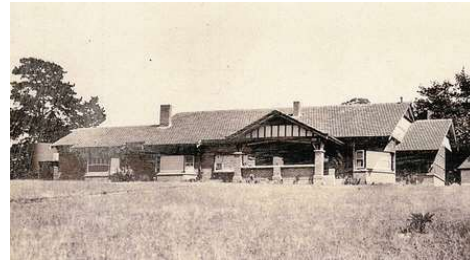


Figure 5. Worlingworth, 10-26 Banoon Road, Eltham (HO7).



Figure 6. Orchard House, 25 Cottles Bridge-Strathewen Road, Cottles Bridge (HO190).

The Brinkkoter House at 32 Lindon Strike Court was built c1935, and is significant for its associations with the Brinkkoter family, who were well-known farmers and orchardists in the region. It is also aesthetically significant for its unusual design. An earlier significant house exists on the same site, and the presence of two adjacent farmhouses on one property is uncommon.

Worlingworth at 10-26 Banoon Road, built c1922, is historically significant for its associations with the notable anthropologist Donald Thomson, who lived there from the mid-1930s and because it is one of a few substantial homes erected in the Shire during the interwar period.

The Orchard House at 25 Cottles Bridge-Strathewen Road, is significant as one of few brick houses built prior to 1930 in the Shire. The house is considered significant due to its transitional style, which demonstrates elements of both federation and interwar bungalow styles.

Although of similar substantial construction, the subject site is set apart from the houses at 25 Cottles Bridge-Strathewen Road and 10-26 Banoon Road, which both exhibit the more recognisable characteristics of interwar bungalows with their prominent gable roofs and projecting bay windows. The subject site is most similar to the house at 32 Lindon Strike Court, as both are rectangular form houses with surrounding verandas contained completely under the sweep of one hipped roof. Both houses are also positioned to take advantage of views to valleys. Although they are similar in their form and substantial nature, the subject site demonstrates an unusual use of curved solid balustrading and concrete construction. Overall, the subject site compares favourably against these examples.

#### *Concrete Construction*

Domestic concrete construction prior the post-war period is uncommon in the Shire of Nillumbik.



Before 1900 concrete building was virtually unknown in Victoria, with only a few examples in monolithic construction (without steel reinforcement). Concrete construction progressed faster for commercial buildings where the structural benefits were greater. Some concrete houses appeared in the suburbs of Melbourne after 1900, and a group were built in Sunshine for the workers of the Mackay Sunshine Works in 1910 (VHD Place ID 45843, 'Concrete Housing Estate Precinct').

The demand for affordable construction and a shortage in housing following WWI encouraged architects to explore new building methods. In a time where timber and bricks were expensive or in scarce supply, concrete was recognised as a cheaper and readily available alternative. Adoption increased from around 1919, when six reinforced concrete houses were built in Melbourne to designs by architect and proponent of concrete construction Leslie Perrot (Perrott 1919). Various other homes were built in concrete to designs by Walter Burley Griffin at a similar time.

The mid-to late 1920s and 1930s saw a flurry of concrete house building activity in Victoria, and particularly Melbourne (Lewis 2013:4). 'Park View' in Racecourse Road Flemington was constructed in 1924, unusually using tram cables and horseshoes for reinforcement as a measure of economy (VHR Place ID 4430, 'Park View'). In the same year, another group of concrete houses was built to designs by architect GB Leith in Sunshine for workers at the Sunshine Harvester Works, with backing from the State Savings Bank (VHD Place ID 45843, 'Concrete Housing Estate Precinct'). Concrete houses were built to Leslie Perrott's designs in Northcote in 1924, Kew and Wattle Valley Rd Camberwell in c1925, and in Portsea in c1926 (*Argus* 17 May 1924:20; Roser 2002:13). Despite the 1920s peak, the technology was not widely considered a common material for houses, and it was noted that in 1927 only 82 of 7,500 building housing permits issued within a twenty-mile radius of Melbourne were of concrete (Roser 2002).



Figure 7. Rear Concrete Studio, 60 Lavender Park Road, Eltham (HO113)

The only domestic interwar concrete construction on the Heritage Overlay identified for comparison is the Rear Concrete Studio at 60 Lavender Park Road. Although likely dating from a similar period, this building is differentiated from the subject site by its use as an ancillary building to a larger masonry house, rather than being a house itself. No other examples of concrete houses built prior to the post-war period were identified in the Shire, highlighting the subject site's rarity.

#### **Assessment Against Criteria**

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.





*CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).*

The property is historically significant as a substantially intact example of a 1920s residence demonstrating the early use of reinforced concrete walls. Constructed in 1924, the property is also an example of a residence initially constructed for weekend use by a prosperous Italian family based in Melbourne. The family's presence also demonstrates pre-WW2 Italian migration in Victoria and in the Nillumbik area.

*CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).*

Known surviving examples of early reinforced concrete houses such as this one are rare in the Shire of Nillumbik.

*CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).*

*CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

The residence is a substantially intact 1920s architect designed concrete house that retains many of its original features including its overall original form with hipped roof, verandah around three sides and corner pavilions to the rear. The pavilion form of the house with its rear corner wings, the decorative verandah balustrade with timber fretwork and the chimneys and gables to the roof make it a particularly attractive building evocative of the 1920s period of design. The location of the house on the hill and the two palm trees at the front contribute to the aesthetic significance of the site.

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).*

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).*

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance).*





### Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>External Paint Colours</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	Yes – Palm Trees
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	Yes – front outbuilding
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	Yes
<b>Aboriginal Heritage Place</b> <i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No

### Identified By

Samantha Westbrook and Peter Mills, Trethowan





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Victorian Heritage Register (VHR) Place ID 4430, 'Park View', Victorian Heritage Database, accessed online 22 February 2022.



Response No:  
15

Contribution ID: Letter

Member ID:

Date Submitted: 03 August 2023

Details

183 Yan Yean Road, Plenty

Stage B - 37

HO330

Objection



**Title: Nilgiris, 183 Yan Yean Road, Plenty**

Prepared by: Trethowan Architecture.

**Address: 183 Yan Yean Road, Plenty**

<b>Name:</b> Nilgiris	<b>Survey Date:</b>
<b>Place Type:</b> Residence, outbuildings – poultry farming	<b>Architect:</b> Unknown
<b>Grading:</b> Significant	<b>Builder:</b> Unknown
<b>Extent of Overlay:</b> To property boundaries	<b>Construction Date:</b> c1926



View of Nilgiris, 183 Yan Yean Road, Plenty. Source: Peter Mills, 2016.

**Historical Context**

Plenty is a semi-rural district north of Greensborough, located 20 km northeast of Melbourne. The name Plenty is drawn from the nearby Plenty River, which had been proclaimed by Joseph Tice Gellibrand in 1835. Gellibrand chose the name to reflect the promising countryside of the area (Victorian Places).

In 1840, Crown land sales of the area began with blocks ranging from around 300 to 800 acres. Alexander McKillop was the first to purchase a block; Crown Portion 5 Parish of Morang constituting 820 acres. The Crown continued to auction the other blocks in 1853; Patrick Mornane obtaining Portion 3 Section 4, and L.C Luscombe purchasing 308 acres Portion 2 Section 4 (Westbrook 2016).

The settlement of the land between Plenty River and the early Yan Yean Road, (now partly Heard Avenue and partly Yan Yean Road), was gradually subdivided up until the early twentieth century. From this time the need for smallholdings increased substantially and land was divided more frequently as a result (Westbrook 2016).





This initial, ad hoc settlement pattern varies to other settlements in the Nillumbik Shire and relates to selection and the take-up of occupation licences in and around the auriferous areas. 'Glenaulin' on Portion 2 Section 12 of the Parish of Yan Yean further north, was subdivided into 108 2-acre lots and 72 1-acre lots advertised in early 1854. The selling of the lots, however, was unsuccessful (Westbrook 2016).

The alignment of the Greensborough Road (now Yan Yean Road) was altered from the original survey line with a series of curves to the west in 1869 (Argus, 23 June 1869:2). This new road formed a boundary for a number of subsequent subdivisions (Westbrook 2016).

Those who owned large blocks of land towards the north in Yan Yean Parish attempted ambitious early subdivisions into several smallholder blocks. Portion 2 Section 4 of Yan Yean, to the north of Plenty, was subdivided by Henry and John Cooke who advertised the blocks as, 'Egglestone Estate' c1885 (Westbrooke 2016).

The 1870s marked a more traditional pattern of subdivision in the area where larger blocks were divided into two or three lots. This pattern lasted up until 1900 with only few significant homesteads erected during this time.

The early twentieth century marked the height of a subdivision trend in the area. This was likely influenced by the success of smallholders, particularly orchardists, in surrounding areas such as Arthurs Creek. Leslie Woodbourne Clarke, a grazier from the Doreen property Linton Grange, is seen to have inspired this trend in 1905 having bought the northern lot of the northern half of the Crown Portion 5 and subdividing it into 9 lots from 10 to 28 acres. The first plot was purchased in 1906 and 8 had been sold by 1914, and the last selling in 1927 (CT: V3098 F446). The southern edge of the subdivision included a private road, Clarkes Road, now Worn's Lane. This success led to an increase in subdivision in the Plenty area where most smallholdings ranged from 10 to 30 acres.

Portion 5 west of Yan Yean Road, owned by Bank of Australia Ltd (presumably the rebadged Real Estate Bank Ltd which had purchased the land in 1888) was subdivided into 17 lots of approximately 20 acres each in 1911. Browns Road provided a central dividing line for the subdivision. 14 had sold by 1916 (CT: V2020 F836).

Arthur Grenbry Outhwaite of 'Tallarook', Walsh St South Yarra purchased 496 acres, the section of Portion 3 Section 4 west of the Yan Yean Road, from John Butler's executors in April 1912 (CT: V2326 F062). He subdivided his property into 40 lots immediately (CT: 3589 F730). The Lierse brothers (previously of Oatlands Road) bought the 38 acres at the western end of the subdivision in 1925, which included a number of the weekenders lots (CT: V3589 F 730). When Outhwaite died in 1938, only two lots remained unsold (CT: V3589 F730).

Plenty's new landscape was celebrated in an article in the Advertiser 1925, declaring it 'the Toorak of the northern suburbs, where you get a panoramic view of the surrounding landscape for miles; a grand health resort, and only fifteen miles from the GPO.' It is also notable that the area is described to be 'thrown open for selection' in 1913, which is likely referring to the recent surge in subdivisions, that a school had been built, that 'fine dwellings (were) built here and there' and the Plenty Social Club and Progress Association had formed (Hurstbridge Advertiser, 31 July 1925:4).

Plenty's town centre was established in the 1920s when the first group of facilities was established such as the school, Methodist church and store (Westbrook 2016). In 1928-29 the Heidelberg Shire resumed 10 acres of land in Portion 2 Section 4 to create a 'pleasure ground and place of public resort'. In May 1930, the Plenty Progress Association began to





raise funds to build a hall on this new recreation reserve (Hurstbridge Advertiser, 9 May 1930:4). Tenders were called in May 1931 and the hall was opened in July 1931 (Hurstbridge Advertiser, 9 May 1930:4; 23 May 1930:1).

After World War II, additional community facilities were built. The Plenty reserve became a War Memorial Park with memorial gates, toilets, a playground and trees planted by schoolchildren on Arbour Day. (Pearce and Plenty Historical Society 2009). A fire station shed was erected on the corner of Howell Road (Westbrook 2016).

### History

The history of this site prior to the interwar period is typical of the development of the Plenty locality. The first land sales were in 1853 (Morang Parish Plan), with the subject land later forming part of a 1912 subdivision 'Plenty River Estate' ('Plenty River Estate' advertisement poster c1912). Alfred Charles Webber purchased Lot 5 of the subdivision in 1917. He sold it to his son Charles (Robert) Fitzroy Webber in 1919 (CT: V4088 F501), who then bought the adjoining land to the north in 1920 (CT: V4311 Fol.153). The 1920 topographic map does not show a house on the land at that time (Cth Dept. of Defence, 1920).

The land was mortgaged to the War Service Homes Commission (WSHC) in 1921 (CT: V4088 F501). By 1921 the WSHC had ceased building houses and was rather issuing tenders for others to build the homes. As such, it is unlikely that the WSHC directly built the house at 183 Yan Yean Road, providing finance and pre-prepared design.

In 1926 Charles Webber subdivided the property. The sale offering described a "splendidly built H.W. [hardwood] bungalow, 4 rooms and all conveniences, 6 acres' land, with garage, sheds, poultry pens &c; adjoining the Plenty P.O. Store State School etc." (Advertiser (Hurstbridge) 24 September 1926:2) The house also appears on a 1930 topographic map (Australian Section, Imperial General Staff, c1930). This indicates the house was built between 1921 and 1926.

Lot 1 of the new subdivision was purchased by John Larwill Edgcumbe in 1929 (CT: V4088 F501). The land was a 6-acre property of "virgin bush" on the Yan Yean Road, named 'Nilgiris' (Australasian 1 June 1935:48). Nilgiris is a Tamil word meaning 'blue hills / mountains' and refers to a district in Tamil Nadu, India. A 1935 newspaper article was dedicated to Edgcumbe's farm. "This property has a gentle slope to the west, and on this today are rows of laying and single test pens, a modern incubator-house and an underground egg-room" (Australasian 1 June 1935:48). The poultry industry was developing rapidly in the district in the mid-1930s. With the poor prices for fruit in this period, many in the district now combined poultry farming with fruit growing (Advertiser (Hurstbridge) 5 February 1932:1 and 9 March 1934:2).

John was president of the Plenty Tennis Club, which may relate to the tennis court in front of the house (Advertiser (Hurstbridge) 28 September 1934:7). He died at 'Nilgiris' in 1936 at the age of 38 from after-effects of his war injuries (Argus 11 February 1936:1; Advertiser (Hurstbridge) 14 February 1936:5 and 28 February 1936:2). John's sister, Erica Valletort Edgcumbe, administered his estate (CT: V5267 F360).

Lawrence Leslie and Eilene Dunn, poultry farmers, purchased the land in 1944. It was subdivided into two lots in 1974 (CT: V5267 F360). The property was last sold in 2010 (realestate.com.au).



### Description & Integrity

The property comprises a large block with the house set within the front third, along with outbuildings and tennis court in front of the house. The series of sheds to the rear may relate to the 1930s poultry farm. The house is accessed via a driveway at the north-east corner of the site. The landscape includes mature trees to the site boundaries and surrounding the house, but there are otherwise no distinguishing features or elements.

The house is a weatherboard inter-war bungalow with a dominating transverse gable roof and deep front verandah with wide brick piers.



Figure 1: Aerial view of the property (indicated in red). Source: Google Maps.



Figure 2: Closer aerial view of the house, outbuildings and tennis court. Source: Courtesy of Shire of Nillumbik.



### Comparative Analysis

Nilgiris at 183 Yan Yean Road, Plenty is an example of an inter war bungalow and poultry farming property. Nilgiris compares with other farming properties in Nillumbik, particularly those demonstrating the shift away from the dominant fruit growing industry to incorporate other farming practices. And, to other interwar bungalow dwellings in the Shire.

Orcharding was a dominant agricultural practice in Nillumbik from the 1860s, and by the early twentieth-century the western parts of the shire were important centres supplying fruit to Melbourne (Mills & Westbrook 2016: 61). The turn of the century peak in fruit growing began to decline by the First World War. As orchardists began to struggle they supplemented their income by introducing mixed farming practices, or seeking other types of work. By the Second World War fruit growing was no longer a dominant industry in the area (Mills & Westbrook 2016: 61-62). Mixed farming was further encouraged by the soldier settlement program after the First World War (Mills & Westbrook 2016: 44-45). Thus, the pattern of farming in the area shifted in the first part of the twentieth century from fruit growing to mixed uses including raising poultry for meat and eggs. There are few farming properties of this period currently listed on the Heritage Overlay.

Interwar development in Nillumbik was slow compared with the rapid suburban expansion seen elsewhere in Australia (Cuffley 1989:14). The area remained somewhat isolated from Melbourne and retained its agricultural character. New architectural ideas took longer to reach, and be adopted in, these areas. Houses of this period tend to be modest, low cost, weatherboard structures with limited detailing. Interwar dwellings are under-represented on the Heritage Overlay (HLCD 2009) and those which are included tend to be more substantial homes for wealthy families, rather than farmhouses.

14-26 Browns Lane, Plenty is covered by interim Heritage Overlay HO270. It is a representative example of an interwar (c1924) dwelling, originally part of a mixed farming property including orcharding and poultry. Nilgiris compares with 14-26 Browns Lane as both date from the mid-1920s and are examples of farmhouses associated with poultry raising. The house at 14-26 Browns Lane reflects a conservative architectural approach, retaining Edwardian-era characteristics. Nilgiris is distinguished as an early example of the newer Californian Bungalow mode, demonstrating stylistic influences from suburban Melbourne.



Figure 3: Front elevation of 14-26 Browns Lane, Plenty. Source: Citation for 14-26 Browns Lane, Plenty. Prepared by Context, 2021.

Apted Weatherboard House and adjacent forge, 1920s/1930s house and mature exotic planting, 860 Cottles Bridge-Strathewan Road, Arthurs Creek (HO28). This site is associated with the Apted family of prominent orchardists, and the site includes a 1920s /



1930s house, a rare example in the municipality. Nilgiris compares favourably against this house as both are inter war weatherboard bungalows associated with a farming property. The Apted property demonstrates the importance of orcharding to the early development of Nillumbik, whereas Nilgiris relates to the later shifts away from fruit growing to other forms of farming, and the smaller lot sizes associated with soldier resettlement.



*Figure 4: The 1920s/1930s weatherboard house at the Apted property. Source: Shire of Eltham Heritage Study, 1992.*

40 Greysharps Road, Hurstbridge (HO261) was constructed c1923 and is significant for its associations with the orchard industry, and as a substantially intact weatherboard interwar bungalow. The house at Nilgiris is of a comparable construction date and is also associated with farming. Both properties are evidence of the introduction of new architectural ideas from Melbourne into the more conservative agricultural area.



*Figure 5: House at 40 Greysharps Road, Hurstbridge, image dated 2012. Source: Place citation 40 Greysharps Road, Hurstbridge.*

Weatherboard House, 936 Heidelberg-Kinglake Road, Hurstbridge (HO76) was constructed c1920-21 is historically and aesthetically significant as an example of an Edwardian style house constructed in the interwar period. The house demonstrates the conservatism of the area at a time when the Californian Bungalow came into prominence. The house at Nilgiris is distinguished as an example of the changing fashions of the time



and the move away from Edwardian era tastes. Both houses are comparable in their use of weatherboard, a relatively economic and available construction material at the time.



*Figure 6: Weatherboard house at 936 Heidelberg-Kinglake Road, Hurstbridge. Source: Shire of Eltham Heritage Study, 1992.*

The farm and residence at Nilgiris, 183 Yan Yean Road, Plenty, fits within the established pattern of interwar development in Nillumbik. It is an example of changing architectural tastes and the introduction of Californian Bungalows as a dominant residential form. The property also demonstrates the development of diverse farming practices after the First World War as the dominance of orcharding declined and soldier settlers were encouraged to diversify their activities to ensure profitability. The property at Nilgiris is distinguished as an example of development supported by the War Service Homes Commission.





### **Assessment Against Criteria**

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.

*CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).*

Nilgiris is significant as a representative example of the farm properties established during the development of Plenty in the 1920s after the major subdivisions in the early twentieth century. It is significant as an example of a War Service Home erected in the 1920s. It is an example of a successful poultry farm established and operated from the 1930s by John Edgcumbe, a returned serviceman. It is an important example of the once-common farming practice of poultry farming in the area

*CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).*

N/A

*CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).*

N/A

*CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

Nilgiris at 183 Yan Yean Road, Plenty is a representative example of a weatherboard, interwar farmhouse in the bungalow style. The setting of the house including outbuildings and mature landscaping to the site boundaries demonstrates the use of the property for farming.

The property is a representative example of interwar development supported by the War Service Homes Commission.

*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

N/A

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).*

N/A

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).*

N/A

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance).*

N/A





### Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>External Paint Controls</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	No
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	No
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	Yes
<b>Aboriginal Heritage Place</b> <i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No

### Recommended Extent







## References

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Response No:  
16

Contribution ID: Letter

Member ID:

Date Submitted: 03 August 2023

Details

52 Kurrak Road, Yarrambat

Stage B - 38

Objection





### Farmhouse, 52 Kurrak Road, Yarrambat

Prepared by: Trethowan Architecture, identified by Samantha Westbrooke

**Address:** 52 Kurrak Road, Yarrambat

<b>Name:</b> House, Farm. Fmr Golden Wealth Trotting Stud	<b>Survey Date:</b> February 2022
<b>Place Type:</b> Individual Place	<b>Architect:</b> Unknown
<b>Grading:</b> Significant	<b>Builder:</b> Unknown
<b>Extent of Overlay:</b> To property boundaries	<b>Construction Date:</b> c1916-20



### Historical Context

Land to the west of Yan Yean Road, in the Parish of Marong, was sold at Crown land sales between 1840 and the early 1850s (Morang Parish Plan). The gold rushes brought an increase of population to the Diamond Valley and in their wake came the selectors who under the Selection or Land Acts of the 1860s, were able to purchase small holdings of land with the proviso that they improve them by clearing, fencing and building. Yarrambat, originally known as Tanck's Corner had a couple of gold rushes, one before 1860 and the other after 1900. However not enough gold was found to create a thriving township. The town was therefore primarily established by selectors. From the early 1860s commons were set up to allow settlers to graze livestock on Crown Land. The Greensborough Farmers' Common was gazetted in 1861. The land in the common was described as "mostly Stringy Bark Forest & barren" (Greensborough Farmers' Common File 907755, Item 21, Unit 892, VPRS242, PROV, *Argus*, 26 February 1861)

The lots on the north and south sides of Ironbark Road were the first to be taken by selectors Frederick Tanck and Thomas Reynolds in the early 1870s under sections 19 and 20 of the *Land Act 1869*, and they obtained their grants in the mid-1870s. Tanck's Corner was a T-intersection where Ironbark Road meets Yan Yean Road. While the first land acts were mainly tailored to selection of blocks of viable farm size, gold miners and their associated service population lobbied for a system allowing small-holdings which would allow food gardens and keeping a horse and cow. Provision was soon made in the land



acts for a system of occupation licenses for small areas of Crown land in auriferous areas. The resulting occupation licences on auriferous land, which were limited to twenty acres, were first introduced under Section 42 of the *Land Act 1865*. As gold was found in the area north of Nillumbik (Diamond Creek) relatively late, in the Tancks Corner locality twenty-acre occupation licenses were first taken up under Section 49 of the *Land Act 1869*. The first Section 49 licenses in the Tancks Corner area were taken up from c1883 ('Greensborough County of Evelyn', 1884).<sup>318</sup> These were close to the eastern edge of the auriferous land, next to Tanck's and Reynolds' selections. Further licenses were progressively taken up under Section 65 of the *Land Act 1884* over the whole of the auriferous area north of Nillumbik (Mills 2013).

While the occupation licenses did not at first allow for eventual alienation of the auriferous land, under political pressure allowances were made for purchase after a period of lease if it could be shown that mining was unlikely to occur in the future. The first alienations of twenty-acre lots near Tancks Corner occurred in the late 1880s, with alienation occurring gradually on the remaining twenty-acre lots into the 1920s (Mills 2013). This process of occupation also eventually led to the demise of the Greensborough Farmers Common, despite resistance by surrounding farmers (*Argus*, 14 March 1879:3). The Common was officially abolished in 1907 (Victoria Government Gazette, 10 July 1907, No.86 p.3330).

In the broad swathe of over 800 twenty-acre license holdings stretching from Nillumbik (Diamond Creek) to the north-east of St Andrews (Queenstown), the conjunction of these small lots and the hilly and relatively unfertile lands of the auriferous areas was a major stimulus to the establishment of the orcharding industry which was the mainstay of the area's economy well into the twentieth century. A large proportion of the catchment population of the Tancks Creek/Yarrambat population made their living this way. The Tanck's Corner school, which had opened in 1878 in response to the influx of selectors, closed in 1892, possibly because surrounding land was increasingly being bought for speculation (Butler 1996, p45; Hooper, 1978, p 8). The locals petitioned for reopening, at one stage listing forty-eight children within one-and-a-half miles of Tancks Corner (Hooper 1978:33). The reopening in c1900, along with the establishment of postal service and store around the turn of the century, was related to this new and intensive form of settlement.

Many of the people whose names became associated with Yarrambat did not settle there until the 1880s or 1890s. Henry Montague Pepper, with his wife and family, took up their selection in 1889. Thomas Collins, who had lived in Diamond Creek, moved with his wife to Yarrambat to start an orchard in 1886. Another early family, the Stuchbery's, did not select their land, but bought two acres of the Oatlands Estate in 1890. On the banks of the Plenty River, together with their twelve children, they established a market garden and built a house, dairy and stable. The name of the town was officially changed to Yarrambat in 1929. It is unknown why the name was changed however Yarrambat is named from an Aboriginal word meaning "high hills" or "pleasant views".

For a long period of time community life in the township centered on the school, which opened in 1878 on land donated by Thomas Reynolds. Although there was a blacksmith's shop and store at Yarrambat, the school was the only community building until the 1940s, when the fire station was built in 1947 (replaced in 2001) and the Yarrambat Hall in 1948. Parishioners of St Michaels, who met in the school, prior to having a dedicated church of their own, worked from the 1930s to clear land and build their Church. It was officially opened in 1954. The original school building has been moved to Yarrambat Heritage Park (located adjacent to Yarrambat Golf Course).

## History

Crown Portion 5 Parish of Morang, 820 acres, was purchased from the Crown by Alexander McKillop in 1840 (Morang Parish Plan). It seems the land had already been subdivided by





1864 (*Argus* 6 October 1864:1). Between 1875 and 1880 three owners are listed for the land (CT: V770 F907 and CT:V774 F669). It was then further subdivided on several occasions between 1880 and 1906 (CT: V1167 F751 and CT:V3098 F446).

William Henry Dyson, orchardist of South Morang, purchased the land in 1916 (CT: V3125 F918). The house may have been constructed at this point, as it appears to be shown on the 1920 topographic map (Cth Dept. of Defence, 1920).

Walter Marshall, builder of Preston, purchased the land in 1920. When he died in 1927 probate was granted to his wife Mary Harriet and their son Charles Doiley Marshall (CT: V3125 F918). A 1930 topographic map shows the house close to the southeast corner of the lot and orchards over the southern half of the 20 acres (Australian Section, Imperial General Staff, c1930).

When Charles Marshall died in 1949, probate was granted to his son Walter Arthur Marshall (CT: V3125 F918 and *Argus* 11 January 1949:9). Walter, a clerk, and his brother Ronald Charles Marshall, poultry farmer, both of Yarrambat, owned the land from 1958 (CT: V8198 F:346). The Marshalls branched out into training, driving and breeding horses for harness racing. The Stud was called the Golden Wealth Trotting Stud. A 1974 aerial photograph shows a training track over most of the lot, with two other such tracks on the south side of Brown's lane; there is no evidence of the orchards shown on the 1930 topographic map (Dept. Crown Lands & Survey, 1974). A sign with the Marshall name still stands at the front of the property.



### Description & Integrity

52 Kurrak Road, Yarrambat is a former farm complex located on the north side of Kurrak Road. The c.1916-1920 weatherboard farmhouse is located close of the road, east of a central driveway. A corrugated iron-clad shed is located to the west of the driveway. There are several other large sheds and structures to the rear of the residence and front shed.



Figure 1: Aerial view of 52 Kurrak Road (indicated in red). The weatherboard residence is indicated in blue, located at the south-east of the site near to the road.

The residence has an L-shaped footprint with a transverse gabled rear wing, a central hipped-roof section, and a projecting gable end towards the front. There is a single window centrally to the front gable, and the entrance is set back to the east. There is a skillion verandah around three sides of this front wing with timber posts and a (later) timber lattice balustrade. There are what appear to be later but early additions to the rear, one with a gable roof and one with a skillion roof. The house is minimally detailed and simply painted in a light grey / blue colour. The house is currently in a state of disrepair, sections of the verandah floor are missing, and the verandah is bowed at the front.

The shed adjacent to the residence at the west side of the driveway has a tall gabled roof, with walls and roof clad in corrugated iron. There are two additions to this shed on the north and the north-west corner. Outbuildings further north into the site are simple, utilitarian shed structures of corrugated iron and no distinguishing detail.

The site is open (likely providing training space for the trotting stud), with some mature trees along the south and east boundaries. The front fence to Kurrak Road is low height, timber post and wire, with a metal lattice gate. A property number sign at the front gate also bears the name 'Marshall'.





Figure 2: Front of weatherboard house, viewed from the road. Source: Trethowan Architecture, 2022.



Figure 3: West side of the residence. Source: Trethowan Architecture, 2022.



Figure 4: View of the central driveway, looking towards the rear outbuildings. Source: Trethowan Architecture, 2022.





Figure 5: View of the large shed to the west of the central driveway, as viewed from the street. Source: Trethowan Architecture.



### Comparative Analysis

52 Kurrak Road, Yarrambat is associated historically with a prominent local family, the Marshalls who established the property in the 1920s and it is still in the same family ownership. The Marshalls were involved in mixed farming practice of orcharding and raising poultry, a common agricultural theme within the interwar period, and later introduced a trotting stud. This interwar period of development in the Shire was identified in the Shire of Nillumbik Heritage Gap Study Framework June 2009 as being a development period under-represented in the Heritage Overlay.

There are other examples of orchard farming properties already on the Heritage Overlay. However, most of these date from the late-nineteenth century when this industry was at its height in the area. Comparable examples include:

- 760 Hurstbridge-Arthurs Creek Road, Arthurs Creek (HO89)
- 14-26 Browns Lane, Plenty (Recommended for HO).

760 Hurstbridge-Arthurs Creek Road, Arthurs Creek (HO89), significant for its association with the MacMillan family of orchardists over a long period of time, and as a pre-1920s weatherboard dwelling in the area. This property also contains pre-1920s outbuildings. 52 Kurrak Road is similar as an orchard farming property with a weatherboard farmhouse. However, the house and outbuildings at 52 Kurrak Road are later. The historical association to orcharding at 52 Kurrak Road demonstrates a different agricultural theme of interwar mixed farming as orcharding alone was not profitable.



Figure 10: The weatherboard farmhouse at 760 Hurstbridge-Arthurs Creek Road, Arthurs Creek.

14-26 Browns Lane, Plenty is covered by interim Overlay HO270. It is a representative example of an interwar bungalow, originally part of a mixed farming property including orcharding and poultry. The mixed farming use is comparable to 52 Kurrak Road, and is representative of the interwar subdivision and agricultural practices of the area. Often orcharding alone was not financially viable, and farmers began to include other activities. Like 14-26 Browns Lane, the 1920s residence at 52 Kurrak demonstrates the typical single-storey timber construction, asymmetrical form, and wrap around verandah demonstrating styles popular in the earlier (Edwardian) period. 14-26 Browns Lane is distinguished by the more extensive verandah and the bay window with its own skillion roof.





Figure 7: Façade of house at 14-26 Browns Lane, Plenty. Note the box bay window and verandah within the sweep of the main roof including turned timber posts. Source: Citation for 14-26 Browns Lane, Plenty. Prepared by Context, 2021.





### Assessment Against Criteria

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.

*CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).*

52 Kurrak Road, Yarrambat is historically significant to the Shire of Nillumbik as a representative example of an interwar farmhouse, demonstrating interwar-era mixed farming practices combining orcharding and raising poultry.

*CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).*

N/A

*CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).*

N/A

*CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

The farm complex at 52 Kurrak Road, Yarrambat has representative value as a farm house from the 1920s (interwar period) in the Shire, with a modest character. The farmhouse is comparable to other examples of timber farmhouses associated with small mixed farming properties of the period in Nillumbik and retains its original form and main features including weatherboard cladding and return verandah at the front.

*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

N/A

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).*

N/A

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).*

N/A

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance).*

N/A





### Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>External Paint Controls</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	No
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	No
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	Yes
<b>Aboriginal Heritage Place</b> <i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No

Identified by: Samantha Westbrooke.





## References

*Argus*, as cited.

Australian Section Imperial General Staff, Great Britain, War Office General Staff, c1930, 'Victoria, Yan Yean Australian Section 1:63,360 topo series', State Library of Victoria (SLV) Map Collection.

Commonwealth Department of Defence Melbourne, Government Printer, 1920, 'Victoria, Yan Yean [cartographic material], Australia 1:63,360 topo series', State Library of Victoria (SLV) Map Collection.

Department of Crown Lands and Survey Victoria, 1974 'Yan Yean Photomap' State Library of Victoria (SLV) Map Collection.

Graeme Butler and Associates, "Nillumbik Shire Heritage Review," (Nillumbik: Nillumbik Shire, 1996),

Eileen Hooper, Centenary Year: Tanck's Corner 1878-1978, Yarrambat 1878-1978 (Yarrambat: Yarrambat State School 1978),

Land Victoria, Certificates of Title (CT), as cited.

Peter Mills, "A History of Twenty-Acre Occupation Licenses on the Auriferous Lands of the Nillumbik Area," (Nillumbik Shire Council, 2013).

Morang Parish Plan



Response No:  
17

Contribution ID: Letter

Member ID:

Date Submitted: 03 August 2023

Details

16 Warringah Crescent, Eltham

Stage A - 12

HO284

Objection



## 14-16 Warringah Crescent, Eltham

### House

<b>Prepared by:</b> Context	<b>Survey date:</b> February 2021
<b>Place type:</b> Residential	<b>Designer:</b> Peter Carmichael
<b>Significance level:</b> Significant	<b>Builder:</b> Not known
<b>Extent of overlay:</b> To title boundaries	<b>Major construction:</b> c1975



Figure 1. The principal elevation of 14-16 Warringah Crescent, Eltham, looking south-easterly. (Source: Context 2021)



Figure 2. The principal elevation of 14-16 Warringah Crescent, Eltham, looking north-easterly. (Source: Context 2021)



## HISTORICAL CONTEXT

This place is associated with the following historic themes taken from the *Nillumbik Shire Thematic Environmental History* (2016):

### 6 BUILDING TOWNS AND SHAPING SUBURBS

#### 6.6 1960s and 1970s suburbanisation

*From the mid-1960s the main suburban expansion in the former Eltham Shire area was east from Eltham, aided by the construction of the new Fitzsimons Lane (Eltham–Templestowe) bridge in 1963. This expansion was limited by topography and by methods of corridor planning including the green wedge and rural zoning. As a result, the eastwards trend would not extend past Research. The occupants of this new residential area were typically high-income families commuting to work in the city. When author and diplomat Graham McInnes returned to Melbourne in 1969 after leaving in the 1930s, he said that one of the most noticeable differences was that 'Eltham was the country, now it is right in Melbourne.'* (Mills & Westbrooke 2016:87)

*Residents who had established themselves in the early postwar period questioned the bona fides of this new wave of aspiring bushland home owners. [Alistair] Knox described how 'the rich and affluent eastern suburbanites started casting sheep's eyes at this unkempt bushscape: 'Eltham was once again under threat from the land profiteer, who would butcher the living qualities of its inhabitants to make their Roman holiday.'. On the other hand, the middle-class professionals of this new influx were environmentally conscious, politically well informed and numerous enough to exert a profound effect on the conservation of the surrounding landscape. (Mills & Westbrooke 2016:87-88)*

*By the 1970s, the aesthetics of the bush that had been developing throughout Australia were influencing the more sought-after city fringe suburban developments. These suburban developments adopted some of the trappings of environmental building that had been developed, in part, by the Eltham mud brick pioneers. The environmental thinking had been translated into a set of standard approaches, including preservation of existing trees, adaptation to contours, underground services and establishment of a network of linked bush parks. Road planning strategies such as cul-de-sacs enabled isolation from busy through streets. Roads were softened with low-profile gutters and the transition from road to driveway was softened with the use of paving materials in the road surface. Even so, these developments substantially remade the landscape. (Mills & Westbrooke 2016:88)*

*In the 1970s the Nillumbik area and nearby suburbs were graced with a number of residences designed by up-and-coming architects of the day including Kevin Borland, Charles Duncan and Morrice Shaw. Philip Goad describes their works as 'free and inventive compositions' and 'programmatically innovative'. Their designs featured informality, woodsy detailing, mezzanine floors and sliding doors opening onto timber decks. Other features included bagged brick, or brick seconds, window frames stained brown or pale eucalypt green and diagonal timber lining boards. (Mills & Westbrooke 2016:89)*



## LOCALITY HISTORY

Eltham, situated in hilly country northeast of Melbourne, is located on the country of the Wurundjeri-willam clan of the Woi wurrung, one of the five tribes of the Kulin Nation. A small, short-lived reservation south of Eltham on the Yarra River was set aside for Aboriginal people in 1852. The area is situated near the junction of the Yarra River and its tributary, Diamond Creek.

Pastoral settlers moved into the area from around 1840 and took up pastoral leases (Bartolomei 2008). It was located proximate to the track used by the Ryrie brothers to provide access between their 'Yering' run, near Yarra Glen, and the Heidelberg village (Victorian Places 2015). In 1841, William Bell and Thomas Armstrong occupied land for a squatting run east of Diamond Creek in what was to become the Eltham district (Eltham District Historical Society 2000: np).

A plan for 50 allotments in the Township of Eltham, Parish of Nillumbik, was announced in 1848, with the name officially gazetted in 1851. The township, near the junction of Diamond Creek and the Yarra River, was laid out in an area bounded by Baxter Street, Diamond Creek, Dalton Street and Bolton Street. The township plan shows that a track to a bridge across Diamond Creek and Main Road was noted as the 'Track from Melbourne' (Butler 1996:32). This area is known today as Eltham South.

Present-day Eltham, however, was not established on the township reserve, where land proved difficult to sell. Instead, the town grew from allotments in Section IV of the Parish of Nillumbik located on Main Road, to the north of Dalton Street and the township reserve (Butler 1996:32). In 1851, Melbourne property developer Josiah Holloway purchased one square mile (or 5120 acres) of this land, which he subdivided immediately, calling the subdivision Little Eltham. The central area of current-day Eltham is contained within the Little Eltham subdivision. A number of large farming properties around the township were purchased from the early 1850s (*Nillumbik Parish Plan* 1951).

Eltham township grew during the 1850s around a cluster of buildings at the corner of Pitt Street and Main Road within the Little Eltham subdivision. Located on the road to the Caledonia goldfields, this small township became a service centre for the surrounding mining areas, and by 1854 supported a population of 282. In this period Eltham had two hotels, a brewery, and a scattering of shops along Main Road (known in the 1850s as Maria Street). The town had a steam flour mill operated by Henry Dendy, and a tannery was located on the Diamond Creek. The Little Eltham School, opened by the Church of England, was built in 1853 near Swan Street and closed in 1872. A second school, a national school (later Eltham Common School No. 209) opened in Dalton Street in 1856. A Wesleyan chapel opened in 1858. Public buildings constructed at this time included a courthouse and a police station in Main Road in 1860. The 'flat land', which is now the Eltham Lower Park, near the Yarra, was used as a racecourse (Kellaway cited in Butler 1996:32-33; Eltham District Historical Society 2000:np). A cemetery was established in 1858. The township and wider area was administered by the Shire of Eltham, established in 1856.

Between the 1860s and the 1880s, Eltham supplied food and produce for the goldmining communities of the Caledonia goldfields at Queenstown (St Andrews) and Panton Hill. It also became a stopping place on the route to the Woods Point diggings. Eltham's population grew in response (*Victorian Places* 2015).

A Primitive Methodist chapel was built in 1860. The following year St Margaret's Anglican Church, designed by the notable Melbourne architect Nathaniel Billing, was built. In 1881, a Wesleyan church was constructed by George Stebbing to the design of Melbourne architects Crouch and Wilson (Butler 1996:33). A new state school, constructed of local sandstone, opened in 1876.



Several large properties surrounding the township had absentee owners, who subdivided their properties into smaller farms either for lease or for sale. The smaller properties, especially in the Little Eltham township, were run by farmers who often made a modest living as wage labourers. Like many later Eltham residents, they were attracted by cheap land and the country life (Butler 1996:33).

In 1884 Eltham was described as:

*... a pretty little township on the Yarra Flats road ... It has a population of nearly 400 inhabitants, but in addition it is the centre of a large district extending over 208 square miles, having a population of 2344. The land in the district is mostly used for grazing purposes, although as a rule the small farms grow a good deal of wheat, oats and other agricultural produce. A large quantity of fruit, especially raspberries and strawberries, is also produced (Illustrated Australian News 20 December 1884, cited by Carlotta Kellaway in Butler 1996:33).*

The *Australian News* noted that gold had been found in the vicinity of the township, 'but not in remunerative quantities' (cited by Carlotta Kellaway in Butler 1996:33).

In the 1880s agitation began for the extension of the railway line from Melbourne to Heidelberg to serve Eltham and districts further afield such as Kangaroo Ground. The railway station in Eltham opened in 1902, however the line was never extended to Kangaroo Ground. The railway brought excursionists from Melbourne, many of whom picked wattle during the flowering season, and focused development of the Eltham township around the railway station. Eltham was a picturesque village with the advantage of its proximity to metropolitan Melbourne and to attractive countryside with farms and uncleared stringybark forest (*Victorian Places* 2015). The bush scenery attracted artists, writers and nature-lovers.

In 1903 the *Australian Handbook* described Eltham as part of an orcharding and grazing district. In 1901, 4289 acres were under cultivation, of which 2506 acres were planted with orchards and market gardens. The township, with a population of 377, included a state school, a branch of the Commercial Bank, and Catholic, Anglican, Wesleyan Methodist and Primitive Methodist places of worship (cited in *Victorian Places* 2015). From 1909, rural properties were increasingly subdivided to create residential estates on the outskirts of the Eltham township (Mills & Westbrooke 2017:69).

The electrification of the railway line was extended to Eltham in 1923, eliminating the need to change to steam train at Heidelberg and allowing faster through-trains and shorter commuting times. The establishment of new residential estates in Eltham followed (Mills & Westbrooke 2017:71). Reflecting the town's growth, a higher elementary school was opened in 1926 (*Victorian Places* 2015).

Eltham was described in 1940 as 'residential, horticultural, dairying and grazing ... a beauty spot for artists and picnickers'. By this time, the town had three recreation reserves, swimming baths, tennis courts and a fire brigade (*Victorian Places* 2015).

Eltham has attracted a number of writers and artists over the years. The landscape painter Walter Withers (1854-1914) moved to Eltham in 1902 when the railway opened; other artists, including members of the Heidelberg School, painted in the area in the open air. Clara Southern and May Vale, landscape painters and students of Frederick McCubbin, settled in the region. Vale resided at Diamond Creek and Southern at Warrandyte (Bartolomei 2008). The war artist Will Longstaff also lived in Eltham for a period. From 1910, painter William 'Jock' Frater and cartoonist Percy Leason often camped and painted in the area. Artist Justus Jorgensen established the notable Montsalvat artists' colony buildings, on land he purchased in 1934. Seeking a closer engagement with the natural environment, the establishment of Montsalvat, with its adobe and rammed earth buildings, influenced



future mud-brick construction in the area. Several local designers, including Alistair Knox, specialised in mud-brick housing in the postwar period (*Victorian Places* 2015). Others who have been inspired by Eltham and have made the Nillumbik region their home include landscape architect Edna Walling; authors Alan Marshall and Carolyn Van Langenberg; artists Clifton Pugh and Danila Vassilieff; composers and musicians Graeme and Roger Bell; jewellers and sculptors Michael Wilson, Simon Icarus Baigent and Matcham Skipper; writer CB Christensen; poet Chris Wallace-Crabbe; and actor Kerry Armstrong (Bartolomei 2008; Pierce 1987:354).

Eltham experienced significant postwar development with a number of residential estates subdivided and put up for sale. The population of the town increased steadily as a result. In 1933, only 927 residents were recorded in the town in 1933; this had increased to 7177 residents in 1971. As a result, Eltham High School opened in 1950 and the Catholic Ladies College was relocated to Eltham in 1971 (*Victorian Places* 2015). The Eltham War Memorial Trust Baby Health Centre opened in 1951. New shire offices opened in 1965, and Eltham College commenced classes in 1974 (Eltham District Historical Society 2000:np).

A distinctive style in local building emerged in Eltham in the postwar period, with a strong use of natural materials, low form structures, and an integration with the natural environment. Houses were often sited in bush gardens, especially after the 1970s. This style was also adapted to community buildings in the area, with the Eltham Library being constructed in mud brick and recycled timbers in 1994 (Eltham District Historical Society 2019).

The Shire of Eltham became part of the Shire of Nillumbik in 1994, with a small area becoming part of the City of Banyule.

## PLACE HISTORY

The residence at 14-16 Warringah Crescent, Eltham, is located on Crown Allotment 12, Section 4, Parish of Nillumbik, 316 acres purchased by JM Holloway in 1853 (*Nillumbik Parish Plan* 1951).

By 1925 the allotment had been subdivided. The subject site is situated on 25 acres owned by Blanche Thomas in that year (CT:V4646 F051). Under Thomas's ownership, the 25 acres was subdivided into four lots, which were sold between 1946 and 1954.

The largest lot of 21 acres, on which the subject property is located, was sold to Stirling and Anne Whittington in 1954 (CT:V4646 F051). The Whittingtons had subdivided the land into 16 residential lots by 1965, the majority of which fronted the newly constructed Warringah Crescent (CT:V8049 F875).

The subject site is on lots 9 and 16 of this subdivision (CT:V8540 F914). By 1975, both lots 9 and 16 came under the single ownership. This suggests that the subject house was likely built after 1975.

The current owner has confirmed that the residence was built to a design by architect Peter Carmichael.

### *Peter Carmichael, architect*

Peter Carmichael studied architecture at the University of Melbourne graduating in 1966. Carmichael worked for Bernard Hanmer & Associates (1966), then Richardson Hanmer (1967-68) (*Merchant Builders* 2015:18).

In 1968, Carmichael, joined with Robin Cocks to form the practice of Cocks Carmichael which would later become Cocks Carmichael Whitford Pty Ltd. Robin Cocks had also studied architecture at the University of Melbourne, graduating in 1965. From the 1980s, the practice broadened its focus from



its initial specialisation in residential architecture. The firm operated for more than four decades (*Architect Victoria* 2010:24).

In the late 1960s and early 1970s, the firm's initial design approach was characterised by skillion roofing and brick seconds, then newly favoured among younger Melbourne architects. In the same period and into the late 1970s, Cocks and Carmichael designed some of Australia's most innovative project houses. Clients were provided with a modular grid and a range of components that allowed choice in location, size and character. Their design for the award-winning Civic Growth House (1974) was the most innovative. Some of their one-off designs in Victoria, such as the Falk house (1972), Eastern View, and the Woodley house (1974), Sorrento, were influenced by the designs of American architect, Charles Gwathmey. The later designs for the Johnstone house (1974), Mt Eliza, Carmichael house (1979), Sandringham, and Liberman house (1981), Toorak, depart from this source to create a distinctly local interpretation of Modernism. Larger commissions included the Ministry of Housing Estate (1983), Highett, Moorabbin Town Hall Annexe (1987), Moorabbin, and the Centreway Arcade (1987) in Melbourne (Goad 2003).

In 1977, Peter Carmichael of Cocks Carmichael became a consultant architect for Merchant Builders, a project house-building company founded in 1965 by Melbourne entrepreneurs David Yencken and John Ridge. Merchant Builders was one of the first Victorian development companies to take architect-designed houses to a mass market (*Merchant Builders* 2015:18).

Cocks and Carmichael won numerous awards for their residential, institutional and urban design commissions, including a RAI Victoria Chapter Energy-Efficient award for 'Solar House' in 1980; RAI Victoria Chapter Merit Award in residential category for Hopetoun Road House, Toorak, in 1984; RAI Victoria Chapter Merit Award in institutional category for Moorabbin Council Offices in 1988; RAI Victoria Chapter Merit Award in Alterations and Extensions Category for Centreway Arcade in 1989; RAI Victoria Chapter Merit Award in Urban Design Category for Bell-Banksia Street link in 1993 (*Architect Victoria* 2010:24).

## DESCRIPTION

14-16 Warringah Crescent, Eltham, is a substantial concrete block and timber house built c1975 to a design by architect Peter Carmichael of Cocks Carmichael. Located on the western side of Warringah Crescent, the land falls steeply from east to west. The block is heavily treed.





Figure 3. View of the house from Warringah Crescent. The street facing concrete block wall is the carport. Note the deep parapet and flat steel deck roof. (Source: Google 2019)

The house is integrated into the landscape, sited below street level. It steps down the block towards the rear, following the natural fall of the land. Constructed primarily of clay-coloured concrete blocks the house is sculptural in form and presents to the street as a series of low interlocking angular and rectilinear volumes that formally contrast with the natural topography but that materially complement the house's bush setting. The entry to the house is demarcated by a double height volume clad in horizontal timber weatherboards which is also used for a small wing wall near the front path, and across the front of the double carport.



Figure 4. Entry to the house is via a narrow earth path leading past a series of interlocking geometric forms. (Source: Context 2021)



Figure 5. Entry to the house is demarcated by walls clad in horizontal timber weatherboards. The entry is double height with a skillion roof (Source: Context 2021)



Figure 6. The principal street facing elevation is made up of a series of interlocking rectilinear volumes giving a sculptural quality to the elevation (Source: Context 2021)



Figure 7. The carport to the front of the house and is enclosed on two sides with concrete block walls. The deep fascia across the front is clad in horizontal timber weatherboards (Source: Context 2021)

The house is built over two levels. The upper level, closest to the street comprises a series of single storey interlocking rectilinear volumes with flat steel deck roofs concealed behind high parapet walls, while the lower level to the rear of the house is more angular in form.





Figure 8. Aerial view showing the two sections of the house with a front single storey block of interconnecting rectilinear volumes and the rear spaces orientated towards the north (Source: Nearmap 2021)



Figure 9. Aerial view looking east showing the carport at the top of the block, single storey wing of interconnecting cubes towards the middle and rear lower portion of the house angled to the north and leading onto an open timber deck. (Source: Nearmap 2020)



## INTEGRITY

14-16 Warringah Crescent, Eltham, is highly intact with minimal changes visible to original or early significant fabric. The building retains its original material palette of natural coloured concrete blocks and horizontal timber weatherboards. The building also retains its original built form and scale, which purposefully responds to the steeply sloping block. The site has retained its original open carport, built in matching materials. Overall, the building has very high integrity.

## COMPARATIVE ANALYSIS

Architect designed homes became more common in Nillumbik and its surrounds in the postwar period. From the 1970s, up-and-coming Melbourne architects including Kevin Borland, Charles Duncan and Morrice Shaw turned their hand to designing residences in the area. Many architect-designed residences responded to the tradition of informality, natural materials and integration with the natural environment that had become hallmarks of the 'Eltham Style' in the immediate postwar period. Many of these designs, however, exhibit aesthetic differences that reflect a wider engagement with evolving ideas being explored within Australian architecture at the time of their construction. As noted in the *Nillumbik Shire Thematic Environmental History*, the architect-designed homes of this period featured 'informality, woodsy detailing, mezzanine floors and sliding doors opening onto timber decks.' The commonly observed construction materials included bagged brick or concrete, second-hand bricks, window frames stained brown or pale eucalypt green, and diagonal timber lining boards (Mills & Westbrooke 2016:89).

The house at 14-16 Warringah Crescent, Eltham, consciously references but departs from the 'Eltham Style' mudbrick homes that proliferated in the 1950s and 1960s. The house's form and natural coloured materials respond to the natural, sloping landscape of the site, while still presenting as a conspicuously man-made structure within its setting. Unlike earlier 'Eltham Style' houses, 14-16 Warringah Crescent does not exhibit the same purposeful affinity with the landscape, departing from the earthy, organic architecture that influenced the development of the style. 14-16 Warringah Crescent purposely engages with more abstract three-dimensional geometric forms than houses of the 'Eltham Style'. Though its materiality it retains a chromatic connection with the surrounding landscape, through the use of clay-coloured concrete blocks and naturally timber panelling.

Architect-designed houses built after the 1970s are underrepresented on Nillumbik's Heritage Overlay. The following examples are comparable to 14-16 Warringah Crescent, Eltham, for their architectural expression or construction period.





Built for the well-known potter Leon Saper in c1967, the house is architecturally significant as a work of Morrice Shaw. Shaw was a Modernist architect who worked in the office of Kevin Borland. The house is one of the most creative and unusual dwellings built in Victoria and Australia during the 1960s. It combines the Modernist ideas with the use of mud brick and recycled materials that are characteristic of the 'Eltham style' (VHD).



The house is noted for its highly individualist expression, which Alistair Knox described as 'one of the most amazing designs that have occurred in mud-brick building'. The building combines a free-form plan with flowing pisé walls and fireplace under a complex organic roof form. It is the earliest known example in Victoria of a strand of the late-twentieth-century organic style (VHD; Mills & Westbrooke 2016:87-89).

Leon Saper Residence, 60 Dunmoochin Road, Cottles Bridge (HO41). (Source: Victorian Collections; Nearmap 2021)



The Burns House, known as 'Kangaroo', was designed by the architect and artist Peter Burns and built in stages from 1968 on an elevated sloping bush site. The Burns House is made up of three linked triangular-plan pavilions set in informal gardens established largely by Mary Burns. The use of cheap materials, such as fibro cement sheet cladding to the walls and Stramit system ceilings, reflects the relative austerity of the period and the lack of resources of the family (VHD). The inwardly-sloping walls, acrylic dome windows and flaps for ventilation are key design elements. 'Kangaroo' was designed not to blend in with the bush setting but 'as a gesture to come to terms with nature' (VHD).



The Burns House is architecturally and historically significant at state level.

Burns House 'Kangaroo', 644 Henley Road, Bend of Islands (VHR H2314, HO258). (Source: VHD; Nearmap 2021)





Nichols House, 17 Haldane Road, Eltham (No HO but identified in the *Nillumbik Shire Thematic Environmental History*). (Source: E. Willis 2009, 'Nichols House, Eltham, 1972-1973'; Nearmap 2021)

The Nichols House was built in 1973 to a design by architect Kevin Borland. Borland won The Age-RAIA House of the Year Bronze Medal for his design of this large sprawling house of brick and timber, built on a steeply sloping site. The house comprises five different levels with small and large spaces. By 1980 Norman Day wrote that the Eltham area was 'potted' with rugged Borland houses (cited in Mills & Westbrooke 2016:89). 'Their rude frames, rough nailed boards and spiky roofs surprise even the unconservative hill people up there.' Day further noted that Borland's signature style of 'bush-carpentered mixture of simple materials, complex planning and uncompromising form-making' was perhaps just as suited to the Eltham hillsides as the earlier visions of the mud brick houses (Mills & Westbrooke 2016:89).



Choong House, 10 Diosma Road, Eltham (recommended as an Individually Significant place in this study). (Source: realestate.com.au, 2016)

The Choong House is significant as a particularly well designed and detailed house built to the design of Biltmoderne between 1985 and 1987. The house is carefully sited within a bush garden landscape designed by Gordon Ford. The building's sculptural form is expressed in a palette of limestone, aluminium and glass that both references to and clearly breaks from the 'Eltham Style'. The property is further enhanced by the bush garden elements including Ford's signature use of ponds, volcanic boulders and native plantings. Also of note is the steel carport, built in 1988 to designs by Wood Marsh (as the firm Biltmoderne would become) in a complementary style to the house.



Beyond the Shire of Nillumbik, the following places are comparable to the subject site as buildings designed by the firm Peter Carmichael and his firm of Cocks Carmichael.



A split-level open plan Solar House designed by Cocks Carmichael for Landmark Solar Houses Pty Ltd, and constructed by that company for display purposes in 1978-79. The Solar House is technically and architecturally important as the first commercially available solar energy project house in Australia (VHD).

Solar House, 32 Rosco Drive, Templestowe (VHR H1312, HO149, City of Manningham). (Source: VHD)



A house designed by Cocks Carmichael within a larger precinct of merchant builders display houses in Templestowe. The houses have aesthetic significance as a representative example of a late twentieth century housing precinct, which remains very intact. The house at No. 412 illustrates the influence of post-modern design during the 1980s (VHD).

412 Porter Street, Templestowe (within HO17, City of Manningham). (Source: VHD)



A house of local architectural significance as a good example of the domestic work of the architects Cocks Carmichael, built in 1980. The house is carefully related to its site through its design (VHD).

18 Summit Drive, Bulleen (HO158, City of Manningham). (Source: VHD)

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### Discussion

14-16 Warringah Crescent, Eltham, compares well to the above examples of homes that were built in the Shire of Nillumbik from the 1970s onwards. The subject site is particularly distinguished as an example of a house that departs from the 'Eltham Style' mudbrick homes of the earlier decades.



These houses represent a period in Nillumbik's history when a group of architects formulated new and inventive responses to suit the hilly topography of the local area. These examples display individualistic designs that depart from earlier 'Eltham style' or Modernist houses that were characterised by far simpler forms, geometries and a more romantic and mimetic identification with the landscape in material terms. The key characteristics that are observed in these later houses include the informality displayed through the irregular geometric plans, the complex broken roof forms, and the sloping walls that reject orthogonal wall planes. Split-level designs with interconnected internal spaces and here-dimensional volumes are also common. Like their earlier 'Eltham Style' and Modernist counterparts these buildings responded to the environmental factors of the local landscape including views, typography, sun and wind. They represent, however, a more complex relationship between nature and the built environment with forms that are consciously articulated from and contrasting with their settling.

The house at 14-16 Warringah Crescent, Eltham, with its hardline abstract geometry is formally distinguished from the undulating organic form of the Leon Saper Residence (HO41) that was a pioneer of organic architecture in Victoria. The State-listed Burns House (VHR H2314, HO258) is more similar to 14-16 Warringah Crescent, Eltham, in use of a more angular geometry which visually articulates it as a sculptural object within its bush setting. Neither house blends in with the natural landscape in formal terms.

Although later (1988), the Choong House at 10 Diosma Road, Eltham (recommended as an Individually Significant place in this study), is comparable to the subject site, as an example of a high quality and finely detailed architect-designed home within the locality. Similar to the subject site, the Choong House creates depth and scale through the placement of walls. 17 Haldane Road, Eltham (No HO but identified in the Nillumbik TEH), is also similar to the subject house, having a sprawling form that steps down the block following the natural fall of the land.

When compared to other houses by the firm of Cocks Carmichael beyond the Shire of Nillumbik, the subject site is a good example of the firm's work. 32 Rosco Drive (VHR H1312, HO149, City of Manningham) and 412 Porter Street (within HO17, City of Manningham), both in Templestowe sit within suburban contexts that are distinguished as precincts of merchant builders' homes. Both houses appear to have been designed for builders. As such they are smaller in scale, respond to their suburban surrounds and are less architecturally ambitious than the subject site. The house is most comparable to 18 Summit Drive, Bullen (HO158, City of Manningham), as an example of a larger-scale house commissioned by the firm for a private owner.

The house at 18 Summit Drive exhibits some formal similarities to the subject site, and both have been designed to embrace sloping blocks of land. Similarities include the use of angular walls, highlight windows, timber panelling and rooflines that slope with the land. The subject site is set apart, though, by its use of more elaborately interlocking geometric forms and volumes, clay-coloured concrete blocks and its heavily vegetated bushland setting. The house at 14-16 Warringah Crescent is a good example of the work of Cocks Carmichael in the suburbs of Melbourne. Within the Shire of Nillumbik, the house is a good example of the form of architecture that became popular in the later decades of the twentieth century that referenced, but broke with, the established 'Eltham Style.'



## **STATEMENT OF SIGNIFICANCE**

### **WHAT IS SIGNIFICANT?**

The house at 14-16 Warringah Crescent, Eltham, a concrete block and timber house built c1975 to a design by Peter Carmichael of Cocks Carmichael, is significant.

Elements that contribute to the significance of the place include:

- original form and scale of the house, designed to embrace the steeply sloping site;
- original materiality of the house, including concrete blocks, concealed flat steel deck roofs and horizontal timber boarding;
- original window and door openings and joinery
- open carport, constructed out of matching concrete blocks and timber; and
- siting on a steeply sloping block of land with the retention of its bush setting.

### **HOW IS IT SIGNIFICANT?**

The house at 14-16 Warringah Crescent, Eltham, is of local representative and aesthetic significance to the Shire of Nillumbik.

### **WHY IS IT SIGNIFICANT?**

The house at 14-16 Warringah Crescent, Eltham, is of aesthetic and representative significance as a well-detailed architect-designed house that responds to its sloping bushland block. Designed by architect Peter Carmichael of Cocks Carmichael, the building's form is a carefully composed arrangement of low interlocking angular and rectilinear volumes set over two levels. Materially, the house has a restrained palette of clay-coloured concrete blocks and naturally finished horizontal timber weatherboard cladding. This palette responds chromatically to its landscape setting. The pursuit of complex and abstract geometry marks a distinct break from the 'Eltham Style' while the use of a natural palette of materials and low-lying forms maintains links with the earlier style. The property's aesthetic significance is further enhanced by the purposeful retention of its bush setting. (Criteria D and E)





RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as an Individually Significant place.

**Extent of overlay:** To title boundaries

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

Nillumbik Planning Scheme

External paint controls	No
Internal alteration controls	No
Tree controls	No
Outbuildings or fences	Yes - carport
To be included on the Victorian Heritage Register	No
Prohibited uses may be permitted	No
Aboriginal heritage place	No

Other

N/A



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Response No:  
18

ID:

Date Submitted: 03 August 2023

Details

903-907 Main Road Eltham Stage

A - 22

Support with changes



## 903-907 MAIN ROAD, ELTHAM

### ELTHAM WAR MEMORIAL BUILDING COMPLEX

903-907 Main Road, Eltham

<b>Prepared by:</b> Context	<b>Survey Date:</b> December 2020
<b>Place Type:</b> Community	<b>Architects:</b> AK Lines & MacFarlane; AK Lines, MacFarlane & Marshall; Leith & Bartlett; David L Woodger (designer)
<b>Significance level:</b> Local significance	<b>Builder:</b> RJ Squires (Infant Welfare Centre); Chuck Wire Fence and Gate Company (Memorial Gates)
<b>Extent of overlay:</b> To title boundaries	<b>Construction Date:</b> c.1950-1967

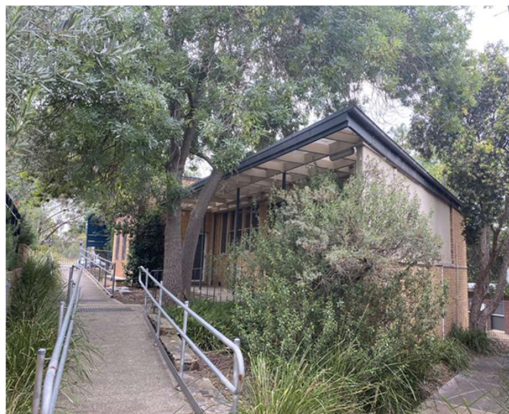


Figure 1. Eltham Infant Welfare Centre. (Source: Context December 2020)



Figure 2. War Memorial Hall and Eltham Preschool. (Source: Context, December 2020)

## HISTORICAL CONTEXT

### *Locality history: Eltham*

Eltham, situated in hilly country northeast of Melbourne, is located on the country of the Wurundjeri-willam clan of the Woi wurrung, one of the five tribes of the Kulin Nation. A small, short-lived reservation south of Eltham on the Yarra River was set aside for Aboriginal people in 1852. The area is situated near the junction of the Yarra River and its tributary, the Diamond Creek.

Pastoral settlers moved into the area from around 1840 and took up pastoral leases (Bartolomei 2008). It was located proximate to the track used by the Ryrie brothers to provide access between their 'Yering' run, near Yarra Glen, and the Heidelberg village (*Victorian Places* 2015). In 1841, William Bell and Thomas Armstrong occupied land for a squatting run east of Diamond Creek in what was to become the Eltham district (Eltham District Historical Society 2000: np).

A plan for fifty allotments in the Township of Eltham, Parish of Nillumbik, was announced in 1848, with the name officially gazetted in 1851. The township, near the junction of the Diamond Creek and the



Yarra River, was laid out an area bounded by Baxter Street, Diamond Creek, Dalton Street and Bolton Street. The township plan shows a track to a bridge across Diamond Creek and the Main Road was noted as the 'Track from Melbourne' (Butler 1996:32). This area is known today as Eltham South.

Present-day Eltham, however, was not established on the township reserve, where land proved difficult to sell. Instead, the town grew from allotments in Section IV of the Parish of Nillumbik located on Main Road, to the north of Dalton Street and the township reserve (Butler 1996:32). In 1851, Melbourne property developer Josiah Holloway purchased one square mile (or 5120 acres) of this land, which he subdivided immediately, calling the subdivision Little Eltham. The central area of current-day Eltham is contained within the Little Eltham subdivision. A number of larger farming properties around the township were purchased from the early 1850s (*Nillumbik Parish Plan* 1951).

Eltham township grew during the 1850s around a cluster of buildings at the corner of Pitt Street and Main Road within the Little Eltham subdivision. Located on the road to the Caledonian Diggings, this small township became a service centre for the surrounding mining areas, and by 1854 supported a population of 282. In this period Eltham had two hotels, a brewery and tannery on Diamond Creek, a scattering of shops along Main Road (known in the 1850s as Maria Street) and a steam flour mill operated by Henry Dendy. The Little Eltham School, opened by the Church of England, was built in 1853 near Swan Street and closed in 1872. A second school, a National School (later Eltham Common School No 209) opened in Dalton Street in 1856. A Wesleyan chapel opened in 1858. Public buildings constructed at this time included a courthouse and a police station in Main Road in 1860. The 'flat land', which is now the Eltham Lower Park near the Yarra, was used as a racecourse (Kellaway cited in Butler 1996:32-33; Eltham District Historical Society 2000:np). A cemetery was established in 1858. The township and wider area was administered by the Shire of Eltham, established in 1856.

Between the 1860s and the 1880s, Eltham supplied food and produce for the gold-mining communities of the Caledonian Diggings at Queenstown (St Andrews) and Panton Hill. It also became a stopping place on route to the Woods Point diggings. Eltham's population grew in response. In 1871, the town's population was 165 and by 1881 this had increased to 388 (*Victorian Places* 2015).

A Primitive Methodist chapel was built in 1860. The following year St Margaret's Anglican Church, designed by the notable Melbourne architect, Nathaniel Billing, was built. In 1881, a Wesleyan church was constructed by George Stebbing to the design of Melbourne architects, Crouch and Wilson (Butler 1996:33). A new state school, constructed of local sandstone, opened in 1876.

Several large properties surrounding the township had absentee owners, who subdivided their properties into smaller farms either for lease or sale. The smaller properties, especially in the Little Eltham township, were run by farmers who often made a modest living as wage labourers. Like many later Eltham residents, they were attracted by cheap land and the country life (Butler 1996:33).

In 1884 Eltham was described as:

*... a pretty little township on the Yarra Flats road ... It has a population of nearly 400 inhabitants, but in addition it is the centre of a large district extending over 208 square miles, having a population of 2344. The land in the district is mostly used for grazing purposes, although as a rule the small farms grow a good deal of wheat, oats and other agricultural produce. A large quantity of fruit, especially raspberries and strawberries, is also produced (Illustrated Australian News, 20 December 1884, cited by Carlotta Kellaway in Butler 1996:33).*

The *Australian News* noted that gold had been found in the vicinity of the township, 'but not in remunerative quantities' (cited by Carlotta Kellaway in Butler 1996:33).



In the 1880s agitation began for the extension of the railway line from Heidelberg to serve Eltham and districts further afield such as Kangaroo Ground. The extension to Eltham opened in 1902 but was never extended to Kangaroo Ground. The railway brought excursionists from Melbourne, many of whom picked wattle during the flowering season, and focused development of the Eltham township around the railway station. Eltham was a picturesque village with the advantage of its proximity to metropolitan Melbourne as well as to attractive countryside with farms and uncleared stringybark forest (*Victorian Places* 2015). The attractive bush scenery attracted artists, writers and nature-lovers.

In 1903, the *Australian Handbook* described Eltham as part of an orcharding and grazing district. In 1901, 4289 acres were under cultivation, of which 2506 acres were planted with orchards and market gardens. The township, with a population of 377, included a state school, a branch of the Commercial Bank, and Catholic, Anglican, Wesleyan Methodist and Primitive Methodist churches (cited in *Victorian Places* 2015). Subdivision of rural properties near Eltham township to form residential estates occurred from 1909 (Mills and Westbrooke 2017:69).

The electrification of the railway line was extended to Eltham in 1923, which eliminated the need to change to steam train at Heidelberg, and allowed faster through-trains and commuting times. The establishment of new residential estates in Eltham followed (Mills and Westbrooke 2017:71).

Eltham was described in 1940 as 'residential, horticultural, dairying and grazing ... a beauty spot for artists and picnickers'. By this time, the town had three recreation reserves, a higher elementary school (1926), swimming baths, tennis courts and a fire brigade (*Victorian Places* 2015).

Eltham has attracted a number of writers and artists over the years. The landscape painter Walter Withers (1854-1914) moved to Eltham in 1902 when the railway opened; others artists, including members of the Heidelberg School, painted in the area in the open air. Clara Southern and May Vale, landscape painters and students of Frederick McCubbin, settled in the region. Vale resided at Diamond Creek and Southern at Warrandyte (Bartolomei 2008). The war artist Will Longstaff also lived in Eltham for a period. From 1910, painter William 'Jock' Frater and cartoonist Percy Leason often camped and painted in the area. Artist Justus Jorgensen established the notable Montsalvat artist's colony buildings, on land he purchased in 1934. Seeking a closer engagement with the natural environment, the establishment of Montsalvat, with its adobe and rammed earth buildings, influenced future mud brick construction in the area. Several local architects and designers, including Alistair Knox, specialised in mud brick housing in the postwar period (*Victorian Places* 2015). Others who have been inspired by Eltham and have made the region their home include landscape architect Edna Walling, authors Alan Marshall and Carolyn Van Langenberg, artists Clifton Pugh and Danila Vassilieff; composers and musicians Graeme and Roger Bell; jewellers and sculptors Michael Wilson, Simon Icarus Baigent and Matcham Skipper; writer CB Christensen; poet Chris Wallace-Crabbe; and actress Kerry Armstrong (Bartolomei 2008; Pierce 1987:354).

Eltham experienced significant postwar development with a number of residential estates subdivided and put up for sale. The population of the town increased from 927 in 1933, to 1278 in 1947, to 7177 in 1971. As a result, Eltham High School opened in 1950 and the Catholic Ladies College was relocated to Eltham in 1971 (*Victorian Places* 2015). The Eltham War Memorial Trust Baby Health Centre opened in 1951. New shire offices opened in 1965, and Eltham College commenced classes in 1974 (Eltham District Historical Society 2000:np).

A distinctive style in local building emerged in Eltham in the postwar period, with a strong use of natural materials, low form structures, and an integration with the natural environment and the preference for bush gardens, especially after the 1970s. The Eltham Library, designed by architect Greg Burgess, was



constructed in mud brick and recycled timbers and received the RAlA Institutional Architecture Award in 1995 (Bartolomei 2008).

The Shire of Eltham became part of the Shire of Nillumbik in 1994, with a small area becoming part of the City of Banyule.

***Contextual history: war memorials***

After World War I hundreds of statues, cenotaphs and plaques were erected across the nation to commemorate the service and immense sacrifice of Australian soldiers. The impulse to honour the memory of those who had lost their lives serving their country was great, but some of these traditional stand-alone memorials that lacked a useful function were met with criticism in some cases. Even the construction of the Shrine of Remembrance in Melbourne, intended as the country's 'national' memorial, was challenged, with alternate plans for a memorial hospital gaining stronger support. In many localities residents pointed out that the resources that were available for a war memorial should be used instead to erect a public building or facility that made a useful addition to town or suburb. Various functional memorials were proposed, including public halls, grandstands, swimming pools and entrance gates. The provision of government funding for the erection of 'memorial halls' made this a popular option in many localities. They served a genuine need of the local community, providing a venue for social gatherings, public meetings, and entertainment while also honouring the war dead.

Following the Second World War, the focus shifted from nationalistic sentiment towards focused renewal of public infrastructure in local areas. There was a boom in the construction of public amenities that would be of benefit to local communities. This innovation in social planning encouraged the construction of multi-purpose community facilities. Frequently such facilities included a public hall and library or a cultural centre carefully sited around a public garden or courtyard. Monuments or other landscape elements were incorporated in these public and recreational spaces as a focus for more direct memorial reflection and/or public commemorative activities (Darian-Smith, Nichols and Willis 2010:206-213).

In 1945, as part of this wider movement to practical memorials, the Eltham Progress Association decided that the community war memorial should take the form of a baby health centre with a creche and children's library (cited by Rudduck in Darian-Smith, Nichols and Willis 2010:213).

***Contextual history: Infant welfare centres and kindergartens***

The formalised government provision of infant welfare in Victoria can be traced back to the formation of the Victorian Baby Health Centres Association in 1918. This was in response to the high infant mortality rates that prevailed in Victoria from the nineteenth century. Infant welfare relied on new teachings about the scientific management of babies and young children, which focused on nutrition, hygiene and daily routine. It established a system of mothercraft nurses and encouraged the establishment of local infant welfare centres that educated mothers about infant and childcare. The Infant Welfare Division of the Department of Health was established in 1926, after which government funding was available for the creation of infant welfare centres in Victoria (*Victorian Year Book* 1973:547). Many towns and suburbs across Victoria established infant welfare centres in the 1930s and 1940s, after which there was a dramatic decline in infant mortality.

The popularity, and necessity, of infant welfare in Victoria was highlighted in 1924, when 'mothercraft lectures' funded by the government. These operated out of a carriage of the 'Better Farming Train', which travelled to regional towns across Victoria to educate farmers in improved agricultural management. This early intervention into the welfare of children and their mothers alerted local councils to the importance of funding programs permanently.



Mills and Westbrooke (2010:5) note the following in relation to baby health centres in the Eltham area:

*The first Baby Health Centre in the region around Eltham was opened at Heidelberg in April 1926. It was funded by Heidelberg City Council and run by the VBHCA. Sub-centres were soon set up in Ivanhoe, Fairfield and Greensborough. The Greensborough centre serviced Greensborough and Diamond Creek in the Heidelberg Shire and it was anticipated that it could also support mothers from Briar Hill, Montmorency, Hurstbridge and Eltham, all in the Eltham Shire. The Greensborough centre operated one day a week from a room in an 1840s hotel building in the main road, known as Marble Hall. By 1933 up to sixteen Eltham residents were using this service at any one time. Up to this point the service had been provided to Eltham residents without a contribution from the Eltham Shire but by 1934 the Eltham Shire Council had been persuaded to provide a £30 annual contribution. A new purpose-built centre was opened at Greensborough in February 1935.*

In the immediate years following World War II there was an expansion in the construction of new infant welfare centres in Melbourne's developing outer suburbs, in response to rapid population growth in these areas and to greater involvement of the Victorian government in managing this service. Architecturally, baby health centres built in the postwar period often straddled the two worlds they belonged to: their form referenced domestic architecture but was combined with the flourishes and hallmarks of civic structures (Darian-Smith and Willis 2010:42). This period in Australia coincided with the postwar focus on birth rates and on social and economic regeneration. The resulting 'baby boom' encouraged the development of municipal buildings that catered to the various needs of the burgeoning population (Darian-Smith and Willis 2010:47).

Much like infant welfare centres, the development of the modern Australian kindergarten or pre-school centre began in the early-twentieth century. Many early kindergartens were primarily concerned with the education and care of children in poor, working-class suburbs, who often had working mothers, and typically they were supported by charity or religious organisations (Nichols and Goad 2010:56; WA 2019). The first free kindergarten in Victoria was opened in the economically disadvantaged area of Montague (South Melbourne) in 1909. Many early kindergartens were not purpose-built but occupied pre-existing buildings—often in church halls that were attached to a parish church. By the 1930s, kindergarten networks, like the Lady Gowrie Child Centres, were increasingly common. The first Lady Gowrie Centre was established in Carlton in 1939 (Gowrie Victoria 2019). The location and siting of these kindergartens was becoming increasingly integral to their establishment; not only was the socio-economic status of the community and its geographical location considered, but the surrounds and site orientation of the building was increasingly important (Nichols and Goad 2010:65).

The postwar period saw a significant change in attitudes towards kindergartens, with their importance becoming recognised by all classes of society (Nichols and Goad 2010:71). Postwar population growth, stemming from the baby boom and increased immigration, also raised demands for the provision of kindergartens. At the same time, the Victorian government took a stronger lead in the provision of pre-school education, with the Department of Health becoming responsible in 1946 for 'the subsidising and supervising of pre-school kindergartens' (*Victorian Year Book* 1973: 547). The movement towards pre-school education grew rapidly in Victoria, and by the 1960s the 'kindergarten experience' was so entrenched in the conventional education system that it was considered the norm (Nichols and Goad 2010:54). Progress associations in suburbs such as Eltham became a driving force in the provision of early childhood education.



## PLACE HISTORY

### *Site chronology*

Date	Event
1939-45	World War II
1945	Eltham War Memorial Trust purchase the subject site
1950-52	Infant Welfare Centre designed and completed
1954	Memorial Gates installed
c.1953-56	Pre-School designed and completed
1961	Children's Library completed
1962	Decision is made to transfer site to Eltham Shire Council
1964	Eltham Shire Council procures section of land at northern end of the site
1965	Site handed over to Eltham Shire Council
1966	Children's Library closed and renamed 'Eltham War Memorial Hall'
1967	Senior Citizens Centre completed
1968	Main Road widened; retaining walls installed and Memorial Gates relocated to present site
2012	Eltham War Memorial Obelisk relocated to the subject site from the Eltham RSL
c.2014	Ramp system installed

### *History of the place*

Planning for a community centre in Eltham began in 1943 by the self-titled 'Women's Auxiliary of the (proposed) Eltham War Memorial Trust'. A committee was formed in March 1945 at a public meeting of the Eltham Progress Association which was held to consider an appropriate means to commemorate locals who had lost their lives fighting in World War II. Soon after, the committee was formalised as the Eltham War Memorial Trust Inc. (Mills and Westbrooke 2010:4). The Trust resolved that Eltham's war memorial was to include a baby health centre, crèche and children's library, to serve as a 'constant reminder of those who fought ... and the little ones for whom they fought and died'. Over £200 was promptly subscribed for the construction of the proposed war memorial buildings (*Argus*, 28 March 1945: 8; Mills and Westbrooke 2010:4). Towards the end of 1945, the Trust purchased a site of one and a half acres on the western side of Main Road, Eltham, from Miss Shillinglaw. The site formed part of the Shillinglaw farm, which comprised lot 90 of Holloway's Little Eltham subdivision of 1851, which was part of Crown Allotment 13, Section IV in the Parish of Nillumbik (Eltham War Memorial Trust 1954; 'Parish of Nillumbik', PROV, VPRS 16171).

### *Infant Welfare Centre*

Plans for the memorial complex hastened in the years following World War II, and in 1950 tenders were called for the erection of an infant welfare centre. The design, by architects AK Lines and MacFarlane, was a box-like form that harked back to the Functionalist design of the interwar years. AK Lines and MacFarlane were responsible for the Eltham Shire Office and Hall c1941 (now demolished) on the corner of Arthur and Main Road. There are distinct similarities in the formal composition and stylistic expression of both buildings (see Figure 3).





Figure 3. Former Eltham Shire Offices and Hall constructed in 1941 to a design by AK Lines & MacFarlane Architects. Image taken c.1965. (Source: Eltham District Historical Society)

The Eltham Infant Welfare Centre was operating at full capacity in only a short time after its opening in 1952, and by 1955, the centre had seen over 3000 babies (Mills and Westbrooke 2010:7-9). Re-roofing occurred in 1957.



Figure 4. Eltham Infant Welfare Centre, c.1954. (Source: Eltham War Memorial Trust, 1954, cited in Mills and Westbrooke 2010: 8)

#### *Memorial Gates*

Following completion of the Infant Welfare Centre, the focus of the Eltham War Memorial Trust turned to memorial entrance gates, to be erected at the south of the newly completed Infant Welfare Centre. A legacy bequeathed by the late EJ Andrew in memory of his wife, Ellen, was used to fund their construction. An estimate was provided by to an estimate by the Chuck Wire Fence and Gate Company in 1953, and they were installed in 1954, complete with a wrought iron arch carrying the words 'Eltham War Memorial'. The decision to erect a flagpole was also made during this time, however it is not known



whether this is the existing flagpole (located near the Memorial Gates at the time of visiting in December 2020), as it is not present in historical photography from 1968 (see Figure 11). (Mills and Westbrooke 2010: 10)

#### *Pre-School and Children's Library*

A pre-school and children's library were to be the next additions to the War Memorial complex. Plans were drawn up by architects AK Lines, MacFarlane and Marshall in 1952, shortly after Marshall had joined the firm. The designs were submitted to the General Health Branch and the Maternal, Infant and Pre-school Branch of the Health Department in c.1953. The proposed buildings, together with the existing Infant Welfare Centre, were to form an arrangement that followed the Main Road boundary of the site. As the design evolved and tenders were sought for construction, further alterations were made to the plans. Ultimately, the library building was postponed, the size of the pre-school was scaled down, and the 'radiating' nature of the buildings' arrangement—originally designed to reflect the curve of Main Road (see Figure 5 and Figure 6)—was abandoned (Mills and Westbrooke 2010:11-12). The pre-school building was completed and opened by the end of 1956.

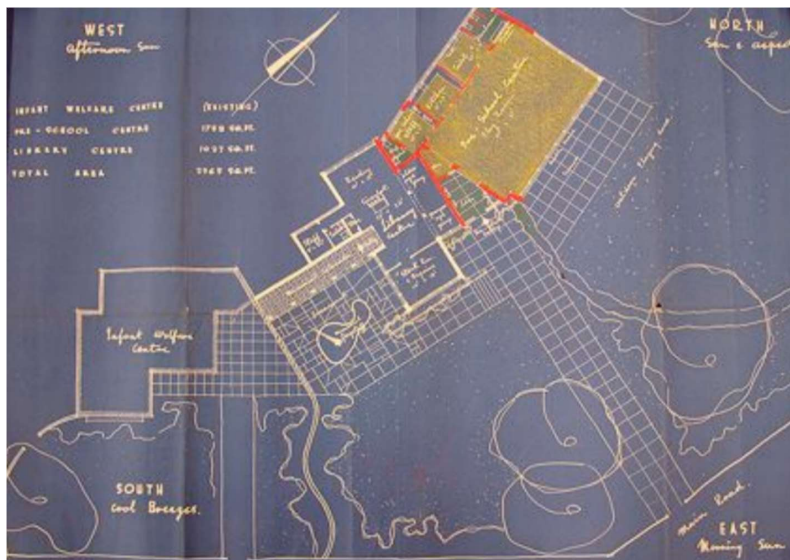


Figure 5. Sketch site plan c.1953, showing the spatial relationship of the Infant Welfare Centre, Children's Library and Pre-school. (Source: Public Building Plans File No.5841 Plan No.4057, Unit 413, VRPS 8044, PROV, cited in Mills and Westbrooke 2010:12)



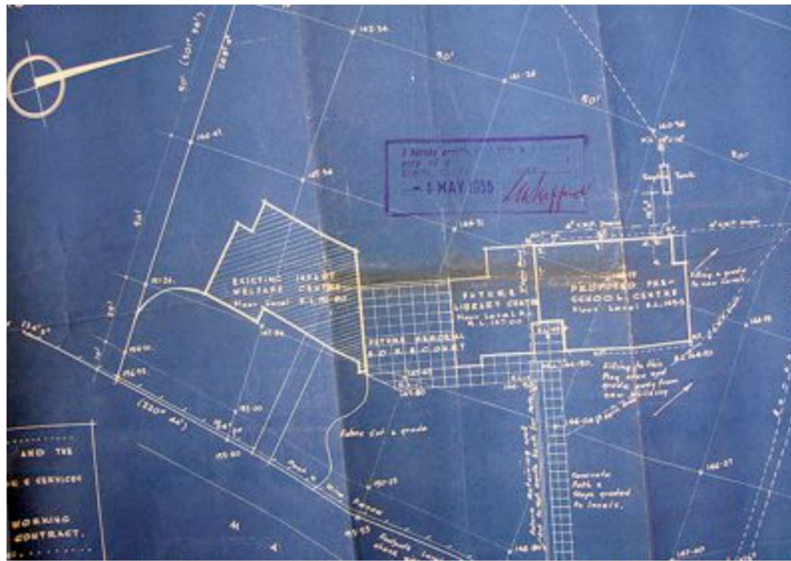


Figure 6. Sketch site plan dated 1956, showing amendments to postpone construction of the library and reductions to spaces in the Pre-School building. (Source: Public Building Plans File No.5841 Plan No.4057, Unit 413, VRPS 8044, PROV, cited in Mills and Westbrooke 2010:13)

Throughout the 1950s and 1960s, regular community fundraising events were held, which were largely led by the Women's Auxiliary of the Trust, to raise money to build for further community facilities. Activities included an Easter Gymkhana and horse show, Children's Carnival and a publication of *A Favourite Book of Country Recipes*, which had an initial print run of 2000 copies (*Argus*, 10 May 1956; Mills and Westbrooke 2010:14). Once sufficient funds had been raised, local architectural designer David L Woodger prepared drawings for the Children's Library, which was completed and opened in 1961.



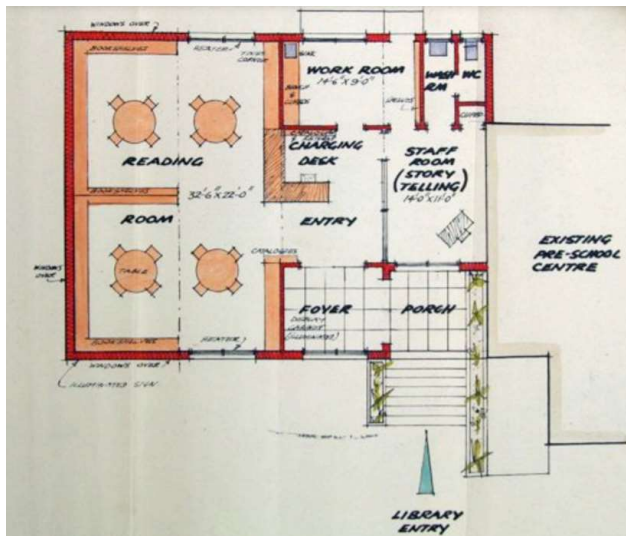


Figure 7. Sketch plan for the Children's Library prepared by local architectural designer David L Woodger in June 1960, showing existing pre-school building to the right. (Source: Public Building Plans File No.5841 Plan No.4057, Unit 413, VRPS 8044, PROV, cited in Mills and Westbrooke 2010: 15)

#### *Site handover to Eltham Shire Council and Senior Citizens Centre*

In 1962 the Eltham War Memorial Trust decided to devolve the War Memorial site to the Eltham Shire Council. The transfer of land was to occur once the Memorial Gardens were complete. Plans for the gardens had evolved since 1956, when they were initially perceived as a 'Memorial Forecourt' in the final plans for the pre-school building. In 1963 a quote for the 'institution of a memorial garden' was accepted. Works included the construction of concrete paths and grading of land to the rear of the buildings on the site (Mills and Westbrooke 2010:10).

In 1964 the Eltham Shire Council procured a strip of land at the northern end of the subject site, to be used for Country Fire Authority buildings, presumably in anticipation of the site being transferred to Council in the following year. A proposal presented by the Eltham Elderly Citizens Club for the erection of a Senior Citizens Centre, on the land still owned by the Trust, was approved, under the condition that the design of the new Senior Citizens Centre correspond with that of the existing buildings on the site.



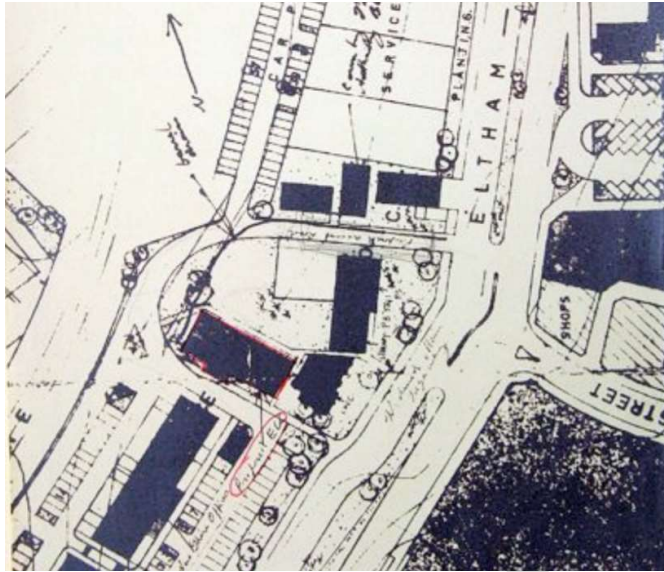


Figure 8. Site plan prepared c.1965, showing location of the proposed Elderly Citizens Centre (outlined in red). (Source: Public Building File No.13712, Unit 1624, VRPS 7882, PROV, cited in Westbrooke 2010:16)

The site was transferred to Eltham Shire Council in 1965, with the Trust to form a committee of management for the property over the following twelve months. Architects Leith & Bartlett prepared the design for the Senior Citizens Centre, the construction of which was partially funded by a state government grant, and the building was opened in April 1967 (Mills and Westbrooke 2010:16). The Centre's design and materiality complimented that of the Eltham Shire Offices built on the site adjacent to the War Memorial complex just two years earlier, also to designs by Leith & Bartlett (see Figure 9 and Figure 10). Both designs incorporated a simple rectangular footprint and flat roof. A similar pattern of vertically proportioned window openings is evident in both buildings.



Figure 9. A 1968 photograph of the Eltham Shire Offices, built in 1965 to designs by architects Leith & Bartlett. (Source: Eltham Pioneers Photograph Collection No. 657 held jointly by Eltham District Historical Society and Yarra Plenty Regional Library)



Figure 10. Current photograph of the Senior Citizens Centre, showing the elevation fronting Library Place and facing toward the space formerly occupied by the Eltham Shire Offices. (Source: Context, December 2020)



In 1966 the Children's Library was closed and the building was renamed as the 'Eltham War Memorial Hall' and lettering was fixed to the principal elevation (Mills and Westbrooke 2010:17). Rubble retaining walls were installed in front of the War Memorial buildings when Main Road was widened in 1968, and it is believed that the Memorial Gates were relocated to their present position at this time (see Figure 11) (Eltham District Historical Society 2018).



Figure 11. A 1968 photograph of the War Memorial Garden and Memorial Gates at the southern approach to the Infant Welfare Centre, looking to Main Road. (Source: Eltham District Historical Society)



Figure 12. A 1968 photograph of the pathway from Main Road through to the Pre-school and War Memorial Hall. Note the rubble retaining walls, installed in c.1968 when Main Road was reconstructed. (Source: Eltham District Historical Society)



Figure 13. A 1968 photograph of the War Memorial Garden. Note the rubble retaining walls and concrete pathway. (Source: Eltham District Historical Society)



Figure 14. A 1968 photograph showing a view of the War Memorial building precinct from Main Road. At the far left are the former Eltham Shire Offices (opened 1965, demolished 1994), then the Infant Welfare Centre, and War Memorial Hall at the right. (Source: Eltham District Historical Society)



In 2012 the Eltham War Memorial obelisk (first erected in 1919 on the corner of Main Road and Bridge Street) was relocated from the Eltham RSL to the subject site. Further landscaping works were carried out at this time. In c.2014 the pathway providing access from Main Road to the Pre-School and War Memorial Hall buildings was audited against the *Disability Discrimination Act* 1992 and found to be non-compliant. A ramp system was subsequently installed. (Eltham District Historical Society 2018)

*AK Lines & MacFarlane (later AK Lines, MacFarlane & Marshall), architects*

The firm of AK Lines & MacFarlane was initially the practice of Albert Keith Lines, who had begun his career prior to 1916 after serving articles with the architect Claude Merritt. Lines served in World War I, after which he returned to work for the house building firm of Morewood & Rogers, where he designed and supervised a range of projects before leaving to start his own practice in 1923 (Built Heritage 2010:135).

In 1928, Lines took on Jessica MacFarlane (still a teenager) as an articulated pupil. The firm became increasingly popular amongst prosperous middle-class home builders, working on a series of large-scale residential works in the 'middle-ring' suburbs of Camberwell, Balwyn and Kew (Built Heritage 2010:135). Many of these homes were designed and supervised by MacFarlane, with several of them being published in *Australian Home Beautiful* (Built Heritage 2010:135). Suspending practice due to the onset of World War II, Lines and MacFarlane resumed work as a firm in 1945. MacFarlane was made a full partner at this time, becoming one of the first women to take on partnership in an architectural firm in Victoria (WWII at Home 2020).

Bruce Marshall joined the firm in 1948, and was made a full partner in 1952. MacFarlane married and moved to South Australia in 1954, however the firm retained her name. Bruce Marshall, who had expertise in large-scale commercial work, had a prominent role in guiding the firm's output in the following years (Built Heritage 2010:135).

The firm undertook large-scale factory projects around the state, however from the 1950s took on increasing amounts of civil and municipal works. The firm's work on council chambers had begun in the 1940s, prior to the war, when they produced the design for the Eltham Shire Offices in 1941. This body of work gave the AK Lines, MacFarlane & Marshall the reputation as one of the most prominent and specialised firms for the design and execution of municipal offices (Built Heritage 2010:135).

Moving into modernist designs in the post-war period, the firm was commissioned to design the Shire of Benalla civic offices in 1958. The following three decades saw the firm working predominately on municipal work, during which they were responsible for the offices built at Oakleigh (1962), Myrtleford (1967) and Ringwood (1970) (Built Heritage 2010:135). Albert Lines retired in 1967, with the firm continuing to operate.

*AC Leith & Bartlett, architects*

Arthur Cedric Leith was born in 1897, to a family that would later become greatly involved in architecture in Victoria (Built Heritage 2010:134). He had begun practicing under his own name as AC Leith & Associates by the end of the 1920s, and by c.1930 had taken over the pre-existing practice of Haddon & Henderson. Leith was soon after joined in practice by Harold Bartlett, in 1934. Bartlett had been the first to receive a diploma from the Gordon Institute of Technology (Geelong) prior to going abroad during the 1920s and 30s where he gained extensive experience. Bartlett was invited to return to Gordon to become the head of its architecture school, however he left shortly after taking up the post in order to take up the partnership with Leith (Built Heritage 2010:134).



The postwar era saw a number of municipal projects for the firm, including the Kew Civic Centre in 1959, the Lilydale Town Hall in 1961 and the Eltham Municipal Offices in 1965. Although predominantly known for their local council work, the firm branched out into significant high-rise buildings, such as the ANZ head office in 1960. (Built Heritage 2010:134). The firm is still in operation today.

## DESCRIPTION

### Overall Site and Landscape



Figure 15. Aerial view of the site with each individual building date noted: former Infant Welfare Centre 1950-52; Eltham Preschool 1956; War Memorial Hall 1961; Senior Citizens Centre 1967, Eltham War Memorial Cenotaph constructed 1919 relocated to this site in 2012. (Source: Nearmap 2021)

The Eltham War Memorial Building Complex is located at 903-907 Main Road, Eltham. The site is irregular in shape and bound by Main Road to the southeast and Library Place along its southwest and northwest boundaries. The site falls from east to west towards the railway line and from south to north. As a result, the buildings that face Main Road are set below street level behind stone retaining walls.

At street level, the war memorial gates (1954) alongside Main Road open on to a formally landscaped terrace area of lawn, paving and plantings installed in the 2010s. The gravelled forecourt to the southwest of the memorial gate contains at its centre the Eltham War Memorial Cenotaph (1919) (HO126) which was relocated to the site in 2012. Both the gravelled forecourt and lawned areas contain dedicated memorial benches and interpretive panels explaining Australia's involvement in numerous wars. A memorial sundial dedicated to Mrs Ada Lyon in recognition of her work with the Eltham War Memorial Trust is located adjacent to the northern pillar of the memorial gates. A contemporary black aluminium picket fence runs along the rear of this garden area from Library Place. This fence returns to meet Main Road at the northeast end of the garden and then continues along the Main Road boundary.



As this landscaped terrace area is fenced off and at a higher level to the buildings on the site there is limited visual connection between the two

Entry to the complex of buildings is now through a single gate set in this fence along Main Road. This gate accesses a series of curved ramps that lead down to the Memorial Hall/Pre-school and the Infant Welfare Centre. These ramps and associated landscaping were installed in 2014. A second entry off Library Place is through a hooped metal fence adjacent to the Infant Welfare Centre.

Internally the site is fenced with various types of low transparent metal fencing that separate the War Memorial Hall/Pre-school building from the Infant Welfare Centre creating safe and secure play areas for children. The Senior Citizens Centre is accessed off Library Place and is unfenced.

The former Infant Welfare Centre is positioned at the south-west corner of the site. Its principal elevation addresses Main Road, and its southwest elevation faces Library Place. The War Memorial Hall and Pre-School building align with this building, and follow the arc of the site towards the north. These three building are of a similar materiality and form which heightens a sense of visual cohesion within the site. Key uniting design elements shared by these three buildings include the simple box-like forms with flat of low-pitched gable roofs, large expanses of unadorned cream brick walls and large window walls. A fourth building, the Senior Citizens Centre is located to the rear of the former Infant Welfare Centre and is orientated towards Library Place along the southwest boundary of the site.

The site is landscaped with a mix of indigenous and exotic plantings. The landscaping of the site has undergone significant change overtime. Some remnant stone rubble walls remain however the major pathways and entry points to the site and the early landscape layout have all been altered.



**Eltham Maternal Health Centre (former Infant Welfare Centre) (1950-52)**



**Figure 16. Principal elevation of Eltham Infant Welfare Centre showing front window boarded over with concrete trim remaining. (Source: Context, December 2020)**

The former Infant Welfare Centre, built in 1950-52 to a design by AK Lines and MacFarlane Architects, is the earliest building on the site. Positioned on the corner of Main Road and Library Place, the building's main entrance faces Main Road and was originally accessed through the memorial gates positioned along Main Road. The building is asymmetrical in plan with a projecting bay at its southern end. It is constructed of loadbearing cream brick walls laid in stretcher bond and has a flat roof clad in corrugated iron that is concealed behind a low straight parapet that wraps the front and side elevations. This massing of simple geometrical shapes gives the building a distinctive box-like form that is typical of early modern functionalist architecture that gained popularity in the 1920s and 1930s and continued through into the early postwar period.

Entry to the building is through a deep porch that runs across the front of the building in line with the projecting bay (see Figure 18). The porch returns at an acute angle along the north to create a large undercover area for pram storage. The main entry to the building is through a pair of doors set into the southern wall of this area and there are externally accessed bathrooms at its rear (see Figure 20). This area has a flat roof with exposed fascia boards and quad guttering that sits at a lower level to the main building form. The porch roof is supported off three slender metal posts across the front elevation. A dwarf wall at its northern end originally had a louvred infill panel to roof height but is now infilled with cement sheet (see **Error! Reference source not found.**). The front section of the roof was originally an open pergola that has been covered with translucent corrugated PVC sheets, leaving the extant grid



frame of the pergola legible. The rear roof section of the porch is lined with painted timber boards. The porch floor is of ruled concrete. A simple steel balustrade connects the dwarf wall to the first slender metal post and then continues towards the street with the handrail terminating in a scroll.

The projecting bay was originally distinguished by a large, centrally placed, floor to ceiling window framed by a concrete border. The concrete frame remains, however the window has been covered over with timber boarding and two decorative metal panels (see Figure 16). The cream brick planter box that runs under the window is original. Under the entry porch is a large horizontal widow divided into five vertically proportioned double-hung timber sash windows. This window sits above the foundation stone for the building which was laid in November 1950. There is a single solid door at the southern end of the porch that gives access to the projecting front room (see Figure 18).

The remaining elevations are utilitarian in nature with large wall surfaces of unpainted cream bricks punctuated by small timber framed widows located to provide light and ventilation to the rooms behind.



Figure 17. Southern elevation of former Eltham Infant Welfare Centre showing sheer unadorned wall surface of cream brick with low parapet concealing flat roof. (Source: Context, December 2020)



Figure 18. Pergola across principal elevation of the former Eltham Infant Welfare Centre showing slender metal posts. (Source: Context, December 2020)





Figure 19. North elevation of the former Infant Welfare Centre showing dwarf closed wall above that was originally a louvered screen to pram porch. (Source: Context, December 2020)



Figure 20. Pram porch at the former Eltham Infant welfare Centre. The two doors set on the angle provide access to bathrooms whilst the pair of doors to the left are the main entry to the building. (Source: Context, December 2020)

#### Eltham War Memorial Gates (1954)



Figure 21. Eltham War Memorial Gates located along Main Road, Eltham. Constructed in 1954. (Source: Context 2020)



A pair of memorial entrance gates were constructed on the site in 1954. Located on Main Road, the gates and piers are positioned between the Infant Welfare Centre and the War Memorial Hall. They are set on a slight angle so that they orientate towards the entry of the Infant Welfare Centre. The gates are constructed of two concrete pillars that are clad in slate in a crazy-paving pattern. These pillars support a pair of wrought iron gates and a wrought iron archway scroll which contains the words 'ELTHAM WAR MEMORIAL'. On the southern gate a small plaque reads 'These Memorial Gates were donated by the Late Cr & Mrs EJ Andrew'. The northern pillar has two large dedication plaques attached to its front face, one for the War memorial and the other for the relocated Cenotaph that is now located in the garden area behind.



Figure 22. Rear of War Memorial Gates looking towards Main Road.  
(Source: Context, December 2020)



Figure 23. Memorial Plaques on gate pillar dedicated to the War memorial gates and the Cenotaph. (Source: Context, December 2020)



**Eltham Preschool (1956)**



**Figure 24. Principal elevation of the Eltham preschool. Entry to the preschool is through the recessed porch to the right of the planter. The entry to the left is to the former Children's Library added in 1961. (Source: Context December 2020)**

The Eltham pre-school building was constructed in 1956 to a design by Lines MacFarlane & Marshall, Architects. Built towards the northern boundary of the site, the building is orientated towards the arc of Main Road and is attached at its southern end to the War Memorial Hall (former Children's Library) which was added in 1961.

The pre-school building is constructed using a steel portal frame that is expressed internally. It is clad with cream brick and glazed infill panels and has a low-pitched transverse gable roof with exposed rafter ends. The building has a ground hugging form with a long un-broken roof line that contrasts to the box-like form of the Infant Welfare Centre. The principal elevation facing Main Road has an open recessed porch under the main roofline at its southern end with the roof overhang being supported by two slender steel posts.





Figure 25. North elevation of the preschool building showing window wall, low-pitched gable roof and stepping in of building. (Source: Context, December 2020)



Figure 26. West elevation of the preschool building showing strip natural aluminium window with manganese brick sill. (Source: Context, December 2020)



Figure 27. North elevation detail showing the top section of the window wall frosted as a false ceiling has been installed internally. (Source: Context, December 2020)



Figure 28. Window wall under verandah. Note the original eave overhand has been extended to create a deep undercover play area. (Source: Context, December 2020).

Across the front of the building the roofline has been extended at a later date to create a deep verandah. Beneath the verandah the original timber framed window wall remains extant. This wall is divided into seven vertical panes with the outer and central panes divided horizontally into three equal sections with an awning sash window fitted to the centre section. Set into the window wall two solid timber panel doors provide access into the main classroom of the building. At the eastern end of the northern (side) elevation is a window wall that extends to the underside of the gable roof. The building steps back at the rear of this elevation with a single glazed door providing access into the building. The rear, west facing, elevation has a horizontal row of natural aluminium framed windows terminating in a glazed timber framed door with timber framed side window. The windowsill is of glazed manganese bricks.



**War Memorial Hall (former Children's Library) (1961)**



**Figure 29. War Memorial Hall (former Children's Library) built 1961. The building became the War Memorial Hall in 1965 after Eltham Council bought the site from the Eltham War Memorial Trust. (Source: Context, December 2020)**

The War Memorial Hall (former Children's Library) building was constructed in 1961 to a design by David L. Woodger, architectural designer. The War Memorial Hall is attached to the preschool building at its northern end. It follows the same built form, materiality and structural steel portal system as its neighbour but steps back from the preschool with a recessed entry at its northern end where it abuts the entry to the preschool. The two entries are by a brick wall and raised planter. Entry to the War Memorial Hall is through a pair of glazed timber doors set into the side (southern) wall of the porch area. These doors have a large, glazed transom light that follows the pitch of the roof. The western wall of the entry porch is set with a large timber framed window that is divided into four. The porch area retains its original terrazzo floor.

Across the principal façade to the south of the recessed entry, two large floor-to-ceiling window openings punctuate the otherwise plain brick wall of the façade. One of these windows retains its original timber framed divided window, while the other has been replaced with a contemporary aluminium module that includes a sliding motorised door. Attached to the wall plane are metal letters that spell out 'WAR MEMORIAL HALL'. Above these letters an early light fitting is extant.

The southern wall of the building is distinguished by a large window wall with high sill and sloped head that follows the pitch of the gable roof. This window would have originally provided southern light into the original library's reading room.



The rear (western) elevation is utilitarian in nature. It has three large window openings fitted with timber framed windows that are divided into four equal panes.

Internally the structural steel portal frame is left exposed and the building retains its original partitioning system. This system uses a combination of brick walls and light weight partitions all of which are glazed above door head height to the raked ceiling above.



**Figure 30. Principal elevation of Wall Memorial Hall showing ramped entry installed in 2012. (Source: Context, December 2020)**



**Figure 31. Southern elevation of the War Memorial Hall showing elevated window wall that originally lit the reading room of the Children's Library (Source: Context, December 2020)**



**Figure 32. West elevation of War Memorial Hall (Source: Context 2020)**



**Figure 33. Interior of War Memorial Hall showing extant glazed partitioning system and expressed structural steel portal frame. (Source: Context, December 2020)**



#### Senior Citizens Centre (1967)



**Figure 34. Senior Citizens Centre built 1967. The centre was not part of the Eltham War Memorial Trust's vision for the site and is notably different in architectural style, materiality and orientation to the earlier buildings on the site. (Source: Context December 2020)**

The Senior Citizens Centre was constructed in 1967 to a design by Leith & Bartlett, Architects. Built after the site was acquired by the Eltham Council, the building was not part of the War Memorial Trust's original vision for the site. As such, it is notably different in its architectural style, details, materiality and orientation to the other three buildings on the site. Fronting Library Place to the northwest, the building is unfenced leaving it visually and physically separated from the other three buildings that sit within a fenced precinct. The building has a simple rectangular footprint with a flat roof clad in roof decking and cement sheet lined eaves. It is constructed of reddish-brown brick laid in stretcher bond. Although single storey, due to the fall of the site from east to west, the building is elevated above the ground at its western end allowing for carparking in an undercroft. Internally the building is planned with service spaces around its perimeter and a large central hall with a higher ceiling. This space is expressed externally via a pop-up section of the roof, which is clad in corrugated iron.

The principal elevation comprises two pairs of small rectangular windows either side of a projecting entry porch. This porch is enclosed with glazed panel walls, fitted with recent aluminium framed window. To the west of the entry porch the façade is punctuated by seven vertically proportioned floor to ceiling openings. Six of these are fitted with timber-framed window modules and one is fitted with a glazed timber door. The typical window module has a glazed upper half with central mullion and a solid panel below. The windows are set on the inside plane of the wall creating a deep reveal and distinctive sloped stone sills.



The eastern elevation is punctuated with five vertically proportioned window openings similar to those facing Library Place.



**Figure 35. Principal elevation of the Senior Citizens Centre facing Library Place. (Source: Context December 2020)**



**Figure 36. East elevation of the Senior Citizens Centre showing recessed window module with stone sill. (Source: Context December 2020)**



**Figure 37. North elevation Senior Citizens Centre showing enclosed verandah with timber framed glazed wall. (Source: Context December 2020)**



**Figure 38. West elevation Senior Citizens Centre showing open basement car parking under the building. Note face brick work has been overpainted. (Source: Google August 2019)**

The western (rear elevation) of the building is of face brickwork that has been overpainted. Three centrally placed openings at the lower level provide for parking under the building.

The southern elevation is of unpainted face brickwork. A central panel of light weight, timber framed half glazed wall is divided into 12 equal divisions and has a pair of half glazed doors at its eastern end.

The aesthetic integrity of the building is diminished by the installation of services on the roof including air conditioning units, solar panels and a roof ladder.



## **INTEGRITY**

The Eltham War Memorial Building Complex, is largely intact to its original period of development (1950-1967) with some changes visible to original or early fabric. The buildings on the site retain their original built form and scale, materials and stylistic details, and continue to be used for civic purposes servicing the needs of residents in the local area. Alterations and additions to the buildings include:

- the boarding over of a large window to the principal façade of the former Infant Welfare Centre;
- the replacement of the louvred screen to the northern elevation of the former Infant Welfare Centre building with a solid panel;
- the extension of the roof line of the Eltham Pre-school building to create an undercover play area; the replacement of a timber framed window along the principal façade of the War Memorial Hall building with an aluminium-framed window and;
- the enclosing of the verandah along the northern wall of the Senior Citizen Centre building.

These changes are minor and have been sympathetically implemented. In most cases, these would be easily reversed. They do not diminish the buildings' contributory nature within the complex.

The site maintains its continued mixed community use as originally intended in the early plans for the site by the War Memorial Trust. This includes the use of the Pre-school, War Memorial Hall and Senior Citizens Centre. Although the site has been subdivided, with a sixty-five-foot strip of land to its north being sold to the Eltham Shire Council in 1964, the remainder of the site retains its civic purpose as envisaged. This vision has been retained even after the site was handed over to the Eltham Shire in 1965, with the trust approving the scheme for the proposed Senior Citizens Centre prior to the handover.

Landscape changes have diminished the intactness and integrity of the site as a whole. Land that was originally purchased by the War Memorial Trust for construction of the Eltham War Memorial Buildings has been impinged upon over time. Landscaping that was installed by the War Memorial Trust as part of the early scheme for the complex has been removed or substantially altered. Changes to the original landscaping occurred after the reconstruction of Main Road in 1968 resulting in the installation of stone retaining walls and the relocation of the memorial gates to their current location (Mills and Westbrooke 2010:10). Further changes occurred in 2012 with the relocation of the Eltham War Memorial Cenotaph (HO126) and the creation of the surrounding memorial gardens. Remnant elements that remain of the original or early landscaping of the site include the War Memorial Gates, some rubble stone walls and the memorial stone sun dial.

Overall, with the exception of the landscape alterations, the Eltham War Memorial Building Complex has high integrity.



## COMPARATIVE ANALYSIS

Following the First World War, war memorials mainly comprised statues, monuments, avenues of honour, and plaques. However, as early as the 1920s there was already public sentiment that, due to a scarcity in materials and public funding, resources would better serve the community if they were channelled into the construction of community facilities (Mills and Westbrooke 2010:4). Following World War II, hospitals, especially for children, kindergartens and baby health care centres were popular choices. As public money was in short supply community funding was frequently bolstered by the introduction of a commemorative element.

The Shire of Nillumbik has a large and varied number of traditional war memorials within its suburbs. These include the Shire of Eltham War Memorial Tower, Mature Plantings and Park, 385 Eltham-Yarra Glen Road, Kangaroo Ground (HO49) c.1925-6, 1974; The Eltham War Memorial Cenotaph, 903-907 Main Road, Eltham (HO126) 1919, 1960; London Plane Tree Avenue of Honour, Main Road, Eltham (HO229) c.1950s; Plenty War Memorial Gates, 103-107 Yan Yean Road, Plenty (HO249) c.1950s; Panton Hill War Memorial, Main Road and Church Road, Panton Hill (VWHI) c.1926; Diamond Creek War Memorial Reserve Circuit, Diamond Creek 1921 (VWHI); and the Christmas Hills War Memorial, Eltham and Yarra Glen Roads, Christmas Hills (VWHI) 1921. The present site of a complex of community buildings adds an important additional place type to this group of local war memorial places in Nillumbik. There are no other examples within the shire.

The Shire of Nillumbik also contains a number of community facilities and pre-schools of which a few postwar examples are on the Heritage Overlay. These include the Eltham South Kindergarten, 35 Fordhams Road, Eltham, 1965 (HO202); the Eltham Community Centre, 801 Main Road, Eltham, 1977-78 (HO117); and the Eltham Library 4-10 Panther Place, Eltham, c.1992 (HO239). While each of these places represent the expansion of community services in Eltham driven by population growth after World War II, they were not community funded, nor were they built as war memorials. Architecturally, they are also not directly comparable to the buildings on the subject site as they are representative examples of the 'Eltham Idiom' a style characterised by adobe buildings that have become symbolic of the Eltham area.



**Figure 39. Eltham South Kindergarten, 35 Fordhams Road, Eltham, built 1965 (HO202).**  
(Source: Hermes)



**Figure 40. Eltham Community Centre, 801 Main Road, Eltham, built 1977-78 (HO117).** (Source: Hermes)



**Figure 41. Eltham Library, 4-10 Panther Place, Eltham, built c.1992 (HO239).** (Source: Hermes)

Given the lack of comparable examples currently on the Heritage Overlay, it is therefore necessary to compare the subject site with examples from outside of the Shire of Nillumbik.

Generally, there are fewer postwar places included in the Heritage Overlay than nineteenth century and early twentieth century places with postwar memorial community facilities such as infant welfare centres



and kindergartens particularly under-represented. Furthermore, there are no identified examples of a complex of community buildings built specifically to provide child welfare services on the Heritage Overlay. For this reason, it has been necessary to compare the individual buildings on the site against representative examples of their specific typology that are outside the Shire of Nillumbik.

Comparable postwar examples include:

**Post-war baby health centres in local heritage overlays**

*Baby Health Centre, 318-324 Lygon Street, Brunswick East, c.1939 (HO106 of Moreland Planning Scheme)*

The Baby Health Centre at 318-324 Lygon Street, Brunswick East, is of local historical and architectural significance. The site has been associated with maternal and baby health care since the late 1930s. Architecturally, the building is a well composed late example of the Moderne style, with an interesting semi-circular facade.



**Figure 42. Baby Health Centre, 318-324 Lygon Street, Brunswick East, c.1939 (HO106). (Source: Hermes)**

*The Aberfeldie Baby Health Centre, 13 Beaver Street, Aberfeldie, built 1955 (HO381 of Moonee Valley Planning Scheme)*

The Aberfeldie Baby Health Centre is of local historic, social and architectural significance to the City of Moonee Valley. The centre was designed by S.C. Steele and constructed in 1955. It is socially and historically significant at a local level as a place that symbolises the determined efforts of the Council and local community to establish a place that would improve the health and welfare of women and children. As was typical of baby healthcare centres built at this time the building is domestic in appearance, resembling a cream-brick post-war house, asymmetrical in plan with a hip tile roof with boxed eaves.





Figure 43. Aberfeldie Baby Health Centre, 13 Beaver Street, Aberfeldie, built 1955 (HO381). (Source: Hermes)

*Emerald Street Community Centre, 1 Emerald Street, Essendon West built 1963 (HO332 of Moonee Valley Planning Scheme)*

The Emerald Street Community Centre is of aesthetic, architectural and technological (engineering) significance and historical interest, to the City of Moonee Valley. Built in 1963 to a design by the Shire's Engineer, Garnet Price, it is notable for its distinctive form and unique structural substructure that melds characteristic of the 'Melbourne School' of post-war modernist architecture with an innovative structural approach to overcome the constraints of an unstable site. Historically the building is of interest as one of a number of purpose-built infant welfare centres built in the 1950s and 60s in the City of Keilor due to rapid residential growth.



Figure 44. Emerald Street Community Centre, 1 Emerald Street, Essendon West, built 1963 (HO332). (Source: Hermes)

*Baby Health Centre, 2 Merlyn Street, Coburg North built 1955 (HO399 of Moreland Planning Scheme)*

The Merlynston Baby Health Centre is of local historic, social and architectural significance to Moreland City. It is historically significant as an example of a place associated with an important program that encouraged the provision of modern and up-date maternal and child health facilities, particularly throughout the growing suburbs on the fringe of metropolitan Melbourne, after World War Two. Designed in the form of a brick veneer house with a hip tile roof and a projecting flat-roofed porch, which is noted



on plan as a 'Pram park', The Merlynston Baby Health Centre is architecturally significant as a representative example of a small baby health centre, which illustrates the simple domestic scale and design that is typical of these buildings and reflects the philosophy of the Victorian Baby Health Centres Association.



Figure 45. Baby Health Centre, 2 Merlyn Street, Coburg North, built 1955 (HO399). (Source: Hermes)

***Post-war pre-schools on the Heritage Overlay***

*Robert Cochrane Kindergarten, 2A Minona Street, Hawthorn built 1948-50 (VHR H2309, HO580)*

Robert Cochrane Kindergarten, Hawthorn is a prototype of progressive post-war kindergarten design which had a profound influence on kindergarten design in Victoria. It was the first kindergarten to combine innovative planning and orientation with modern architectural expression; characteristics which became typical of many kindergartens designed by Horace Tribe and other architects throughout the 1950s.



Figure 46. Robert Cochrane Kindergarten, 2A Minona Street, Hawthorn, built 1948-50 (VHR H2309, HO580). (Source: Hermes)

*Greenwood Park Kindergarten, 9 Greenwood Avenue, Ringwood built 1954-55 (HO28 of Maroondah Planning Scheme)*



Greenwood Park Kindergarten is a Modernist timber building, built in 1954-55 after local organisations, traders and individuals raised funds for the kindergarten's Building Fund. It is historically significant as an early and striking embodiment of the post-war kindergarten movement. It is architecturally significant as a fine example of the Modernist style as an example of its building type.



Figure 47. Greenwood Park Kindergarten, 9 Greenwood Avenue, Ringwood, built 1954-55 (HO28). (Source: Hermes)

*East Keilor Pre-School & Infant Welfare Centre, 31 Mark Street, Keilor East built 1967-68 (HO432 of Moonee Valley Planning Scheme)*

The East Keilor Pre-School and Infant Welfare Centre is of local historic and social significance to the City of Moonee Valley. The pre-school and infant welfare centre is a brick building with a low-pitch skillion roof. The windows are floor to ceiling and have textured spandrels below set on manganese brick sills, and aluminium framed windows above with openable sashes set within fixed panes of glass. It is historically significant as an example of a place associated with an important program that encouraged the provision of modern maternal and child health facilities in suburban Melbourne during the early to mid-twentieth century. It is significant as a representative example of a combined pre-school and infant welfare centre of the post-war era. The mature eucalypts provide a related setting.



Figure 48. East Keilor Pre-School & Infant Welfare Centre, 31 Mark Street, Keilor East, built 1967-68 (HO432). (Source: Hermes)

*East Ivanhoe Memorial Kindergarten, 1 King Street built 1958 (East Ivanhoe Pre-school), Ivanhoe (VWHI, not in HO)*



The East Ivanhoe Memorial Kindergarten was opened in 1958. At the time of opening its official name was the 'East Ivanhoe Preschool Memorial Kindergarten'. It was the culmination of years of fundraising by the City of Heidelberg War Memorial Trust and the East Ivanhoe Pre-School Committee and was a response to the increasing demand for children's services in the area.



Figure 49. East Ivanhoe Memorial Kindergarten, 1 King Street, East Ivanhoe, built 1958 (not in HO). (Source: Hermes)

*Armadale Memorial Kindergarten, William Street, Armadale, built 1951 (VWHI, not in HO)*

Construction of the Armadale Memorial Kindergarten began in 1951 after intensive fundraising by the local community. It opened in February 1953. It has a marble plaque dedicated to those who had died during World War II and the quote "the foundation of every state is the education of its youth".



Figure 50. Armadale Memorial Kindergarten, William Street, Armadale, built 1951 (not in HO). (Source: Hermes)

*Glenroy Memorial Kindergarten (not in HO)*

The Glenroy Memorial Kindergarten was constructed in 1953 and was opened in 1954 by Health Minister Mr Barry. It was constructed at a cost of £7000 and initially provided accommodation for 50 children.





Figure 51. Glenroy Memorial Kindergarten, Glenroy (not in HO). (Source: Hermes)

*War Memorial Kindergarten, Whittington (not in HO)*

Following World War II, members of the local community engaged with the Shire of Bellarine to establish a permanent memorial to those who died during the war. It was decided the memorial should take the form of an infant welfare centre and a kindergarten. In 1951 the Shire purchased the land. About one third of the cost of the infant welfare centre was raised by the community and the balance was contributed through the Shire and other grants. The infant welfare centre opened in 1955 and was extended in 1961 for a kindergarten.



Figure 52. War Memorial Kindergarten, Whittington (not in HO). (Source: Hermes)

### Discussion

The Eltham War Memorial Complex of buildings is an unusual grouping of buildings purpose built to memorialise those who served in World War II. There are no other known examples of war memorial buildings currently on the Heritage Overlay in Victoria that were specifically built to provide baby and child welfare services.

When compared to the above examples, each of the three buildings built under the auspice of the Eltham War Memorial Trust are good representative examples of modernist architecture as it developed within the Australian context.



Architecturally, the former Infant Welfare Centre building compares most directly to the earlier Baby Health Centre at 318-324 Lygon Street, Brunswick East, c.1939 (HO106). Both buildings break from the typical domestic form of architecture commonly used at this time for infant welfare centres as seen at the Aberfeldie Baby Health Centre 1955 (HO318) and the Merlynston Baby Health Centre, 1955 (HO399) utilising instead Dudok-inspired functionalist features. These include unadorned cream brick walls with a simple flat parapet and a sheltering pram porch. The composition and expression of these features gives the buildings a distinctive cuboid form that is typical of early modern functionalist architecture. It is of interest that the nearby Eltham Municipal Offices (now demolished), designed by A.K. Lines and MacFarlane in 1940-41, used a similar architectural style and compositional approach. This building is likely to have influenced the use of this architectural form for the Infant Welfare Centre in order to establish a visual unity between civic buildings in the area.

The Eltham Infant Welfare Centre building is not as progressive in design as the later Emerald Street Community Centre, Essendon West, 1963 (HO332) which is notable for melding characteristic of the 'Melbourne School' of post-war Modernist architecture with an innovative structural approach to overcome the constraints of an unstable site. This regional 'Melbourne style' is more evident in both the Eltham Pre-school building and the attached former Children's Library. In both these buildings we see the use of a steel portal frame to create an internal single span space that is enclosed with a low-pitched gable roof and window walls. These features are characteristic of the experimental structures and forms that typify Australian modernism of the 1950s and 1960s, particularly in Melbourne. This can be seen at the earlier Robert Cochrane Kindergarten 1948-50 (VHR V2309, HO580), the Armadale Memorial Kindergarten, William Street Armadale 1951 (not in HO), the East Ivanhoe Memorial Kindergarten, 1958 (not in HO) and the East Keilor Pre-School & Infant Welfare Centre, 1967-68 (HO432). This distinguishes the Pre-school and Library buildings from the War Memorial Kindergarten, Whittington c.1954-55 and the Glenroy Memorial Kindergarten, c.1953 both of which reference more typical conservative forms of domestic architecture in their design.

The Senior Citizens Centre was built in 1967 and was not part of the Eltham War Memorials Trust's original vision for the site. Built after the site was acquired by the Eltham Council, the building is notably different in its architectural style, details, materiality and orientation to the other three buildings on the site. It originates from a period of Eltham's history that is better represented on the Heritage Overlay i.e. Eltham Community Centre (HO117), the Eltham Library (HO239) and the Eltham South Kindergarten (HO202) however, it is more generic in its architectural expression. It does not contribute to an understanding of the distinctive 'Eltham Idiom', a style characterised by adobe buildings that developed at this time and have become symbolic of the Eltham area. As such the building is not considered to be of local significance. It is however of some interest as its construction was approved by the Eltham Memorial Trust prior to the Council acquiring the site and its design complimented the former Eltham Shire Offices built directly opposite in 1965 also to a design by Leith And Bartlett. The Eltham Shire Offices however, was however demolished in 1996.

As discussed earlier within this report, landscape changes have diminished the intactness and integrity of the site as a whole. Landscaping that was undertaken by the War Memorial Trust as part of the early scheme for the complex has been removed or substantially altered. As a result, the current landscaping of the site is not significant, with the exception of the War Memorial Gates, stone sun dial and remnant rubble stone walls. The Eltham War Memorial Cenotaph was relocated to the site in 2012 and is within its own Heritage Overlay.



## ASSESSMENT AGAINST CRITERIA

✓	<b>CRITERION A</b> Importance to the course or pattern of our cultural or natural history (historical significance).
	<b>CRITERION B</b> Possession of uncommon, rare or endangered aspects of our cultural or natural history (rarity).
	<b>CRITERION C</b> Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).
✓	<b>CRITERION D</b> Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).
	<b>CRITERION E</b> Importance of exhibiting particular aesthetic characteristics (aesthetic significance).
	<b>CRITERION F</b> Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).
✓	<b>CRITERION G</b> Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).
	<b>CRITERION H</b> Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

## STATEMENT OF SIGNIFICANCE

### WHAT IS SIGNIFICANT

The Eltham Memorial Building Complex at 903-907 Main Road, Eltham, is significant.

The following features / components contribute to the significance of the place:

- former Infant Welfare Centre building (1950-51);
- War Memorial Gates (1954);
- Eltham Preschool (1956);
- War Memorial Hall (former Children's Library) (1961);
- Stone sundial dedicated to Mrs Ada Lyon;
- Remnant stone rubble garden walls.

The Senior Citizens Centre building is of historical interest only.



#### **HOW IT IS SIGNIFICANT**

The Eltham War Memorial Buildings, Eltham, are of local historical, architectural (representative), and social significance to the Shire of Nillumbik.

#### **WHY IT IS SIGNIFICANT**

The Eltham War Memorial Building Complex is historically significant as a group of community buildings in Nillumbik that incorporated a range of community services and facilities. The complex included infant and child welfare, children's library, senior citizens centre, gates and gardens, and demonstrates the concept of a 'useful' or functional war memorial. The complex evidences the dedicated work by community groups in the postwar period in organising fundraising and managing the construction both of local war memorials and local community facilities across Victoria. The combined community and memorial functions of the Eltham War Memorial complex demonstrate the efficient and pragmatic use of limited resources. While the construction of buildings associated with infant and child welfare was not a rare type of war memorial building, a coordinated complex of several child welfare buildings as a war memorial is rare in Victoria. (Criterion A)

The collection of structures comprising the Eltham War Memorial Building Complex are largely intact, highly representative examples of Modernist architect-designed community buildings. Key design elements across the collection of buildings include the overall simplicity of the buildings, the simple box-like built forms with flat (Infant Welfare centre) or low-pitched gable roofs (Preschool and War Memorial Hall) and large expanses of windows. The War Memorial Gates are an excellent representative example of memorial gates for their period. The slate clad pillars, wrought-iron gates and arched wrought iron scroll are all typical landscaping materials used in the 1950s. (Criterion D)

The former Infant Welfare Centre is distinguished by its box-like form, which is emphasised through its use of planar wall surfaces and parapet, and is representative of a modern functionalist approach to design. The Preschool and War Memorial Hall buildings demonstrate characteristics of the 'Melbourne School' of post-war modernist architecture. This is reflected in their use of a steel portal frame to create an internal single span space that is enclosed with a low-pitched gable roof and large non-structural timber framed window walls. (Criterion D)

The Eltham War Memorial Building Complex is of social significance for its long and continuing associations with the local Eltham community to remember and honour those who fought in World War II. The site as a whole has played an ongoing role in the civic life of the local Eltham community since 1952, when the Infant Welfare Centre first opened on the site. The Eltham preschool, which has operated from the site since 1956, and the War Memorial Hall (former Children's Library) have served the community for over sixty years for various functions and activities, including the provision of services for children and meetings of local groups. (Criterion G)



RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as an individually significant place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

NILLUMBIK PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	Yes— Memorial Gates and sundial
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A



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Response No:  
19

Contribution ID: Letter

Member ID:

Date Submitted: 07 August 2023

Details

2 Hillmartin Road / Lane, Diamond

Creek Stage B - 26

HO319

Objection





**Title:** Larch Hill, 2 Hillmartin Lane

**Prepared by:** Trethowan Architecture

**Address:** 2 Hillmartin Lane, Diamond Creek

<b>Name:</b> Larch Hill Residence and Remnant Orchard	<b>Survey Date:</b> 20/1/2022
<b>Place Type:</b> Individual Place	<b>Architect:</b> Unknown
<b>Grading:</b> Significant	<b>Builder:</b> Unknown
<b>Extent of Overlay:</b> to the title boundary	<b>Construction Date:</b> 1920-22



## Historical Context

### Early History of Diamond Creek

Although Crown Land in Nillumbik Parish was offered for sale in 1852 there were few buyers. A government township was reserved on the west of the Diamond Creek at this time but it was neither subdivided nor sold until 1866. In 1863 the Diamond Reef was discovered on land purchased by Dr John Blakemore Phipps in 1854 east of the creek. The rush to Diamond Creek began and soon Phipps was renting sections of his land, which he later subdivided to miners. In effect the development of Phipps land for gold mining was the beginnings of Diamond Creek, which was soon bustling with gold seekers. In 1866 the government proclaimed Diamond Creek as a township. Many of the important community buildings were established by the early 1870s. By the second half of the 1880s the locality was being carved up rapidly into a dominant pattern of numerous small lots of around 20 acres. These were taken up under occupation licenses, first under Section 49 of the Land Act 1869 and later under Section 65 of the Land Act 1884. Diamond Creek's population peaked around the turn of the century then seemed to fall away again in the early twentieth century (Graeme Butler & Associates 1996, p.36).

### History

2 Hillmartin Lane

William Gardiner





William Gardiner took up Lot 12 Section 22, 20 acres Parish of Nillumbik under Section 31 of the Land Act 1869. He obtained freehold in 1873. This lot is amongst a large grouping of Section 31 occupation license areas to the north and west of the township of Diamond Creek. Characteristically they were either 20 acres or multiples thereof. Most were converted to freehold during the 1870s (Nillumbik Parish Plan sheet 1). The land that contained the subject site was occupied by Sarah Gardiner, who was recorded to have owned 'house and land' in Parish of Nillumbik (RB 1872, 1873 & 1874).

The 1876-77 rate book shows Sarah Gardiner owning house and land in Parish of Nillumbik (RB 1876 & 1877). The land was purchased by Charlotte De Frederick in 1884 (CT: V1606). In 1885 Henry de Frederick was rated for house and land in the Parish of Nillumbik with an NAV of £10. In 1895 Lot 12 was purchased by Constance Fitzgibbon, wife of Major Maurice Fitzgibbon, engineer of the 18th Royal Scots regiment, then based in Calcutta India (CT: V2562F379). The de Fredericks, however, continued to occupy the site, and were recorded to be the owner/ occupier of the property until 1910 (RB, 1910). In 1911, the Fitzgibbons came to Diamond Creek and settled in the property, establishing an additional 10 acres of orchards, presumably on top of what the de Fredericks had already cultivated (*The Australasian*, 2 December 1911:13). The 1920 topographic map, which probably reflects the state of development a couple of years before it was published, shows a house on the north end of the property but no house is identified within the subject site.

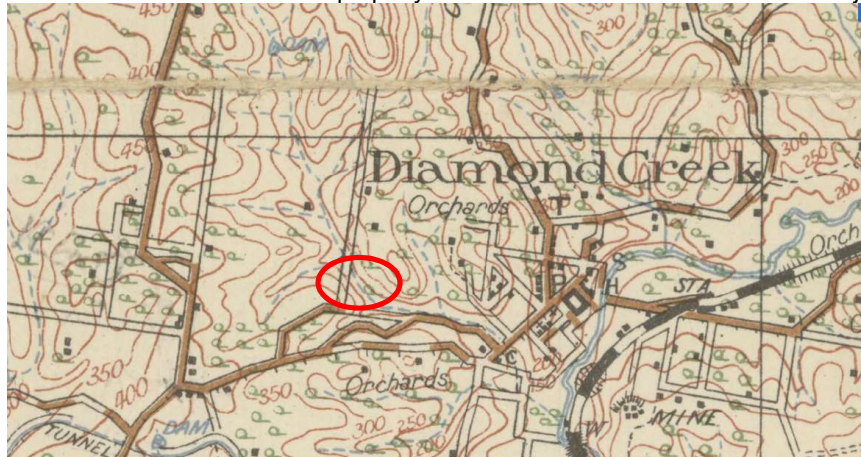


Figure 1: Extract of the plan of Yan Yean shows the locality of Diamond Creek in 1920. The subject site (indicated with red) was an empty paddock at that time. Source: National Library of Australia.

In 1920, the subject site (Lot 12) was purchased by Rose and Henry P Thomson, formerly of Mildura. Henry P Thomson, who was a merchant, had also been chairman of the First Mildura Irrigation Trust (*Mildura Telegraph & Darling & Lower Murray Advocate*, 15 October 1918: 4). The subject site, which the Thomson's named 'Larch Hill', was to be used as their retirement home. The property was described as "a beautifully situated property of some twenty-six acres – fine woods, no dust, no sand, no mosquitoes, and glorious wattle in every direction." (*Mildura Cultivator*, 28 August 1920:12). A new house was constructed within Lot 12 in c1920-22. The 1921- 22 rate book shows Harry Thomson as the occupier and Rose Thomson as the owner of Lot 12, comprising 20 acres with a house. This considerable increase in value indicates that a substantial new house had been built. Rose also owned 6 acres' part of a subdivision of Lot 18A, just to the west (RB 1922, 1923).

The Thomson's kept the orchard and it appears they employed others to run it. In 1923 they advertised for an orchard hand (*Age*, 10 February 1923:7). The Thomson's advertised for someone to plough 23 acres of orchard in 1931 (*Hurstbridge Advertiser*, 31 July 1931:5). In 1933 part of the property was advertised to let, with a house of 6 rooms and a cottage





of 3 rooms adjoining, and land of 1-4 acres (*The Age*, 27 July 1933:14.) By early 1934 the Thomson's had moved to Caulfield (*Table Talk*, 25 January 1934:44).

In August 1936 James Murphy purchased the land. He died in October 1953, and probate went to Harriet Charlotte Murphy in 1954 (*Age*, 14 August, 1943:4). In 1959 the property was sold to Charles Eric and Rae Constance Holland. Rae became the sole owner in 1967. The land was subdivided in 1971(CT: V4196 F139).

### **Description & Integrity**

The site is a large block and is marked by a combination of timber and stone fencing. A circular driveway, which is access via Hillmartin Lane, is located on the southern section of the property, leading to a c1920s weatherboard bungalow and an outbuilding. Mature trees and vegetation spread across the property.

The bungalow comprises a rectangular plan form with a narrower west extension. The bungalow is dominated by a tall hipped roof form (with later cladding). The north and south falls are each featured by a simple brick chimney, with a gabled section projects forward on its southwest elevation. The bungalow features a wide encircling verandah with timber posts and fretworks. On the west elevation, the verandah shelters a pair of French windows on the southern section, and a prominent sash window with sidelights.

A later swimming pool is located to the north of the bungalow.



*Figure 2: The front elevation of the built form. the projecting gabled section is located on central left and is partially concealed by a mature tree. Source: Trethowan Architecture, 2022.*





*Figure 3: The rear (north) elevation of the built form. Note the continuation of the verandah. Source: Trethowan Architecture, 2022.*

### Comparative Analysis

The house is one of only a few grand country residences constructed in the Shire. Although built on an existing orchard, this was more of an upper-class country residence constructed specifically as a retirement home for a wealthy former merchant. The house was built 1920-22 for the Thomson's who were retiring from Mildura. The significance of this property relies on its intactness as a grand bungalow residence from the 1920s. This intactness can only be confirmed from a site inspection. The interest is as a substantial retirement house/hobby farm of a wealthy family.

There are only a limited number of known examples of substantial country residences built for wealthy owners in the earlier period of the Shire (1880s – 1930s). Compared to these, the subject property displays similar dominant hipped roof forms, deep verandahs and bay windows.

Linton Grange, 55 Chapel Lane, Doreen (recommended for the HO) is historically a rare and unusual site in the Nillumbik Shire as it is the only known example of a 'country seat' property of a wealthy Melbourne family who lived between the city and country. It is also a rare example of a wealthy estate dating from the Victorian period and operating a successful cattle stud.





*Figure 4: Extract of an image (dated June 2016) shows the built form of 55 Linton Grange, Doreen. Source: domain.com.au*

Villa Beraguardo, 32-36 Perversi Lane, Diamond Creek (recommended for the HO). Constructed in 1924, the property was initially used as a weekender up until 1929 and is an uncommon example of country residence constructed for a wealthy Melbourne family who were not dependent on living off the land.



*Figure 5: Image dating 2021 shows the front view of Villa Beraguardo. Source: domain.com.au*





### Assessment Against Criteria

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.

*CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).*

The property is of historical significance for the grand 1920s bungalow residence constructed as a comfortable retirement home. Rose and H.P Thomson purchased the property in 1920 and built the house as a retirement home. H.P was originally a merchant of Melbourne and by 1918 he was the chairman of the First Mildura Irrigation Trust. The property also has associations with the orcharding industry in the area. Maurice Fitzgibbon with his wife Constance, established substantial orchards on the property between 1911 and 1913.

*CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).*

N/A

*CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).*

N/A

*CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

N/A

*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

The house on the property is of aesthetic significance as an elegant 1920s weatherboard bungalow with dominant main hipped roof and surrounding deep verandah with delicate arched fretwork valence and bay windows.

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).*

N/A

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).*

N/A

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance).*

N/A





### Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

### Recommended HO Extent



Proposed Extent for 2 Hillmartin Lane, Diamond Creek

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>External Paint Controls</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	No
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	No
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	Yes
<b>Aboriginal Heritage Place</b>	No





<i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	
--	--

**Identified By**

Samantha Westbrooke Pty Ltd, Dr Peter Mills and Trethowan architecture





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Land Victoria, Certificates of Title (CT), as cited.

*Mildura Cultivator*, as cited.

Shire of Heidelberg Greensborough Riding Rate Books (RB), as cited.

*Table Talk* (Melbourne), as cited.



Response No:  
20

Contribution ID: Letter

Member ID:

Date Submitted: 07 August 2023

Details

17 Koornong Cres in North Warrandyte

Stage B - 11

HO304

Objection





**Title:** House, 17 Koornong Crescent, North Warrandyte

**Prepared by:** Trethowan Architecture

**Address:** 17 Koornong Crescent, North Warrandyte

<b>Name:</b> Souter House	<b>Survey Date:</b> 20 January 2022
<b>Place Type:</b> House	<b>Architect:</b> Bruce George Souter and possibly P Packer or Douglas Shannon
<b>Grading:</b> Locally Significant	<b>Builder:</b> McAuley Brothers (stonemason)
<b>Extent of Overlay:</b> to the title boundary	<b>Construction Date:</b> c1953-57



### Historical Context

Warrandyte was the site of the first registered goldfield in Victoria in 1851, when gold was discovered in Andersons Creek (now located within the Warrandyte State Park). It became established as a thriving small township, comprising mainly miners, orchardists and farmers (Warrandyte Historical Society, n.d). Around the beginning of the 20th century Warrandyte became a haven for artists, architects and sculptors. The undulating and verdant region caught the eye of Heidelberg School painters in the early 1900s. In 1908, artist Clara Southern, who was part of the School, took up residence in the Warrandyte township and formed an artistic community, which included artists Penleigh Boyd and Louis McCubbin (Warrandyte Historical Society, n.d). It was soon followed by a group of artists, craftspeople and design professionals, including sculptors Danila Vassilieff and Inge King, potters Reg Preston and Gus McLaren; furniture designer Fred Lowen, and architects Fritz Janeba and John Hipwell (Reeves & Snape, 2020). The area also attracted day trippers and holiday makers, who were allured by the tranquil river scenery and bushland surrounds. Its reputation for striking river scenery was further enhanced with the establishment of the Warrandyte State Park in 1975 (Warrandyte Historical Society, n.d).

During the post-war era, the bush landscape gradually punctuated by innovative, architect-designed dwellings. Their designers included Hipwell, Janeba, Marcus Barlow, Robin Boyd and John and Phyllis Murphy. Many of these houses, however, were destroyed in the 1962





bushfire. However, the incident also paved ways for a new wave of considered housing development in the ensuing decades (Reeves & Snape, 2020).

### History

In 1887, Richard Cornwall Lee, a miner in Warrandyte, was granted 16-acres of land, forming part of Crown Allotment 24A, Section 4A of the Nillumbik Parish (CT: V2143F551). The land remained the property of Richard Lee and his family until 1937, when the land was purchased by Joseph Clive Nield, a school teacher (CT: V2143F551). With his wife Janet, Joseph Clive Nield (known as Clive Nield) established an alternative school on the site. The school opened in 1939 and contained buildings designed by architects including Fritz Janeba and Acheson Best Overend (Reeves, 2000). However, due to financial difficulty, the school was closed by c1946 (Victorian Collections, 2019). In 1947, the site was temporarily leased to a war widow's trust and used as a retreat for war widows (A Colsten, pers comm 11 March 2022). In 1949, the property was bought by real estate agent Albert Robertson, who subdivided the property into several small allotments and sold them to individual buyers in 1950 (CT: V2143F551). At that time, some of the allotments still contained the original school buildings. (A Costen, pers comm 11 March 2022). Most of the buildings were later destroyed in the 1962 bushfire.

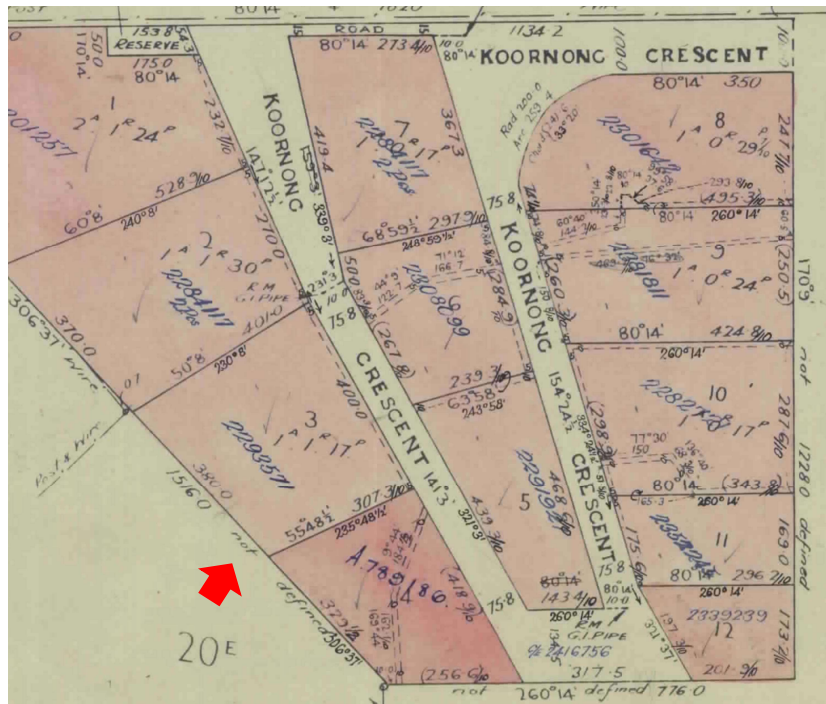


Figure 1: Extract from Certificate of Title F2143F551 showing the subdivision of the former Koonong School site in 1950. The subject site is indicated with a red arrow. Yarra River is located on the right. Source: Land Victoria.

In 1950, Lot 3 of the subdivision, which was to become 17 Koonong Crescent, was purchased by George Bruce Souter (aka Bruce Souter), a former army officer (NAA: B883: Army, 2nd AI F) and engineer from Adelaide (CT: V7740F131). He bought the property with the intention to build a family home for him and his wife, Leila Margaret (known locally as Lee Souter). At the time of purchase, Lot 3 was reportedly to be the only vacant block that contained no structure of Koonong School (Lee Souter, 2010).





The house was constructed within Lot 3 in c1953-57 and the stone footing and wall were built by the McAuley Brothers, a local stonemason (A Costen pers comm 11 March 2022), using stones quarried from Lilydale (Souter, 2010). According to a 2010 interview with Lee Souter (c1910-2010), in essence, the concept of the residence was developed by Bruce Souter, but he sought assistance of an architect named P Packer to realise the project (Souter, 2010). As no further information of Packer is available, it remains unclear whether he had in fact involved in the design of the Souter residence and whether he designed any other buildings in Nillumbik Shire or across Victoria. According to the Warrandyte Historical Society, another possible architect was Douglas (Doug) Carmelo Shannon. Shannon, who had also served in the Australian Imperial Army during WWII (NAA: B883: VX102752), was a resident at Kangaroo Road and purportedly an acquaintance of Bruce Souter (Warrandyte Historical Society, pers. comm 25 March 2022). Similarly, no documentary evidence has been retrieved to verify Shannon's involvement with the Souter residence.

The original house comprised a linear plan with a slight bend at the centre, as to mimic the shape of a boomerang (Souter, 2010). The north and south elevations feature window walls, comprising prominent timber mullions. The residence escaped the 1962 bushfire, which destroyed many buildings in Warrandyte and surrounding areas. The Souter's also constructed a swimming pool to the southwest of the house. In 1972, the Souter's made further alterations and additions to the house to suit their living requirements. These included the conversion of an eastern garage to a bedroom. The roof form was also extended further eastward to create a carport. Further extension was added on the south to create more internal space. The additional stone wall and the footing for the south extension were likewise constructed by the McAuley Brothers using the same stones (A Costen pers. comm. 11 March 2022).



Figure 2: Aerial photo dates 1971 shows the original footprint of 17 Koornong Crescent. The swimming pool (indicated with an arrow) is visible (indicated with a blue arrow). Source: Landata



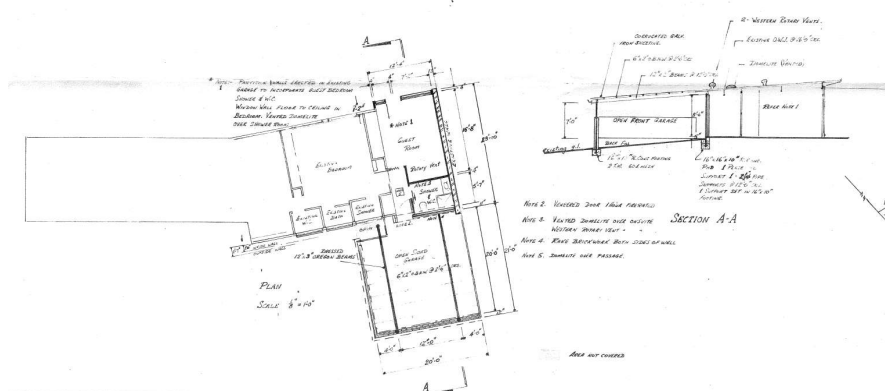


Figure 3: Plan drawn by J Lawler in June 1972 shows the alteration and addition to the residence. The existing carport is converted into an additional guest bedroom. Section plan on the right shows the additional carport extension at south. Source: Andrew Costen.



Figure 4: The 1970s addition and alteration saw the conversion of a former garage into an additional room (indicated with red). The work also involved the creation of an additional carport (indicated with yellow). Source: Trethowan Architecture, 2022.

After Bruce's death in c 2000s, Leila Margaret continued to live in the house until her death in 2010. In 2014, the house was purchased by Andrew Costen, a marine scientist (A Costen, pers. comm 11 March 2022).

### Description & Integrity

The subject site is located on the west of the west branch road of Koornong Crescent. The property is a sizeable block that slopes downhill on the southwest. The site has no fence is marked by mature trees and vegetation.





Figure 5: Aerial view shows the subject site at 17 Koorong Crescent. Source: VicPlan 2022.

The subject site comprises a single-storey brick and timber residence constructed in c1956. On the south, the residence is supported by stone foundation, which elevates the house to the street level on its north (front) elevation. The residence comprises a predominantly linear plan, with a slight offset at the centre, on an east-west axis. It comprises a flat-roof form with corrugated iron cladding. Its wide eaves extend forward on the west and south elevations to create a covered deck area. The north elevation features vertical timber wall cladding, dominated by two large set of window and door openings, with fanlights, at the centre. The window openings are marked by large expanse of glazing and prominent timber mullions. To their east, a former garage was converted to an additional bedroom, which is dominated by a pair of large windows with fanlight, similar to the design of the existing. To their west, three rectangular timber-framed window openings punctuate along the upper section of the wall. The windowed walls dominate both the west and south elevations.

On the east, the elevation is featured by rubble stone wall. The south section of the wall is a c1970s extension, constructed with the same rubble stones by the same stonemason. As part of the c1970s work, the flat roof form is extended further southward to create an additional carport. To its west, the residence comprises a c1970s brick extension, overpainted dark brown. To its east, the roof form is extended forward to create an additional carport.



Figure 6: Image shows the north and west elevation of the residence. Source: Trethowan Architecture, 2022.



Figure 7: The windowed walls of the south and west elevations. Source: Trethowan Architecture, 2022.





Figure 8: The east elevation of the residence. The south (left) section of the wall is a c1970s extension. Source: Trethowan Architecture, 2022.



Figure 9: The brick extension (left) and the additional carport (right) located on the southeast of the residence. Source: Trethowan Architecture, 2022.

To the southwest of the residence is the location of a c1960s swimming pool. A brick bunker is located on the east end of the swimming pool.



Figure 10: The c1960s swimming pool located on the southwest of the property. Source: Trethowan Architecture, 2022.



Figure 11: the bunker located to the east end of the pool. Source: Trethowan Architecture, 2022.

### Comparative Analysis

International Style began to make a worldwide impact after World War II, prompting a unified building style worldwide. Despite this, the International Style also began to develop some recognisable regional variations. In Australia, almost every capital city had developed its own style, which were based on the interpretation of modern architecture of architects in the respective cities and states.

The concept of a Melbourne Regional Style emerged in 1947 in Robin Boyd's publication *Victorian Modern*. Architects worked in the style campaigned for the simple elegance offered by the International Style, while developing a regional architectural language that could be easily understood by the average citizens. Melbourne-Regional-Style houses were mostly residential and located in Melbourne's outer suburbs or in the bush (Apperley et al, 1989:218), such as in Warrandyte and Eltham. The reason for this maybe that the young architects had difficulty understanding Melbourne's urban environment in the aftermath of WWII and chose these areas to express their architectural ideas (Goad, 1992:2/30). The houses were typically narrow, linear, single-storey dwelling with a low pitched gable roof, exposed rafters and wide eaves. Walls were generally bagged or painted brick and contain large areas of glass with regularly spaced timber mullions.

As the 1950s progressed, larger, more expensive versions of the style began to appear in the more affluent suburbs in Melbourne and the flat-roof house with the wide, overhanging eaves became more acceptable.





In Shire of Nillumbik, several houses have been constructed with similar style during the 1960s. Comparable examples include:

Comparable examples include:

***Nichol House (HO 103) at 49 Kangaroo Ground-Warrandyte Road North Warrandyte***

The house, built in 1949, is historically and architecturally significant as one of six notable houses in the Warrandyte-Eltham area designed by the prominent architect Robin Boyd between the 1940s and 1960s. It is a rare, early and notable example of Australian Modernist domestic architecture. It is also a relatively early example of Boyd's work (Criteria B, F & H). The house is historically significant for its association with the active artistic community of the Eltham-Warrandyte area (Criterion H). The house features a linear plan and windowed walls, featuring dominant window openings with prominent timber mullions, vertical timber cladding and stone chimney. The built form shares similar design approach, material and colour choice with 17 Koornong Crescent, confirming a strong influence of Melbourne Regional Style initiated by Boyd.



Figure 12:: front elevation of Nicol House, featuring prominent rectangular window forms and vertical timber cladding. Source: Realestate.com.au, c2010s.



Figure 13: The windowed wall of Nichol House. Note the similar approach to window design shared by 17 Koornong Crescent. Source: realestate.com.au, c2010s.

***Handfield Residence(HO83) at 16 Homestead Road, Eltham***

The house, constructed in 1960, is another architecturally significant residence designed by Robin Boyd after he returned from lecturing tours in Japan. The house is noted for its incorporation of traditional Japanese design and features modular wall arrangements, solid and glazed panels and sliding exterior doors and because the courtyard planning, floor to ceiling glass walls and the combination of single and double storey sections on the steep site illustrate





quite advanced dwelling design for the time. Despite its Japanese influence, the characteristics of Internationalism and Melbourne Regional Style remain clearly legible.



Figure 14. Image dated c1992 shows the double-storey elevation of Handfield Residence. Source: Nillumbik Shire Heritage Study, 1992.



Figure 15. The courtyard setting of the Handfield Residence in c1998. Note the glazed panels that clad the entire elevation. Source: realestateview.com.au.

***Wright House (HO105) at 84 Kangaroo Ground- Warrandyte Road, North Warrandyte***

The house, constructed in 1964, is another Robin Boyd design in the Shire of Nillumbik (Criteria B, D, F & H). It serves as a notable example of Australian Modernist domestic architecture. The house is set on two levels and featured exposed oregon beams and bagged and painted surfaces evoking the Eltham mud-brick era (Criterion F). It comprises the simple, rectangular plan and built form, windowed wall featuring large windows with timber mullions, and wide projecting eaves. The design approach and material choice are similar to *Nichol House* (HO103) and 17 Koorngong Crescent. This example has once again highlighted the strong influence of Melbourne Regional Style on the design of 17 Koorngong Crescent.

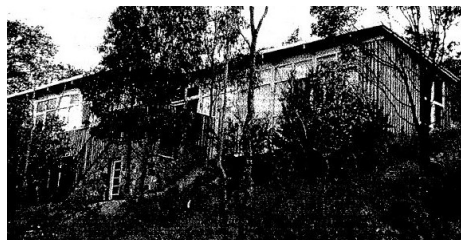


Figure 16: Wright House at 84 Kangaroo-Warrandyte Road. Note the rectangular built form and windowed walls. Source: Nillumbik Shire Heritage Study, 1997.



Figure 17. Wright House in c2012. Source: domain.com.au, 2012.

***'Tarrangower', 30 Koorngong Crescent, Warrandyte North (Recommended for an HO)***

The c1965 house, which is located just to the south of the subject site, is a comparative example in terms of its historical and architectural/ aesthetic significance at a local level. Historically, the house is associated with discharged army officers who were seeking to establish a new life in the Shire of Nillumbik after their military experience. Designed by Albert William Ross, a former employee of Grounds Boyd and Romberg, 'Tarrangower' is aesthetically significant as a piece of residential architecture that perpetuates the Melbourne Regional Style within the Shire of Nillumbik. Similar to the subject site, 'Tarrangower' is a purposefully-built residence to the former servicemen that chose to settle in Warrandyte North and is therefore socially significant to the Shire of Nillumbik.





Figure 18: 'Tarrangower' located at 30 Koornong Crescent, which demonstrates the influence of Melbourne Regional Style. Source: Dianna Snape, 2020.

The comparative analysis indicates 17 Koornong Crescent is a 1950s example of Melbourne Regional Style. Comparison with residences of a similar period and style indicates that the house has been influenced by the Style and in particular, by the design of Robin Boyd. While the identity of the architect cannot be established, the residence is aesthetically, historically and socially significant as a purposefully-built Melbourne Regional Style residence for a former serviceman and his family, who chose to settle in the Shire of Nillumbik during the post-war era.

#### Assessment Against Criteria

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.

**CRITERION A:** *Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).*

The house at 17 Koornong Crescent is a good example of an early residence that marks the beginning of the post-war residential development in the former Koornong School site in the 1950s. It is one of the early residences constructed in the Melbourne Regional Style, which was a prominent feature of the post-war housing style in the Shire of Nillumbik. The residence, constructed by local stonemasons, was a bespoke designed home for a former serviceman and his family that chose to settle in the Shire of Nillumbik after the Second World War. As such, the residence demonstrates the changing requirements and style of residential development in the area in the post-war period as new, non-farming residents and ex-servicemen and their families moved into this area.

**CRITERION B:** *Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).* N/A

**CRITERION C:** *Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).* N/A

**CRITERION D:** *Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).* N/A





*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

17 Koornong Crescent is of aesthetic and architectural significance to the Shire of Nillumbik as an early example of a home designed for its bushland setting and location, influenced by the Melbourne Regional Style. The house demonstrates characteristic features such as the flat roof, broad eaves, window walls, incorporation of timber cladding and rockwork, and the particular plan elongated to follow the curve of the terrain. The rock wall element was constructed and extended by local stonemasons.

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance). N/A*

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance). N/A*

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance). N/A*

#### **Grading and Recommendations**

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>External Paint Controls</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	No
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	No
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	No
<b>Aboriginal Heritage Place</b> <i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No

#### **Identified By**

Trethowan Architecture





## References

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Response No:  
21

Contribution ID: Letter

Member ID:

Date Submitted: 03 August 2023

Details

920 Yan Yean Road Doreen

Stage B - 34

HO327

Objection



### Post Office and General Store

Prepared by: Trethowan Architecture

Address: 920 Yan Yean Road, Doreen

<b>Name:</b> Post Office and General Store	<b>Survey Date:</b> February 2022
<b>Place Type:</b> Commercial	<b>Architect:</b> Not known.
<b>Grading:</b>	<b>Builder:</b> Not known.
<b>Extent of Overlay:</b>	<b>Construction Date:</b> 1932-33



### Historical Context

Doreen was established as an orchard district in the mid to late nineteenth century and was originally known as Linton as it was within the Parish of Linton. Several families have been associated with the district from the mid-nineteenth century: the Reids, the Bassetts, Herbert Brocks, Lobbs and Creightons are among them.

The first Linton (Hazel Glen) Wesleyan Chapel and Sunday School was built in 1863, located across Chapel Lane from the site of the existing church (Draper 2012). In 1867, Doreen's first school, a non-vested Common School, was established on the south side of Chapel Lane. The school also became the location of Doreen's first Postal Office, which operated from a room in the teacher's residence until as late as 1894 (Payne 1989:3). The school became Common School No 945 in 1868 and was purchased by the Colonial Government in 1873, turning it into a State School (Payne, 1989:7). The school was moved to the current site on the north side of Doctor's Gully Road in 1895 (Doreen Primary School, accessed 2015). From the 1870s onwards, the crossroads of Bridge Inn Road and Yan Yean Road has been the town centre of the district. In 1895, despite the opposition of the local community, the Post Master General had renamed the area 'Doreen' (Age, 15 June, 1895:7).





Doreen was becoming a more substantial locality by 1908, with greater emphasis being placed on the corner where the stores were located and a new recreation reserve and hall diagonally opposite to the stores. In 1909 when the hall was opened the local paper announced that "a few years ago the place was scarcely known; now it blossoms out as a leading place of the Shire" (EO&BER, 19 November 1909:2).<sup>41</sup> In 1908 arrangements were being made for a telephone connection between Yan Yean and Doreen (EO&BER, 17 April 1908:2).

During the 1920s Doreen was a frequent stopping place for excursionists and the cross roads remained the centre of social activities for the predominantly fruit growing district.

### History

In 1873 John Cornell purchased 10 acres, being the eastern half of Lot 4 Section A Parish of Greensborough, from Helen Cook(e). John Cornell's father William, who had obtained the adjoining 20-acre lot to the east (Lot 5) in 1871 through an occupation license, purchased the other 10 acres (the western half), which adjoined land he already owned (CT V517 F371; Greensborough Parish Plan)

Early references indicate that John Cornell may have opened a store on the south-east corner of the crossroads in the 1880s: In 1882 and 1883 the Whittlesea Shire discussed road works near "Cornell's store" (EO&S&EBR 16 December 1892:2; 18 May 1883:3). By 1897 the term 'Cornell's corner' was in use (EO&S&EBR 27 August 1897:2). In July 1901 John Cornell advertised a store of four rooms and six acres of land to let at seven shillings per week (Age 19 July 1901:3). At his death in September 1901, John Cornell was living with his sister Elizabeth and brother-in-law William Christian in Doreen (EO&BER 27 September 1901:2).

The post office was transferred from the school residence to the store in 1902. In the same year, as a result of Cornell's death, ownership of the 10-acre property with store went to Cornell's sister Elizabeth Christian (CT V587 F331). John Adams was the postmaster from 1903-5, and John Davis followed until 1908. During Davis' tenure the store was destroyed by fire and rebuilt (Payne 1989:34). It is possible that the existing residence adjacent to the current store was built at this time as it appears to date from this period.

The next long-term storekeepers, Mr Robert William Atkinson and his wife Georgina (Patterson), appear in the record around 1909 (EO&BER 14 May 1909:2). By March 1917, when the Atkinson's announced they were retiring from the business, the store had become a stopping point for excursionists from the city. The Atkinson's were described as "an agreeable and willing authority on the most accessible routes to the sylvan beauty spots located for many miles around for pleasure seekers." The local paper reported on the widespread local expressions of regret from customers and the public at their departure, stating that "Mr and Mrs Atkinson...will be greatly missed in their public capacity at this centre, which is a convenient calling place for many." During the war they had also been active workers for the local Red Cross Society, and the store had been made available as the receiving depot for donated articles (EO&BER 16 March 1917:2).

The next few years saw another succession of short-lived occupations of the store at the corner. In 1917 Mr Henry Gilbert Gentry, late of Clarinda Post Office, purchased the general store business "consisting of Groceries, Crockery, Ironmongery, Produce, Drapery, Haberdashery, etc." The post office, telegraph and telegram services were also conducted from the store (E&WSA&DCVA 6 April 1917:3; EO&BER 9 March 1917:3; 30 March 1917:2).

Elizabeth Christian's oldest daughter Mary and her husband Evan Owens took over the store next, as Owens was described as the postmaster and storekeeper in 1924 (Payne





1989:34; *Advertiser* (Hurstbridge) 16 May 1924:2). Telephone poles were installed between the store and 'Reid's Land' in 1924/5 (*Argus* 9 December 1924:11). The increasing number of excursionists from the city was indicated by calls in 1927 for a "fingerpost" at the post-office corner; it was also noted that "every Sunday many motorists stop to inquire the destination of each of the four roads radiating from there" (*Advertiser* (Hurstbridge), 7 October 1927:2).

In 1931 Elizabeth Christian subdivided the 10-acre lot she had inherited from John Cornell. Evan Owens purchased a quarter-acre portion on the corner, including the store (CT V5756 F049; V5756 F050). Owen's ownership of the freehold coincides with the rebuilding of the current post office store in 1932/3. The adjacent storeroom was likely part of this new building. During construction of the new brick store, a wall collapsed and crashed onto the road (*Age* 23 December 1932:10; *Advertiser* (Hurstbridge), 6 January 1933:4).

In 1934 Mary Owens died at the age of 37 (*Advertiser* (Hurstbridge) 5 January 1934:1). In the same year Evan Owens became a councillor for the Morang riding of the Whittlesea Shire (*Advertiser* (Hurstbridge) 14 September 1934:6; 5 October 1934:3). He also secured the contract for carting mail between Mernda and the Doreen post office (*Advertiser* (Hurstbridge) 29 June 1934:4).

When the Doreen Bush Fire Brigade was formed in 1942, Mr Owens was the first president, and equipment was stored at the Post Office store (*E&WSA* 16 January 1942:2; 6 February 1942:4). By 1941 a Mrs Mitchell was running the post office (*E&WSA* 31 October 1941:1). Between 1945 and 1991, the property changed ownership numerous times (CT V5756 F050; CT V7594 F166).

### **Description & Integrity**

The Doreen General Store and Post Office consists of a corner brick shop building, a brick storeroom constructed in 1932-33 to the south, and a weatherboard residence attached on the east side. The residence dates from the early 20th century (c1908). The site is located on the south east of the intersection of Yan Yean Road and Doctors Gully Road.

The shop and residence are contained under one large, low-slung Dutch-gabled roof that runs on an east-west plane. The shop projects further north from the façade of the house to meet the corner of the intersection (Figure 1). This front projection is contained under a hipped roof. The roof form indicates that part of the store actually dates to the earlier period, and the front corner section and brick walls form the part of the building erected in 1932-33.





Figure 1: An aerial view of the site. The front projecting section of the corner store is highlighted in green; residence in yellow; and storeroom in red. Source: Google Maps.

The shop has a splayed corner and the entry door is located on this splay. Above the door is a small window (Figure 2). On each road elevation is a large shop window of the same size. The shop building has simple brick parapet with projecting brick courses on both elevations; original lettering is evident on this parapet as well.

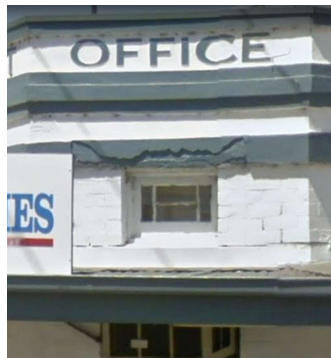


Figure 2: A view of the small window above the doorway on the corner splay. Source: Google Maps.

The brick wall continues further south for the store building, however the parapet is lower along this section. The storeroom is contained under a gable roof that runs north-south. The storeroom has a single door on Yan Yean Road closest to the corner store, with two windows to the south.

The timber residence with weatherboard cladding has a frontage to Doctors Gully Road. The roof has deep eaves around the residence, with exposed rafters. There is a small,



central recessed veranda on the front façade, with a later bay window to the side. A simple chimney is also evident (Figure 3).



Figure 3: A view of the residence. Source: Google Maps.

### Comparative Analysis

Post offices were integral to rural communities, as the primary method of communication for many. In rural settings such as the small towns in the Shire of Nillumbik, post offices were often combined with another integral commercial function, such as a general store. It was common for a residence to be attached for the postmaster and storekeeper.

This site is a rare surviving building on the central crossroads of Doreen, and demonstrates the early social, commercial and civic centre of the Doreen township. At its height, the intersection was home to was a blacksmith to the east of the general store and residence, another store across the road that closed around c.1910 and a public hall and recreation reserve on the diagonally opposite corner.

The subject site is an important surviving example of a Post Office and General Store located in what was the social centre of the town. Other examples within Nillumbik of early commercial buildings with a Post Office function that are in the Heritage Overlay are as follows:

- Kangaroo Ground General Store & Post Office, 280 Eltham-Yarra Glen Road, Kangaroo Ground (HO48)
- Hurstbridge Post Office-Evelyn Observer Office, 794 Heidelberg-Kinglake Road, Hurstbridge (HO68)
- Old Store and Post Office, 910 Arthurs Creek Road, Arthurs Creek (HO179)





Figure 4. Kangaroo Ground General Store & Post Office, 280 Eltham-Yarra Glen Road, Kangaroo Ground (HO48)



Figure 5. Hurstbridge Post Office-Evelyn Observer Office, 794 Heidelberg-Kinglake Road, Hurstbridge (HO68)



Figure 6. Old Store and Post Office, 910 Arthurs Creek Road, Arthurs Creek (HO179)

The General Store and Post Office at 280 Eltham-Yarra Glen Road is historically significant as a centre of community life since c1900, including its use for Council meetings which were conducted in the front room of the store. The building is also aesthetically significant as one of a group of three well preserved public buildings in the Kangaroo Ground hamlet.

The post office and former newspaper office at 794 Heidelberg-Kinglake Road is historically significant because it was constructed for the local newspaper, the Evelyn Observer. The office is historically and socially significant because it has served as a post office since 1930 and is an important component of a group of pre-1950s structures in this part of the town.

The former store and post office at 910 Arthurs Creek Road is significant as a well-preserved building and early within Arthurs Creek, and for its rare shopfront detailing. The building is considered as contributing to the significant historic landscape of the town.

Although united by their similar functions as post offices with secondary commercial functions, the subject site is distinctive among these examples for its prominent corner siting and brick construction. The subject site is similar to the Arthurs Creek example for its attached residence.

All three comparative example are constructed in timber, which is reflective of the modest town development that occurred in the Victorian and Edwardian periods. The choice to erect a prominent brick store front indicates a level of prosperity for the locality and the site's prominence in the town setting. Aesthetically, the subject site is also set apart from the comparative examples by its restrained design with Moderne influences, evident in the parapet brick courses and lettering.





### Assessment Against Criteria

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.

*CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).*

The Doreen Post Office and General Store is historically significant as an early social centre for the township of Doreen. The site has functioned as the Post Office since 1902, however the current shopfront dates to the 1932-33. The building also has associations with the tourism history of the Shire, as from the late nineteenth the General Store facilitated excursionists from the city on their way to points of interest in the district. It is one of only a few surviving premises that evidence the early township of Doreen at this key intersection, with other early buildings having been demolished.

*CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity).*

*CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential).*

*CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*

The Doreen Post Office and General Store is significant as an example of an interwar brick corner commercial building with earlier attached residence. The prominent corner location on an important intersection demonstrates the Post Office and Store's role in the life of the town. The shopfront shows elements of the Moderne style, and retains details including the original brick walls, parapet with cornice, corner entry and shop windows. The residence retains its original roof form, weatherboard walls and front veranda.

*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).*

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).*

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance).*





### Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>External Paint Colours</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	No
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	No
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	Yes
<b>Aboriginal Heritage Place</b> <i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No

### Identified By

Mills & Westbrooke





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*Argus*, as cited.

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[https://webarchive.nla.gov.au/awa/20170218044436/http://www.doreenps.vic.edu.au/general\\_history.htm](https://webarchive.nla.gov.au/awa/20170218044436/http://www.doreenps.vic.edu.au/general_history.htm) accessed 25 March 2022

Draper, 2012, *Arthurs Creek Mechanics' Institute*, Mechanics' Institute Inc., Arthurs Creek.

*Eltham and Whittlesea Shires Advertiser and Diamond Creek Valley Advocate*, as cited.

*Evelyn Observer and Bourke East Record (EO&BER)*, as cited.

*Evelyn Observer and South and Bourke East Record (EO&S&EBR)*, as cited.

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*Mornington Standard*, as cited.

Payne, J.W. 1989, *The Quiet Hills Doreen (Vic.)*, J.W. Payne.



Response No:  
22

Contribution ID: Letter

Member ID:

Date Submitted: 07 August 2023

Details

570 - 576 Main Road, Eltham

Stage A - 04

HO276

Support with changes



## Part of 570 Main Road, Eltham

### Diamond Valley Miniature Railway

<b>Prepared by:</b> Context	<b>Survey date:</b> December 2020
<b>Place type:</b> Recreational	<b>Designer:</b> -
<b>Significance level:</b> Significant	<b>Builder:</b> Members of the Diamond Valley Miniature Railway
<b>Extent of overlay:</b> Refer to map	<b>Major construction:</b> 1961-1974



Figure 1. Photograph of the main railway station. (Source: Context 2020)



Figure 2. Main railway station building of the Diamond Valley Miniature Railway. (Source: Context 2020)



## HISTORICAL CONTEXT

This place is associated with the following historic themes taken from the *Nillumbik Shire Thematic Environmental History* (2016):

### 5 BUILDING NILLUMBIK'S WORKFORCE

#### 5.1 Catering for tourists

*In the 1920s Mack Clinton initiated an unusual effort to attract tourism to Christmas Hills when he established a 'pleasure ground' named Rob Roy on his property at Watsons Creek. Clinton kept a Shetland pony stud and offered picnic facilities for those who motored up from the city during the day. Seeing further possibilities for visitors, in 1935 he invited the Light Car Club of Australia to use the property for hill climbs. By 1939, the rally track was sealed with bitumen and, with the exception of the war years, the club continued to hold meets there until 1962, when a bushfire destroyed many of the facilities (Mills & Westbrooke 2016:64).*

*The Diamond Valley Miniature Railway Club was founded in 1960 with equipment relocated from the closed Chelsworth Park Railway (located in Ivanhoe, Melbourne). The original main line at Eltham was completed on August 17, 1961 at 0.52 kilometres (0.32 miles) long. Numerous developments, extensions and improvements took place in the years that followed. In the mid-1960s the original 1" x 1/2" steel rail was replaced with 14 lb per yard rail recovered from disused quarries, railways and tramways. The main line was significantly expanded in the 1980s down to the edge of Eltham Lower Park (called the outer circle) within sight of Main Road and of passing motor traffic. The full main line is now 1.92 kilometres (1.21 miles) long and takes about nine minutes to complete a journey, passing through two tunnels and over a number of bridges. The line runs over, under and beside itself in a twisted and folded loop. There are the equivalent of 111 points and crossings in the track work. In the 10 years after it opened, the railway carried 250,000 passengers. By 12 June 2011, after almost 50 years of operation, it had carried 3,000,000 passengers (Mills & Westbrooke 2016:64).*

## LOCALITY HISTORY

Eltham, situated in hilly country northeast of Melbourne, is located on the country of the Wurundjeri-willam clan of the Woi wurrung, one of the five tribes of the Kulin Nation. A small, short-lived reservation south of Eltham on the Yarra River was set aside for Aboriginal people in 1852. The area is situated near the junction of the Yarra River and its tributary, Diamond Creek.

Pastoral settlers moved into the area from around 1840 and took up pastoral leases (Bartolomei 2008). It was located proximate to the track used by the Ryrie brothers to provide access between their 'Yering' run, near Yarra Glen, and the Heidelberg village (Victorian Places 2015). In 1841, William Bell and Thomas Armstrong occupied land for a squatting run east of Diamond Creek in what was to become the Eltham district (Eltham District Historical Society 2000: np).

A plan for 50 allotments in the Township of Eltham, Parish of Nillumbik, was announced in 1848, with the name officially gazetted in 1851. The township, near the junction of Diamond Creek and the Yarra River, was laid out in an area bounded by Baxter Street, Diamond Creek, Dalton Street and Bolton



Street. The township plan shows that a track to a bridge across Diamond Creek and Main Road was noted as the 'Track from Melbourne' (Butler 1996:32). This area is known today as Eltham South.

Present-day Eltham, however, was not established on the township reserve, where land proved difficult to sell. Instead, the town grew from allotments in Section IV of the Parish of Nillumbik located on Main Road, to the north of Dalton Street and the township reserve (Butler 1996:32). In 1851, Melbourne property developer Josiah Holloway purchased one square mile (or 5120 acres) of this land, which he subdivided immediately, calling the subdivision Little Eltham. The central area of current-day Eltham is contained within the Little Eltham subdivision. A number of large farming properties around the township were purchased from the early 1850s (*Nillumbik Parish Plan* 1951).

Eltham township grew during the 1850s around a cluster of buildings at the corner of Pitt Street and Main Road within the Little Eltham subdivision. Located on the road to the Caledonia goldfields, this small township became a service centre for the surrounding mining areas, and by 1854 supported a population of 282. In this period Eltham had two hotels, a brewery, and a scattering of shops along Main Road (known in the 1850s as Maria Street). The town had a steam flour mill operated by Henry Dendy, and a tannery was located on the Diamond Creek. The Little Eltham School, opened by the Church of England, was built in 1853 near Swan Street and closed in 1872. A second school, a national school (later Eltham Common School No. 209) opened in Dalton Street in 1856. A Wesleyan chapel opened in 1858. Public buildings constructed at this time included a courthouse and a police station in Main Road in 1860. The 'flat land', which is now the Eltham Lower Park, near the Yarra, was used as a racecourse (Kellaway cited in Butler 1996:32-33; Eltham District Historical Society 2000:np). A cemetery was established in 1858. The township and wider area was administered by the Shire of Eltham, established in 1856.

Between the 1860s and the 1880s, Eltham supplied food and produce for the goldmining communities of the Caledonia goldfields at Queenstown (St Andrews) and Panton Hill. It also became a stopping place on the route to the Woods Point diggings. Eltham's population grew in response (*Victorian Places* 2015).

A Primitive Methodist chapel was built in 1860. The following year St Margaret's Anglican Church, designed by the notable Melbourne architect Nathaniel Billing, was built. In 1881, a Wesleyan church was constructed by George Stebbing to the design of Melbourne architects Crouch and Wilson (Butler 1996:33). A new state school, constructed of local sandstone, opened in 1876.

Several large properties surrounding the township had absentee owners, who subdivided their properties into smaller farms either for lease or for sale. The smaller properties, especially in the Little Eltham township, were run by farmers who often made a modest living as wage labourers. Like many later Eltham residents, they were attracted by cheap land and the country life (Butler 1996:33).

In 1884 Eltham was described as:

*... a pretty little township on the Yarra Flats road ... It has a population of nearly 400 inhabitants, but in addition it is the centre of a large district extending over 208 square miles, having a population of 2344. The land in the district is mostly used for grazing purposes, although as a rule the small farms grow a good deal of wheat, oats and other agricultural produce. A large quantity of fruit, especially raspberries and strawberries, is also produced (Illustrated Australian News, 20 December 1884, cited by Carlotta Kellaway in Butler 1996:33).*

The *Australian News* noted that gold had been found in the vicinity of the township, 'but not in remunerative quantities' (cited by Carlotta Kellaway in Butler 1996:33).



In the 1880s agitation began for the extension of the railway line from Melbourne to Heidelberg to serve Eltham and districts further afield such as Kangaroo Ground. The railway station in Eltham opened in 1902, however the line was never extended to Kangaroo Ground. The railway brought excursionists from Melbourne, many of whom picked wattle during the flowering season, and focused development of the Eltham township around the railway station. Eltham was a picturesque village with the advantage of its proximity to metropolitan Melbourne and to attractive countryside with farms and uncleared stringybark forest (*Victorian Places* 2015). The bush scenery attracted artists, writers and nature-lovers.

In 1903 the *Australian Handbook* described Eltham as part of an orcharding and grazing district. In 1901, 4289 acres were under cultivation, of which 2506 acres were planted with orchards and market gardens. The township, with a population of 377, included a state school, a branch of the Commercial Bank, and Catholic, Anglican, Wesleyan Methodist and Primitive Methodist places of worship (cited in *Victorian Places* 2015). From 1909, rural properties were increasingly subdivided to create residential estates on the outskirts of the Eltham township (Mills & Westbrooke 2017:69).

The electrification of the railway line was extended to Eltham in 1923, eliminating the need to change to steam train at Heidelberg and allowing faster through-trains and shorter commuting times. The establishment of new residential estates in Eltham followed (Mills & Westbrooke 2017:71). Reflecting the town's growth, a higher elementary school was opened in 1926 (*Victorian Places* 2015).

Eltham was described in 1940 as 'residential, horticultural, dairying and grazing ... a beauty spot for artists and picnickers'. By this time, the town had three recreation reserves, swimming baths, tennis courts and a fire brigade (*Victorian Places* 2015).

Eltham has attracted a number of writers and artists over the years. The landscape painter Walter Withers (1854-1914) moved to Eltham in 1902 when the railway opened; other artists, including members of the Heidelberg School, painted in the area in the open air. Clara Southern and May Vale, landscape painters and students of Frederick McCubbin, settled in the region. Vale resided at Diamond Creek and Southern at Warrandyte (Bartolomei 2008). The war artist Will Longstaff also lived in Eltham for a period. From 1910, painter William 'Jock' Frater and cartoonist Percy Leason often camped and painted in the area. Artist Justus Jorgensen established the notable Montsalvat artists' colony buildings, on land he purchased in 1934. Seeking a closer engagement with the natural environment, the establishment of Montsalvat, with its adobe and rammed earth buildings, influenced future mudbrick construction in the area. Several local designers, including Alistair Knox, specialised in mudbrick housing in the postwar period (*Victorian Places* 2015). Others who have been inspired by Eltham and have made the Nillumbik region their home include landscape architect Edna Walling; authors Alan Marshall and Carolyn Van Langenberg; artists Clifton Pugh and Danila Vassilieff; composers and musicians Graeme and Roger Bell; jewellers and sculptors Michael Wilson, Simon Icarus Baigent and Matcham Skipper; writer CB Christensen; poet Chris Wallace-Crabbe; and actor Kerry Armstrong (Bartolomei 2008; Pierce 1987:354).

Eltham experienced significant postwar development with a number of residential estates subdivided and put up for sale. The population of the town increased steadily as a result. In 1933, only 927 residents were recorded in the town in 1933; this had increased to 7177 residents in 1971. As a result, Eltham High School opened in 1950 and the Catholic Ladies College was relocated to Eltham in 1971 (*Victorian Places* 2015). The Eltham War Memorial Trust Baby Health Centre opened in 1951. New shire offices opened in 1965, and Eltham College commenced classes in 1974 (Eltham District Historical Society 2000:np).



A distinctive style in local building emerged in Eltham in the postwar period, with a strong use of natural materials, low form structures, and an integration with the natural environment. Houses were often sited in bush gardens, especially after the 1970s. This style was also adapted to community buildings in the area, with the Eltham Library being constructed in mudbrick and recycled timbers in 1994 (Eltham District Historical Society 2019).

The Shire of Eltham became part of the Shire of Nillumbik in 1994, with a small area becoming part of the City of Banyule.

## PLACE HISTORY

The Diamond Valley Miniature Railway (DVR) is located on the Recreation Reserve, gazetted in 1913 on Crown Allotment 6G of the Eltham Township (*Eltham Township Plan* 1968).

The history below, derived mainly from *The Diamond Valley Railway Story* (1985), highlights only the main events in the development of the DVR.

The DVR is a 184 mm (7¼") gauge railway located in parkland close to Diamond Creek in Eltham. The aim of the DVR is to provide visitors the opportunity of building and running a real passenger carrying railway system in miniature. The railway operation and construction are based on, or as near as possible, that of the Victorian Railways, using scales of 1/6 full size for rolling stock; ¼ full size for signals and half full size for buildings. (May et al 1985:np).

The DVR was established at Eltham in 1960, after the closure of the Chelsworth Park Railway. The brainchild of Clem Meadmore, it operated for many years at Chelsworth Park, Ivanhoe, before flooding caused its closure in 1959. Infrastructure and rolling stock were later transferred to the Eltham site (May et al 1985:np).

A meeting, attended by Clem Meadmore, Ray Savage, Syd Gillies, Alan Calder, Jim Willcox, John Murdoch, Ron May and Olive Savage, was called in 1960 to discuss plans for the new site (May et al 1985:np).

The Diamond Valley Miniature Railway Club was formed in 1961 to take over the running of the railway. Members contributed funds to help the shed construction and the purchase of materials and equipment to keep the DVR running. The first club meeting was held on the 23 July 1961 at Ray Savage's flat. The first Committee was elected and consisted of: Clem Meadmore, chairman; Ray Savage, secretary; and Arthur Cowan, treasurer (May et al 1985:np).

*The Progress Engineering Company was commissioned to erect the railway's first substantial building after a loan was obtained from Alan Calder. It was a large, garage type building, measuring some 20 ft wide by 30 ft long and 8 ft high, clad in formed galvanised iron sheeting. Entry was gained by opening two sets of large swing doors. The 'shed', as it was known, was the railway's combined workshop, lunchroom, change room, kitchen, storeroom, clubhouse and Way & Works factory. Using voluntary labour, the shed floor was levelled, and work commenced on the laying of the original yards and sidings in front of the building. The permanent way earthworks were also formed (May et al 1985:np).*

The original track was ¾" x 3/8" mild steel, welded to plates which in turn were nailed down to 2" x 2" x 14" hardwood sleepers spaced at 10" intervals. Some of the track was laid on the old Chelsworth Park Railway's 2" x 1" redgum sleepers and rails. On 17 August 1961, the last section of the Mainline was laid. Wear and tear on the wheels caused by the narrow rail meant the track needed to be completely re-laid with 14 lb/yd rail in 1964-71 (May et al 1985:np).



The Chelsworth Bridge was lifted into position on the 10 August 1961 and work proceeded on the old station platform, construction of the wire fence and gates around the platform area, and packing and ballasting of the track (May et al 1985:np).

The first train journey open to the public took place on 29 October 1961.

The steep incline of the long bank and rear curve proved difficult for all locomotives, and it was decided to run trains in the opposite direction (anticlockwise). Extensive alterations and realignments were made to the track in 1961-62 and successful anticlockwise running was achieved. The railway has been run in that direction since. At the same time, a signal lever frame was erected at the arrival end of the station platform and oversized, three position, upper quadrant signals were installed to protect the workshops branch line stub point (May et al 1985:np).

In 1963, the red, green and blue box-and-plank passenger carriage rolling stock was repainted kerrin blue with gold trim and grey inside. The box seats were removed, and new core-stock sides were strengthened with angle iron and bars fitted to the footboards. Each carriage (or coffin car, as they were later known) was fitted with an upholstered seat across the middle to provide extra side support. A new driving car was built for locomotive S300 and another carriage was converted to a passenger/guards' van (May et al 1985:np).

In 1963 new signal frames were introduced and a new pipe and chain wire fence was erected around the workshop yards (May et al 1985:np).

The first tunnel, approximately 16 ft of 6 ft diameter reinforced concrete pipe, was installed in 1965 and the viaduct bridge was built in 1966. In the same year, new signals were constructed for the old station area and the main line point was converted to hydraulic operation (May et al 1985:np).

By 1968, work had commenced on the new station and platform. Signal boxes were erected in 1969-71 and in 1969 the tunnel was extended in length from 16 ft to 88 ft. The tunnel ends were finished off with framing portals (May et al 1985:np).

Work on a new ticket office commenced in 1971 and in the same year a level crossing was constructed, and the Outer Circle main line was commenced from near 'B' Signal Box. In 1971, it was noted that a quarter million passengers had been carried since October 1961. In late 1971, the Victorian Health Department threatened to close the Railway because the tunnel was not installed in accordance with the regulations. The track was subsequently rerouted to avoid the tunnel (May et al 1985:np).

The new Diamond Valley Railway station was roofed in 1972, with completion of the building reached in c1974. In 1972, the DVR acquired most of the rolling stock from the defunct Valley Railway, Noojee, and conversion to 7" gauge was undertaken. In 1973, a special train run was conducted for the children from Allambie Homes and charity runs were held for the Royal Children's Hospital, the Salvation Army, the Araluen Day Training Centre and the Eltham Community Youth Club (May et al 1985:np).

On the 19 March 1974, the DVR was incorporated as a public company, limited by guarantee (May et al 1985:np).

Since this time, volunteers at the DVR have maintained a program of updating and installing new infrastructure and facilities, and, except for some periods of 2020 and early 2021, when COVID-19 restrictions applied, have operated the railway continuously over this time. The DVR continues today as a popular tourist attraction, especially with families, attracting close to 3000 passengers on an



average Sunday. It was voted the top tourist attraction in Metropolis Research's 2018 Annual Community survey of 500 randomly selected households in the Nillumbik Shire (Nillumbik Shire 2018).

In 2018, Nillumbik Shire entered into a new 21-year lease agreement with the railway. A small parcel of land from the corner of the Eltham Lower Park was added into the lease. The club, run by 180 volunteers in 2020, plans to work with community groups to revegetate the area with native plants (Nillumbik Shire 2018).

For the year 2018-19 financial year, 151,779 passengers bought tickets (Gillett 2020:6). All ticket sales go back into maintaining the railway and upgrading facilities as well as contributing to local charities, with the club giving annually to various concerns (Nillumbik Shire 2018). In 2019, the DVR established an under 25's member group, which is the first of its kind in the sector and seeks to address an aging volunteer demographic (Gillett 2020:9).

Because of high visitor numbers, the Diamond Valley Railway would like to build a new railway circuit in the southern part of Eltham Lower Park (Diamond Valley Railway Inc 2021).

Heath Gillett, Manager Recreation and Leisure at Nillumbik Shire council, provides a summary of the important features of the DVR:

*The railway carries approx. 150,00 passengers per year and has achieved year-on-year 4% growth rate over the last 20 years with a total of over 4,230,000 passengers since inception. This is a strong visitation number for an attraction that only operates approximately 70 days a year and would be the envy of many other experiences chasing similar numbers if extrapolated. Given its historical operation and popularity there is high awareness and support from the community...The Railway is the top ranked 7 ¼" miniature railway in the southern hemisphere and is now identified as one of the World's top five miniature railways...The members of the Railway are a professional and skilled volunteer workforce who bring a variety of existing qualifications and/or previous workplace experience into the organisation. This allows for a high standard of planning, maintenance and operations...The Railway hard infrastructure which includes buildings, tracks, platforms, signals, fencing and signage, is extensive within the leased footprint and is a dominant feature of the Park. The rolling stock, including the privately-owned sets, is significant, well maintained and historically relevant...The Railway has been a consistent presence in the Park and is due to celebrate its 60th Birthday in 2021. It enjoys strong relationships with local service clubs, schools, charities, sporting teams and business groups. They contribute to the community by conducting special fund-raising operational days as well as providing a location for supplementary fund-raising activities by charities and service groups to take advantage of (Gillett 2020:8-9).*

## DESCRIPTION

Diamond Valley Miniature Railway (DVR), Eltham Lower Park, part of 570 Main Road, Eltham, is a miniature railway built from 1961 by members of the Diamond Valley Railway Club (the club, DVRC), an organisation which was incorporated, becoming the Diamond Valley Miniature Railway Incorporated (DVRI), in 1974.

The Diamond Valley Miniature Railway sits within the northeast corner of Eltham Lower Park, bounded by Main Road to the northwest and Diamond Creek to the east. It wraps around a portion of the Eltham Lower Park Oval Number 1 to the south (Figure 3). The kidney shaped site is largely level



but falls away towards Diamond Creek to the east. The Melbourne and Metropolitan Board of Works (MMBW) drain, Blowfly Creek, traverses the northern portion of the site.

The substantial miniature railway complex comprises a number of buildings and hard infrastructure elements spread across the site. These elements are connected by railway track and various pedestrian pathways that lead across the site. The railway complex is embedded within a bush landscape setting which also includes exotic deciduous trees. The main entrance is centrally located in the bend of the playing field perimeter road which extends from the Main Road Park entrance (Figure 4 and Figure 4). The track plan (Figure 5) shows the key elements of the complex.

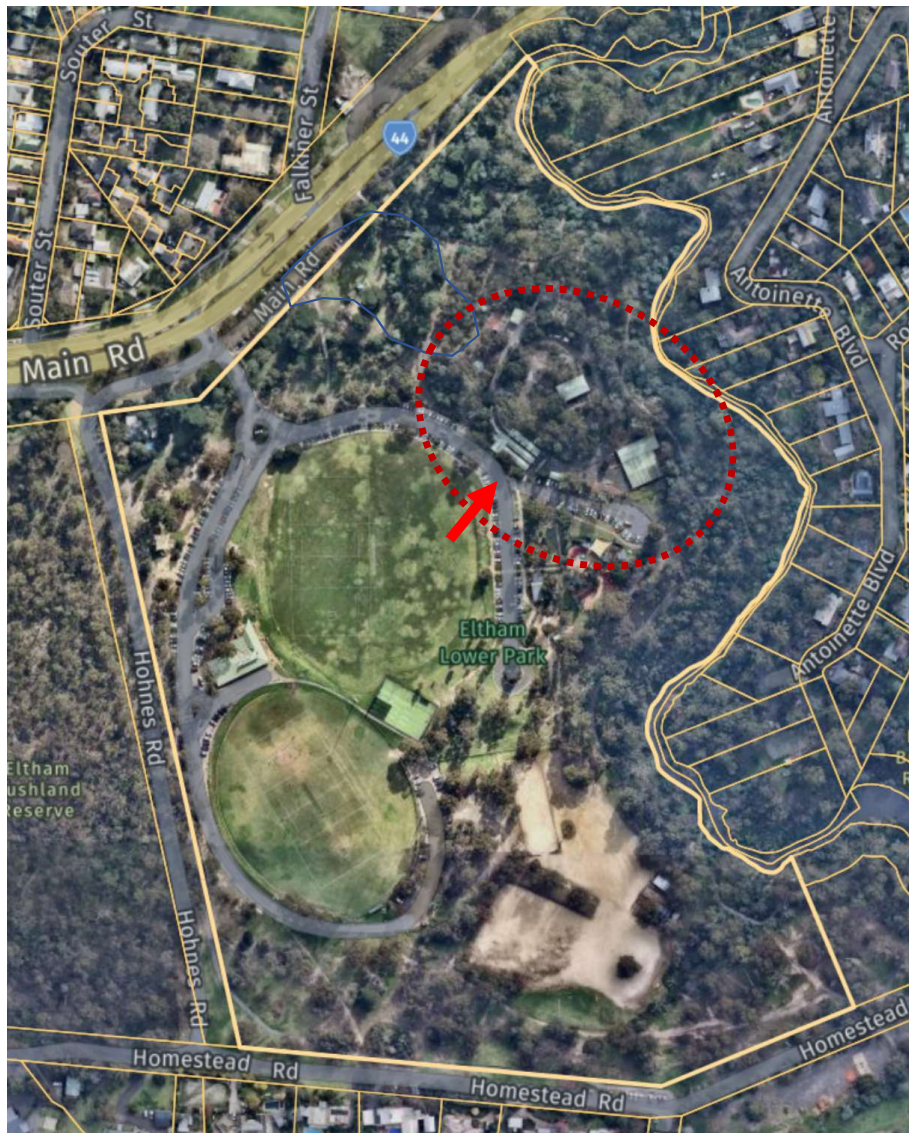


Figure 3. 570 Main Road Eltham with the approximate boundary of the Miniature railway outlined in red. The main entrance is indicated with a red arrow. (Source: Nearmap 2021)





Figure 4. Primary entrance to the Main Station building (southwest elevation). (Source: Google Streetview 2019)

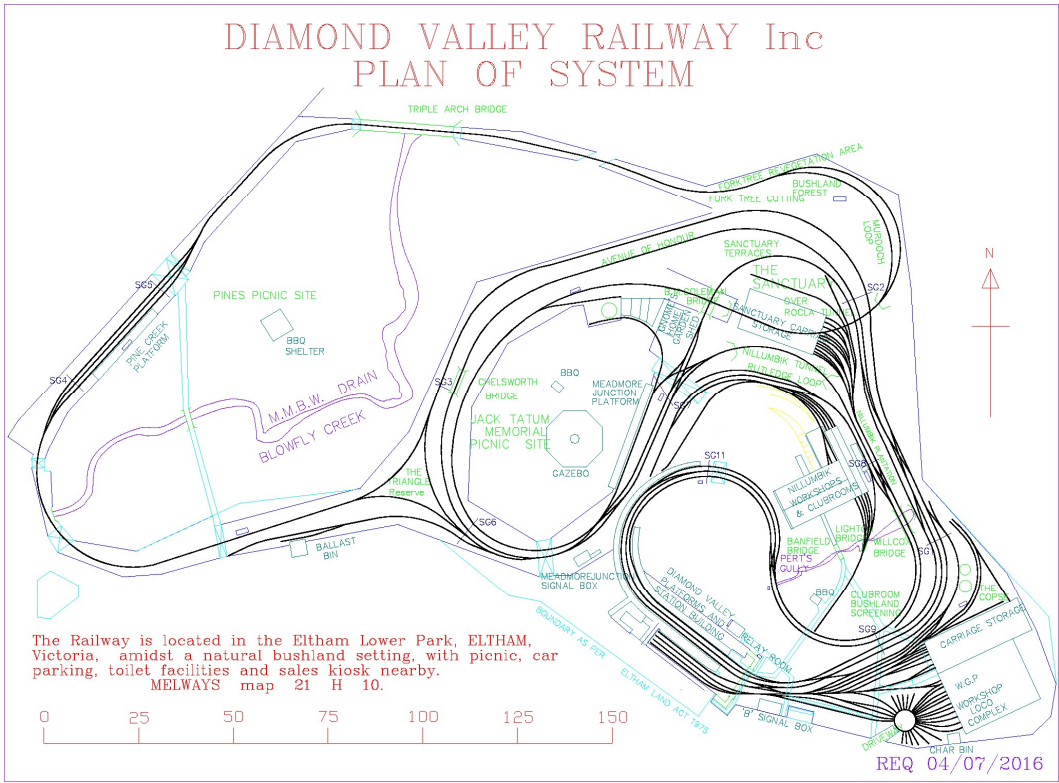


Figure 5. Track plan of the Diamond Valley Railway in 2016. (Source: Diamond Valley Railway)



Key built elements include the following:

**Diamond Valley Station (c1969)**

The Diamond Valley Station is a replica of Edwardian-era station building design. The Station building has a gabled roof clad in corrugated iron and top third rendered red brick walls on grey stone foundations. Gable ends feature timber battening. Windows are six paned and timber framed, with decorative grey stone flush sills. The ticket window is of similar proportions to the other station building windows.

The station includes three platforms with steel-framed gable roofed canopies supported by square section steel columns. The platform canopies feature battened gable ends to match the main building. The sales kiosk runs perpendicular to the platforms with asymmetrical twin gabled canopy extending across the front entrance supported by I-shaped steel columns. Decorative scalloped timber fascia boards line the station canopies and entrance canopy. Picket fencing surrounds the station.



Figure 6. Station building with scalloped fascia. (Context 2020)



Figure 7. View of the station from the northwest. (Source: Context 2020)



Figure 8. Ticket window. (Source: Context 2020)



Figure 9. Six paned timber framed windows and decorative fence. (Source: Context 2020)





Figure 10. Main station platform. (Source: Context 2020)



Figure 11. Picket fence and station canopy. (Source: Context 2020)

#### **William (Bill) Pert railway workshop, with turntable**

The William (Bill) Pert railway workshop building, located in the southeast corner of the site, is a broad medium-pitched gable roofed shed structure with an almost square footprint. The roof is clad in corrugated iron and walls are brown brick. Four wide metal roller doors are located across the eastern elevation allowing train access, two smaller, centrally placed, roller doors allow pedestrian access to the building. Train lines 9 to 20 lead into the building, through the large roller doors. The turntable immediately east of the workshop is surrounded by track lines and red brick paving on the southern side (Figure 13 and Figure 13)



Figure 12. William G Pert railway workshops with turntable in the foreground. (Source: Context 2020)



Figure 13. The turntable in the foreground. (Source: Context 2020)

#### **Carriage shed**

The Carriage shed building abuts the William G Pert railway workshop to the north. It is rectangular in plan with corrugated iron clad gabled roofing. Walls are of red brick construction. The eastern elevation contains two arched openings with metal roller doors, allowing access for the train lines into the sheds. Number labels indicating the train lines are located on the arch above each line.





Figure 14. The carriage shed (west). (Source: Context 2020)

### **Kidney shaped track**

The kidney-shaped main track wraps around the complex and connects the key structures. The Diamond Valley Railways website notes:

*The track consists of 14 lb/yd rail and is laid to a minimum radius of 18 metres. The track gauge is 184mm (7¼ inches) and the main route length is 2km plus 0.6 km of alternative paths. Some of the line side features are: the 65 metre long main station with three platforms, part of which is covered by a canopy roof; another two wayside stations; various bridges; two separate carriage shed/workshop complexes; two tunnels; two signal boxes; and extensive sidings totalling some 1.2km in length (Diamond Valley Railway).*



Figure 15. A portion of track. (Source: Context 2020)

### **B Signal Box**

The B Signal box sits to the south of the main station abutting the southwestern site boundary. It has a simple rectangular form with hipped roof clad in corrugated iron and surrounded by a rigid wire fence (Figure 16).





Figure 16. B Signal Box to the south of the main station abutting the southwestern site boundary. (Source: Context 2020)

#### **Steel-framed overhead pedestrian bridge**

The Steel-framed overhead pedestrian bridge allows access across the track at the southern end of the Station and platforms (Figure 17).



Figure 17. Steel-framed pedestrian bridge. (Source: Context 2020)

Other built elements across the site include:

- reinforced concrete pipe tunnels;
- bridges;
- triple arched, viaduct bridge;
- Chelsworth Bridge;
- other platforms;
- Meadmore Junction platform;
- Pine Creek platform;
- other sheds;
- Gnome's Home Garden Shed;
- Nillumbik workshop and clubrooms;
- sanctuary carriage storage;



- leisure infrastructure;
- gazebo; and
- BBQ facilities.

These other built elements are well integrated within the site's landscape setting. The landscape setting is broadly characterised by natural bushland, but also includes mature, deciduous exotic trees and certain well-maintained gardens, tended and curated by the Diamond Valley Railway members. This includes an Avenue of Honour located on the Inner Circle which is a tribute to deceased past members.

## **INTEGRITY**

The Diamond Valley Miniature Railway, Lower Eltham Park, at part of 570 Main Road, Eltham, is largely intact with some later changes to original or early fabric. The complex retains early significant infrastructure and built elements such as the station and platforms, Carriage shed, William Pert workshop with turntable. The layout of the site and tracks has undergone some changes since the opening of the Railway in 1961, in line with its original use and intention as an operating miniature railway complex.

As an operational facility, the track and associated components require regular maintenance and ongoing renewal and upgrades. Additions are an important to the history of the place as a site of ongoing development. The integrity of the place is enhanced by the ongoing use of the site as a miniature railway and integration of the built elements within the landscape setting.

Whilst the complex contains additions and variations, overall, it has high integrity and expresses the vision of original club members for a miniature railway.

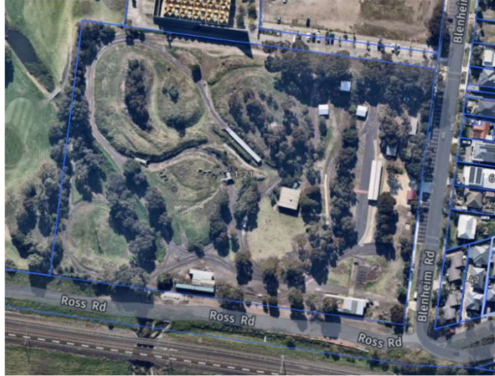
## **COMPARATIVE ANALYSIS**

Miniature railways are a form of recreation and entertainment that emerged across Australia in the postwar period. In 1948, the introduction of the Forty Hour week gave Victorians increased leisure time which led to a boom in recreational activities. Many traditional forms of recreation underwent radical transformation and new ones emerged, of which the Diamond Valley Miniature Railway is an example (Heritage Alliance 2008:27).

Several other miniature railways exist across Victoria, however none appear to be listed in the Heritage Overlays of their respective planning schemes. The miniature railway complexes often include replica railway stations, miniature locomotives for public running and other auxiliary structures such as engine shed and signal boxes. Picnic facilities and kiosks are also often provided in the larger scale miniature railways, reflecting their recreational use.

The following examples outside the Shire of Nillumbik are comparable with the subject site in terms of scale and use.





Altona Miniature Railway Inc (No HO). (Source: Nearmap 2021)

The Altona & South Western Railroad was established in 1976 with the expressed objective to build and operate a passenger carrying miniature railway in the Western suburbs area, of Melbourne, Australia. The first official train ran on the Paisley Park site in 1985. Construction of a carriage shed/workshop commenced in 1988 (Altona Miniature Railway).



Box Hill Miniature Steam Railway (No HO). (Source: Nearmap 2021)

The Box Hill Miniature Steam Railway was established c1983 by the Box Hill Miniature Steam Railway Society, is a group of miniature steam railway and model engineering enthusiasts. The clubroom and engine shed were opened in 1983, with tracks completed for public running in 1985 (Box hill Miniature Steam Railway Society).



Figure 18. Mooroolbark & District Miniature Railway & Steam Club Inc (No HO). (Source: Nearmap 2021)

Mooroolbark & District Miniature Railway & Steam Club Inc was established in 1980, opening to the public in 1983 (Mooroolbark Miniature Railway). The complex is one of the relatively smaller miniature railways operating today.





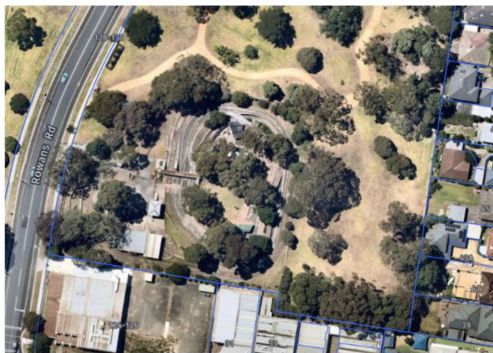
Portarlington Bayside Miniature Railway was opened in 1999 for public running. Located on eight hectares of parklands, Portarlington Bayside Miniature Railway is Australia's only railway located on a foreshore (Portarlington Bayside Miniature Railway).

Portarlington Bayside Miniature Railway (No HO).  
(Source: Nearmap 2021)



South Western Model Engineers, Cobden, was established in February 1994 opening in June 1994. It is located on the Cobden Racecourse reserve, which have been developed with other public facilities including mini gold park, dairy park, the Cobden Go-Kart Club and the Cobden Historical Society  
(<https://www.cobdenminiaturerail.org.au/>).

Figure 19. Cobden Miniature Railway, Graylands Road, Cobden (No HO). (Source: Nearmap 2018)



Steam Locomotive Society of Victoria Inc, Moorabbin was opened in 1970 with a single loop. The track has been extended to about 700 meters in length. There is also a brick clubhouse seating about 50 members  
(<http://www.slsv.com.au/about-us/>)

Figure 20. Steam Locomotive Society of Victoria, 128 Rowans Road, Moorabbin (No HO). (Source: Nearmap 2021)





Tullamarine Live Steam Society was established in 1974 and relocated 1997. It was re-opened in 2000 as Bulla Hill Railway. It has two ground-level dual gauge tracks (Bulla Hill Railway).

Figure 21. Bulla Hill Railway, 15 Green Street, Bulla (No HO). (Source: Nearmap 2021)

Examples of miniature railways in Victoria listed below are of a smaller scale or are no longer in operation. These examples are less directly comparable.

- Ballarat Society of Model Engineers Inc (established 1985);
- Campbelltown Miniature Railway (c1983, ceased operation 2018);
- Euroa Miniature Railway Inc.;
- Geelong Society of Model & Experimental Engineers;
- Gippsland Model Engineering Society (1978);
- Loddon Miniature Steam Locomotive Society; and
- Mooroopna-Shepparton Miniature Railway Society.

In comparison to the above examples outside Nillumbik, Diamond Valley Miniature Railway is distinguished as an early and unusually substantial miniature railway complex that demonstrates people's fascination with railways and their components. In previous assessments this miniature railway was considered likely to a rare and fine example in an Australia-wide context (Bick 1992). Compared to the examples listed above, the Diamond Valley Miniature Railway is far more substantial in scale, including more finely detailed replica buildings. Its design is more holistic and contains numerous buildings and landscape elements which enhance the experiential qualities of the recreational complex.

The Diamond Valley Miniature Railway at part of 570 Main Road, Eltham, is notable for the comprehensive nature of the complex compared to other miniature railways, and as an early example of the type. It is also notable as a recreational complex, serving the Diamond Valley community and rail enthusiasts since 1961.



## **STATEMENT OF SIGNIFICANCE**

### **WHAT IS SIGNIFICANT?**

The Diamond Valley Miniature Railway, Eltham Lower Park, at part of 570 Main Road, Eltham, a miniature railway complex constructed from 1961, is significant.

Elements that contribute to the significance of the place include:

- the original scale and form of the complex within the natural bush landscape setting;
- Edwardian-style train stations and platforms, workshop and picket fencing;
- other railway elements reflecting the use such as the signal box, turntable and tracks and signage; and
- the rolling stock, which includes privately-owned assets.

Other elements that support the general recreational use of the place contribute to the use of the place but should be open to alteration.

### **HOW IS IT SIGNIFICANT?**

The Diamond Valley Miniature Railway Eltham Lower Park, at part of 570 Main Road, Eltham, is of local historic and representative significance to the Shire of Nillumbik.

### **WHY IS IT SIGNIFICANT?**

The Diamond Valley Miniature Railway, Eltham Lower Park, at part of 570 Main Road, Eltham is historically significant as an early miniature railway complex built in Victoria. Operating at its current site since 1961, it is important as a popular long-term recreational facility within Nillumbik. It is evidence of the ongoing fascination with railways and their components. It provides physical evidence of a form of leisure activity, and tourism, that emerged during the postwar period and has remained popular as a community recreational complex. (Criterion A)

Constructed from 1961, the Diamond Valley Miniature Railway is significant as an early and detailed representative example of a miniature railway complex built in Victoria. It is distinguished as a substantial example that includes a comprehensive complex of buildings and infrastructure elements which are designed to be convincing replicas of an Edwardian railway system and its components. It contains numerous buildings and landscape elements which enhance the experiential qualities of the place. The incorporation of picnic facilities encouraging use, and gatherings, by the public and broader community for events and recreation is also significant. (Criterion D)



## RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as an Individually Significant place.

**Extent of overlay:** Extent of Heritage Overlay is recommended as below, to cover the Diamond Valley Miniature Railway area, and extending to Diamond Creek to the east, within the Eltham Lower Park. Refer to the map below.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

### Nillumbik Planning Scheme

External paint controls	No
Internal alteration controls	No
Tree controls	No
Outbuildings or fences	Yes
To be included on the Victorian Heritage Register	No
Prohibited uses may be permitted	No
Aboriginal heritage place	No

### Other



Figure 22. The extent of Heritage Overlay is recommended to cover the Diamond Valley Miniature Railway area, and extend to Diamond Creek to the east, within the Eltham Lower Park. The approximate area is highlighted in blue. (Source: Nearmap 2021)



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Response No:  
23

Contribution ID: Letter

Member ID:

Date Submitted: 09 August 2023

Details

906 Arthurs Creek Road, Arthurs Creek

Stage B - 16

HO309

Support with changes





### Arthur's Creek Mechanics Institute

Prepared by: Trethowan Architecture

**Address:** 906 Arthurs Creek Road, Arthurs Creek

<b>Name:</b> Mechanics Institute	<b>Survey Date:</b> 2015
<b>Place Type:</b> Individual	<b>Architect:</b> Edgar J Henderson
<b>Grading:</b> Significant	<b>Builder:</b> D.J. Murphy
<b>Extent of Overlay:</b> To Title Boundaries	<b>Construction Date:</b> 1886



Arthurs Creek Mechanics Institute as viewed from Arthurs Creek Road, Samantha Westbrooke 12.05.2015

### Historical Context

The first squatters arrived in the Arthurs Creek area in 1837. The Reid's run 'Hazel Glen', where the original stone and mud house survives, lay on the southwest. The Bears' 'New Leicester' lay on the northwest, the Macfarlane's 'Ard Chattan' lay between Running Creek and Arthurs Creek, and the Smiths 'Glen Ard' lay to the west of Running Creek (Hicks 1988:6). Most of the land west of the Plenty River was sold by the mid-1840s. The land to the east, including the Arthurs Creek area, which was forested and hilly with poor sedimentary soils, was considered 'cattle country' and remained under grazing leases for longer (Hicks 1988:13).

The more open undulating country between the Yan Yean Reservoir and Arthurs Creek/Deep Creek was bought at Crown Land sales in the mid-1860s (PROV, VPRS 16171/P1/6, Linton-2). Under the 1860 Land Act, the remaining grazing leases were





revoked. The eastern margin of the Parish of Linton, including the Arthurs Creek locality, was surveyed in 1856 but remained unsold. Lots 16, 17 and 24 of this survey were the first to be selected in c1861 by C. Vaughan, M. McLaughlin and W. Watson (Department of Crown Lands and Survey, 1856). The remainder of the Arthurs Creek area became the Upper Plenty Farmers' Common (later Whittlesea Common) in 1861. An area to the east of Arthurs Creek was proclaimed as the Arthurs Creek Common in 1871 (Vic Gov Gazette, 26 March 1861, No.48:632; PROV, VPRS 0242/P0, file C90869). Most of the European settlers in the area were orchardists and dairy farmers, the most famous of which were the Ryders and Drapers (PROV, VPRS 16171/P1/6, Linton-2). The homesteads of the 1860s such as those of the Ryders and Murphys were typically slab huts (PROV, VPRS 627/ P1, Unit 235, File No 19301). Butter, eggs and poultry were often the first source of income.

A village began to appear in the early 1870s, with the Primitive Methodist church established in 1873, the school opened in 1876 and the Mechanics' Institute in 1878. The Arthur's Creek Fruitgrowers' Association formed in 1890 and held meetings and competitive exhibitions of fruit at the Mechanics' Institute (Argus, 14 May 1890:6). Daily mail services started in 1889. By 1899 George Murphy had built a post office and store (E&WSA& DCVA, 26 April 1918 :3; Payne 1975:191). The settlement would expand little after this point. In the late 1880s there were 1500 acres under fruit within a three-mile radius of Arthur's Creek. The extension of the railway to Yan Yean in 1889 made transport to market easier and quicker (Argus, 21 October 1889:9).

Poor prices during the Depression compounded the decline, and by the late 1930s all but the largest and most progressive orchards were unprofitable. Orchards were cleared and the land turned over to sheep. Markets for lamb and wool were variable and while the larger farms survived on sheep, the smaller holdings reverted to dairying and pigs. By the 1970s beef cattle were becoming more profitable. Orchardling continued at Glen Ard, which by 1975 was reputedly the largest orchard in southern Victoria (Five Pear Trees, Apted's Glen Ard Orchard, 120997). The township had about 350 residents at the 1996 census (Hunter-Payne, 2008).

## **History**

Moves towards creating a mechanics' institute and free library at Arthurs Creek started in 1886. By this time most of the surrounding land was settled. Land to the east of Arthurs Creek and Running Creek was typically obtained at land sales in the 1860s, while land on the banks of Arthurs Creek, Running Creek and Deep Creek land was taken up under various clauses of the Land Acts, starting in 1863. The Primitive Methodist Church was built 1873 and the school was established in 1876. By the 1880s Arthurs Creek was a flourishing orcharding area with a number of well-established landholders.

At a public meeting at the school in March 1886 a chairman, secretary and treasurer were appointed and subscriptions were collected (The Australasian, 3 September 1910 p.10; 17 September 1910 p.10). By April William Murphy had offered half an acre of land next to the Primitive Methodist Church. In August trustees and a committee were elected and the local member of Parliament, Mr Cameron, promised to lobby for government support. Murphy made an alternative offer of land adjacent to the school, and this site was accepted at an October meeting (Murphy and Draper 2004, p.299). A Mr Mcfarlane was asked to prepare plans for a hall of 40x20ft with a library of 14x12ft, and arrangements were made for transfer of the land. At a January 1887 meeting Charles Draper encouraged the engagement of Melbourne architect Edgar J Henderson to prepare plans. Draper offered to supervise the works (Murphy and Draper 2004, p.300) and an advertisement for tenders to build the hall appeared in city and local papers in February 1887 (EO&S&EBR, 25 February 1887 p.2). D.J. Murphy, of the Streamville family of Murphys, was the successful tenderer (Murphy and Draper 2004, p.300).



The hall of 40x20ft had a raised dais on the north side, with a library of 17x12ft and a dressing room of 12x11ft at the rear. This £200 build provided only a first stage of Henderson's design. The opening was held on 2 September 1887. "As this was the first entertainment of the sort ever held at Arthur's Creek, much speculation was indulged in as to how it would come off, and it is pleasing to record that the result achieved ... far exceeded the most genuine expectations of those concerned in its production." The hall was filled to overflowing and William Reid chaired the meeting. The concert of vocal and instrumental performances by locals was concluded with the national anthem, and the hall was then cleared for a dance. Around forty couples participated in the twenty-one dances, which finished at 5am (*Argus*, 10 September 1887:7; *EO&S&EBR*, 16 September 1887:2).

The hall soon proved its value as a focus for almost every aspect of the public life of the Arthur's Creek community. A public meeting was held in April 1888 to discuss calls for extension of the Heidelberg railway line, a vital matter for the local orchardists (*EO&S&EBR*, 28 June 1889:3). A committee of the Arthur's Creek Railway League was appointed, which subsequently used the library room for its meetings. Another public meeting at the hall in June 1889 considered the poor postal services in the district (*EO&S&EBR*, 28 June 1889:3). Many social events were also held in the hall. The Arthur's Creek Brass Band started to practice in the hall in 1890 and the Arthur's Creek Cricket Club also met there as well as a local debating club. The local fruit growers met in May 1890 and formed the Arthurs Creek Fruitgrowers' Association. The Church of England even held services for a small congregation during the period (*EO&S&EBR*).

As funds became available the buildings and facilities were gradually improved. Some funds came from rents for the various uses. The Institute also held its own fundraisers, such as the Queen's Birthday and New Year's Eve balls (*EO&S&EBR*, 19 December 1890:2). a picket fence was added in front of the hall and a fireplace in the library in 1889. A six-stall stable was added and the hall painted in 1893 and in 1894 ornamental trees were purchased for the grounds and a curtain added to the stage (Murphy and Draper 2004, p.302).

The adult education role of the Mechanics' Institute was also being exercised to some extent in the nineteenth century. In late 1891 £35 was spent on books for the library, including a copy of Chamber's Encyclopaedia and a Map of Victoria. The committee of the circulating library published a catalogue of its "fine collection" and the librarian attended on Tuesday and Saturday nights. It seems the library was tailored to the needs of the local orchardists - in 1893 a £30 purchase of books included "some of the best works on fruit culture" (*EO&S&EBR*, 10 March 1893:2). The lectures were slanted in a similar vein. In 1892 the government entomologist Mr Hammett read a paper at the hall. A debating club started to meet at the hall in 1893 (Murphy and Draper 2004, p.302).

In first years of the new century, the Mechanics' Institute mainly provided a venue for meetings of various clubs and associations and a wide variety of benefit events. It is at the turn of the century that use of the alternative moniker 'Arthurs Creek Hall' begins to become more prevalent in the newspapers. In April 1900 a concert and ball were held for victims of the bushfires that had recently swept through Arthur's Creek (*EO&S&EBR*, 30 March 1900 p.2; 20 April 1900:2). The use of the hall was such that in 1903 plans were made for extensions and a new Kauri Pine floor.<sup>205</sup> Fifteen feet were added to the south end of the hall. The Health Department also required an additional door on the east side.<sup>206</sup> The work was completed in time for an opening concert and ball in December (Murphy and Draper 2004, P.303).

In 1909 a concert and dance were held at the hall by the school to raise funds for a shelter shed (*EO&BER*, 8 October 1909 p.2; 5 November 1909:6). During World War





takings from monthly socials were divided between the hall and the Red Cross (Murphy and Draper 2004, p.303). In the interwar period, Sporting clubs continued to use the hall for meetings and events, but with the decline of fruit growing in the district and the onset of the World War II, most of these were disbanded by the early 1940s. The fortunes of the hall continued to wane, despite some repairs in 1949, and between that year and 1952 the hall was used only once a year. The books from the library were donated to the school and the dividing room between library and dressing room removed to make a single meeting room/kitchen (Murphy and Draper 2004, p.304). From 1966-74 the Arthurs Creek Progress Association took over administration of the hall. A new masonry toilet block was constructed in 1982, funded with help from the Shire, local donations and an overdraft (Murphy and Draper 2004, p.305).

The hall's centenary celebrations took place over a weekend in 1987 and included a dance for young people, an old time ball, an ecumenical church service and a barbecue and game afternoon. The celebrations for the 125th anniversary of the school in 2001 included a dinner for 300 at the hall. A storage shed was added c1997. The hall was used as a relief centre following the 2009 Black Friday fires. After the fires funding was obtained for another storage shed and the upgrade of the hall kitchen (Draper 2012, pp.31-32). A large open sided skillion was added to the east side of the hall c2010. The Hall Committee continues to foster community activity and a number of local groups meet and hold events in the hall, including the Cemetery Trust, local Landcare group and bush fire brigade (Murphy and Draper 2004, p.305).

#### **Description & Integrity**



Aerial view of the Mechanics' Institute  
 Source: Nillumbik Shire Council

Arthurs Creek Mechanics Institute is a weatherboard building with a main gable roofed hall running perpendicular to the street. At the rear of the hall is smaller gable roofed wing running perpendicular to the hall. There is a decorative bargeboard with hanging beam and finial at the front gable end of the building. The front elevation also contains double doors with a painted sign to the gable end with the wording Arthurs Creek Mechanics Institute AD 1887. On the east side of the hall is a skillion roofed canopy attached to the building and added in 2010. It is possible that the doors on this side of the building were also altered at this time. The timber framed double hung windows to the building appear to be original and in their original locations. Therefore, apart from the changes to the east side, and door openings, the Mechanics' Institute is substantially intact.





Front view of the Mechanics' Institute and the same view prior to east side additions



East elevation



Rear, west view

There is a row of three outbuilding buildings on the eastern boundary. The northernmost is a weatherboard shed with a gable roof which may be the 1890 stables. The central outbuilding is a skillion roofed rendered brick toilet block constructed in 1982 and the southernmost one adjacent to the hall, is a replica Edwardian weatherboard shed constructed in 2010. The former 1890s stables contribute to the significance of the place but the two later buildings (1982 and 2010) are non-contributory.



West side view



Former stables and brick toilet block

### Comparative Analysis

Not many Mechanics Institutes have survived in the Shire. The earliest halls in the Nillumbik area usually took the form of mechanics' institutes and free libraries. The mechanics' institute movement started in Scotland in 1800 with the intention of improving the education of working men (Mills & Westbrook 2017). Several of these early halls were either destroyed by fire or demolished over time. For example, the Diamond Creek Public Hall and Literary Institute was possibly the earliest hall in the area, opening in 1868. The





hall was used to house the infant grades of the state school when there was a rapid increase of pupils in the early 1870s (Mills & Westbrooke 2016:103). A new hall incorporating sections of the old was built in 1905 however this building was destroyed by fire in 1969 (Mills & Westbrooke 2017). At Kangaroo Ground a hall, which became known as Stevenson Hall after its builder, was built in 1885. It did not have a library but did host the typical list of entertainments and meetings and was noted for its good dance floor. The Shire ordered the demolition of the dilapidated hall in 1969. (Mills & Westbrooke 2017)

Surviving community halls in the Shire include:

- Christmas Hills Mechanics Institute, 775 – 787 Ridge Road, Christmas Hills, rebuilt in 2013 (HO243)
- St Andrews Hall, 1 Proctor Street, St Andrews (1925)
- Plenty Hall, Plenty Heritage Park 2-6 Memorial Drive Plenty (1931)
- Gibson Hall, 575 Kangaroo Ground-St Andrews Road, Panton Hill (c1924) (HO96).



Christmas Hills Mechanics Institute, 775 – 787 Ridge Road, Christmas Hills rebuilt in 2013 (HO243 Shire of Nillumbik). Source: <https://christmashillshall.org.au/>



St Andrews Hall, 1 Proctor Street, St Andrews built 1925. Source: <https://www.standrewscommunitycentre.org/hi-story-of-st-andrews-hall.html>



Gibson Hall, 575 Kangaroo Ground-St Andrews Road, Panton Hill built in c1924 (HO96). Source: <https://commons.wikimedia.org/wiki/File:PantonHillGibsonHall.JPG>



HO248 Plenty Hall, Plenty Heritage Park 2-6 Memorial Drive Plenty. Constructed 1930-31, additions 2010. Image source: Context May 2021.

The Christmas Hills Mechanics Institute, 775 – 787 Ridge Road, Christmas Hills, (HO243) had a similar weatherboard materiality and simple gable form. It opened in 1877, partly funded partly by public donations and partly by a government grant and was located on a temporary Crown land reserve (Mills & Westbrooke 2017). Destroyed by fire in 1894, the hall was rebuilt on its current site in 1895 and again in 2013.





Fundraising for the Queenstown Mechanics' Institute and Free Library started in 1882 with the building opening in 1883. In 1889 the building was moved to a more central position in the town, as it had been too inaccessible. The institute was reopened in 1899 and was an important part of the community until 1924 when it was destroyed by fire. It was rebuilt in 1925 at its current location and is now known as the St Andrews Hall (Mills & Westbrooke 2017).

There is also a small timber hall building adjacent to the St Matthews Church at 575 Kangaroo Ground-St Andrews Road, Panton Hill. Known as Gibson Hall and built in c1924 the building is within the curtilage of HO96 and is comparable to the Plenty Hall having a similar materiality, form and interwar build date. Like the subject building it has also been in continual use as a hall since built. The Plenty Hall (HO248), in Plenty Heritage Park 2-6 Memorial Drive Plenty was constructed 1930-31, with comparable weatherboard and a simple gable form.

Compared to the above examples Arthurs Creek Mechanics Institute shares similar weatherboard materiality and simple gable forms, but it is distinctive as an earlier (1887) surviving example with more elaborate late nineteenth century features such as the decorative bargeboard with finial, exposed rafter ends. Only Christmas Hills was earlier but has been significantly rebuilt in its entirety.

#### **Assessment Against Criteria**

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Planning and Community Development, revised July 2015, modified for the local context.

*CRITERION A: Importance to the course or pattern of the Shire of Nillumbik's cultural or natural history (historical significance).*

Arthurs Creek Mechanics' Institute is historically significant as an early and important public building in the township of Arthurs Creek since 1887 and as an early surviving example in Nillumbik more broadly. Constructed in 1887, the Mechanics' Institute demonstrates the heyday of Arthurs Creek in the late 19th century, when there was a much larger population in the area and it played an important role in the townships continuing development. The building is of significance a substantially intact example of a Mechanics' institute constructed in the Shire during the Victorian period when compared to others that hark mostly to the Interwar period. The Mechanics' Institute is a visual reminder of the once more populous township of Arthurs Creek. The Mechanics' Institute has been the venue for meetings of various clubs and associations and a wide variety of benefit events and thus played an important role in the development of local community life. This has included its provision of a library and adult education services focussed on the particular needs of the local area.

*CRITERION B: Possession of uncommon, rare or endangered aspects of the Shire of Nillumbik's cultural or natural history (rarity). N/A*

*CRITERION C: Potential to yield information that will contribute to an understanding of the Shire of Nillumbik's cultural or natural history (research potential). N/A*

*CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).*





*CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).*

Arthurs Creek Mechanics' Institute is aesthetically significant as a substantially intact example of a weatherboard Victorian Mechanic's Institute of the late Victorian period. Key features of the style include the all-encompassing gable roof form, timber framed double hung windows and their placement, double doors to the front, gable end decorative bargeboards and finial, and weatherboard cladding. It compares well to other community halls in Nillumbik, particularly as expressing the late Victorian style compared to many other surviving halls that are Interwar.

*CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance). N/A*

*CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance). N/A*

*CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the Shire of Nillumbik's history (associative significance). N/A*





### Grading and Recommendations

Recommended for inclusion in the schedule to the Heritage Overlay of the Nillumbik Planning Scheme.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

<b>External Paint Colours</b> <i>Is a permit required to paint an already painted surface?</i>	No
<b>Internal Alteration Controls</b> <i>Is a permit required for internal alterations?</i>	No
<b>Tree Controls</b> <i>Is a permit required to remove a tree?</i>	No
<b>Victorian Heritage Register</b> <i>Is the place included on the Victorian Heritage Register?</i>	No
<b>Incorporated Plan</b> <i>Does an Incorporated Plan apply to the site?</i>	No
<b>Outbuildings and fences exemptions</b> <i>Are there outbuildings and fences which are not exempt from notice and review?</i>	Yes – former stables
<b>Prohibited uses may be permitted</b> <i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	Yes
<b>Aboriginal Heritage Place</b> <i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No

### Identified By

Mills & Westbrooke

### Proposed Extent





Proposed extent indicated by the red line, which follows the property boundary

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Response No:  
24

Contribution ID: Letter

Member ID:

Date Submitted: 10 August 2023

Details

23 Glen Park Road, Eltham North

Stage A - 08

HO280

Objection



23 Glen Park Road, Eltham North

‘Hillside’

Prepared by: Context	Survey date: Month Year
Place type: Residential	Designer: -
Significance level: Significant	Builder: Not known
Extent of overlay: To title boundaries	Major construction: c1914



Figure 1. 23 Glen Park Road, Eltham North. (Source: Context 2021)



Figure 2. 23 Glen Park Road, Eltham North. (Source: Context 2021)



## HISTORICAL CONTEXT

This place is associated with the following historic themes taken from the *Nillumbik Shire Thematic Environmental History* (2016):

### 6 BUILDING TOWNS AND SHAPING SUBURBS

#### 6.2 Pre World War I subdivisions and estates

*Historians of the Nillumbik area have often focused on the 'battler' aspect of settlement in the area but, in the late nineteenth century boom, some speculators had greater aspirations for the locale. In the late 1880s, land estate agents Robert Walker and Company set up a branch in Heidelberg in anticipation of increasing subdivision of estates. In 1888 the Christmas Hills Estate Company purchased land from Mr and Mrs French at £35 per acre, with the anticipation of selling at prices matching those achieved not long before at Mt Macedon, of over £200 per acre. The bottom went out of the land boom before a single block was sold. In all, the land boom of the 1880s had only a fleeting impact on the Nillumbik Shire. (Mills & Westbrooke 2016:69)*

*From the 1890s Eltham had been included within the boundaries of Greater Melbourne for the purpose of the census, but its setting was still decidedly rural. The first impact of the railway, when it reached Eltham in 1902, was a great expansion in tourism but it was a number of years before new residential subdivisions appeared on the outskirts of the town. These were typically breakups of rural properties from the nineteenth century. In 1909 the Franktonia estate (or Beard's estate) on the north-east side of Eltham bordering Research was created from land that had been held by the Beard family since 1860. The blocks of six to 29 acres were advertised as 'well suited for farming and fruit growing and adapted for rural suburban residential purposes, the blocks comprising beautiful crests, some picturesquely wooded'. (Mills & Westbrooke 2016:69)*

*Two other suburban estates bordering Eltham were subdivided in the same year. These were Bonsack's estate, which was located between Eltham and Greensborough and Glen Park estate, or Langland's estate, which was located three-quarters of a mile to the north-west of Eltham Railway Station (Mr John Langlands of Hurst having died in 1907). With all this new development it was expected that at last Eltham would lose its 'sleepy hollow' reputation. In 1910 the Evelyn Observer reported that 'within the last year or two many suburban and city people have invested in building blocks about Glen Park, the Terminus Estate and other parts.' The Terminus Estate mentioned in the article had 51 allotments, and was first advertised in 1909. In 1910 the council considered the layout of the Terminus Estate. It appears that the proposal included narrow street alignments, but council decided that they must be 'the full width'. In 1914 a fire threatened a cluster of small 'weekend' cottages on the south-east side of the Terminus Estate, near the railway station. At the opening of a new bridge over Diamond Creek at Glen Park in 1915 the chairman of the bridge committee and shire councillors made comments about how far Glen Park, 'Eltham's beautiful suburb', had progressed since it was opened up six years ago. The formation of a Glen Park Progress Association was initiated at this opening. (Mills & Westbrooke 2016:69)*



*In reality, much of this activity remained speculative and before World War I the area stayed predominantly rural, punctuated by a few small towns. Eltham was still surrounded by cultivated land. To the south, the edge of advancing metropolitan suburbia resulted in infill and consolidation in Montmorency and Greensborough. (Mills & Westbrooke 2016:70)*

*The extensive subdivision and development to the north-east and north-west of Eltham resulted in the Glen Park Progress Association calling for a railway station at Glen Park (Eltham North), midway between the Eltham and Diamond Creek stations. The Association expected such a station would service 387 blocks in the Bellevue and Beard's estates and 313 blocks in the Glen Park estate subdivision. Glen Park at this time had 89 houses with a largely working class population of 198 people. It also had 97 weekenders. Services here were primitive with no water or electricity supply. Nonetheless, local reports found that Eltham was on the 'up grade'. 'The railway has given the necessary acceleration towards advancement and not only is Eltham becoming popular as an outer suburban residential area, but also as an easily accessible tourist resort.' (Mills & Westbrooke 2016:72)*

## LOCALITY HISTORY

Eltham North is located on the country of the Wurundjeri-willam clan of the Woi wurrung people.

Diamond Creek separates Eltham North from Eltham and was the dividing boundary between municipalities; Eltham North was in Heidelberg City and, from 1964, in Diamond Valley Shire. In 2001 Eltham North's western boundary moved from Ryans Road into St Helena. As a result, today Eltham North is located within two local government areas: the City of Banyule and Nillumbik Shire (*Victorian Places* 2015).

Eltham North, originally an outlying rural part of Eltham, became a separate locality with the opening of the Glen Park (later Eltham North) State School No. 4212 in 1924. At the time the locality was known as Glen Park, with that name recorded in street directories until the 1960s. The postal district, however, was Eltham North (*Victorian Places* 2015).

Extensive subdivision to the northeast and northwest of Eltham occurred from the first decades of the twentieth century, although residential development was slow due to an absence of electricity and water services. A new bridge across Diamond Creek, opened in 1915, improved connections between Eltham and Eltham North.

The Eltham and Glen Park Progress Association was formed in 1921 and called for the construction of a railway station at Glen Park (later Eltham North), midway between Eltham and Diamond Creek stations. In 1924, the Glen Park Progress Association expected such a station would service 387 blocks in the Bellevue and Beard estates and 313 blocks in the Glen Park Estate subdivision. Glen Park at this time had 89 houses with a largely working-class population of 198 people. It also had 97 weekenders (Mills & Westbrooke 2017:72).

Glen Park Primary School No. 4212 was subsequently opened after the Progress Association petitioned the Education Department, stating that the population of the area was growing and complaining that children had to walk two to three miles to Eltham or Diamond Creek schools. The first school opened in May 1924, with 38 pupils, in a private house called 'Rest-a-While' in Lower Glen Park Road, where it operated for the next 17 months. In 1925 it was relocated to a single room



transported by wagon from Greensborough and moved to land in Banks Road (Eltham North Primary School 2020; Blake 1973:138). The school's name was changed to Eltham North in that year (Blake 1973:138).

In 1925 a building for the Glen Park Gospel Mission was erected (*Advertiser* 4 December 1925:3).

Local builder Alistair Knox designed and constructed a number of mudbrick houses in the area from the late 1940s, contributing to a style of architecture that became known as the 'Eltham style'.

Reflecting the postwar growth in the area, by 1952 there were 62 children attending the Eltham North State School, and in 1953 a new school building was completed in Wattletree Road (Blake 1973:138).

Today the primary school is in the east of the suburb, adjacent to the Glen Park Gospel Church and local shops. There is a kindergarten in Glen Park Road. Eltham North has numerous bushland reserves and playgrounds (*Victorian Places* 2015).

## PLACE HISTORY

The subject site is located on Crown Allotment B Section 11, Parish of Nillumbik, 90 acres purchased by John Dane in 1852 (*Nillumbik Parish Plan* 1951).

In 1913, estate agent George Herne purchased the allotment along with neighbouring Crown Allotment D, a total of 198 acres. Herne then subdivided the Crown allotments to form a large residential subdivision, with lots sold from 1913 (Figure 3) (CT:V3682 F252). The area near Glen Park Road was known as the Glen Park, named after the residential subdivision Glen Park Estate established in 1909 (Figure 3). By 1924 the estate comprised 313 blocks (Mills & Westbrooke 2017:72). Because of a lack of services, residential development on the estate was initially slow (Mills & Westbrooke 2016:72).

In 1913, fruiterer Albert Zillman purchased Lots 66, 67, 68 and 69 of Block B of the subdivision (CT:V3682 F252). The subject residence, 'Hillside', was built on Lot 69 at about the same time for Albert Zillman and his wife Anne. In 1914, Anne and Albert Zillman were listed in the Commonwealth electoral roll for the subdivision of Diamond Creek as living in Glen Park, with Albert's occupation noted as 'poultryman' (*Ancestry* 2020). The subject house was one of the first residences to have been built on the estate.

The Zillmans were active in their local community. Albert was a member of a committee formed in 1925 to lobby for a railway station at Glen Park. Anne was secretary of the Eltham North Red Cross in 1941 (*Advertiser* 18 September 1925:3; *Eltham and Whittlesea Shires Advertiser* 8 August 1941:1).

After Albert Zillman died in 1946, the property passed into the ownership of Anne Zillmann in 1947. After Anne's death in the same year, Annie Smith became the owner in 1947 and subdivided the land into three lots in 1958 (CT:V3682 F252). Thomas and Effie Smith acquired the subject property in 1958 (CT:V8197 F063).

Around the 1945, the property was still one of a number of houses built in Glen Park Road near Ryans Road (Figure 4). The property was shown on two further aerial photographs from 1951 and 1987. A skillion-roofed extension to the rear of the house and a detached shed at the rear of the house are present on the 1987 photograph, indicating that these were built after 1951 (Figure 5 and Figure 6).

A building permit for the construction of a carport adjoining the existing shed at the property was issued in 1996 (BP).



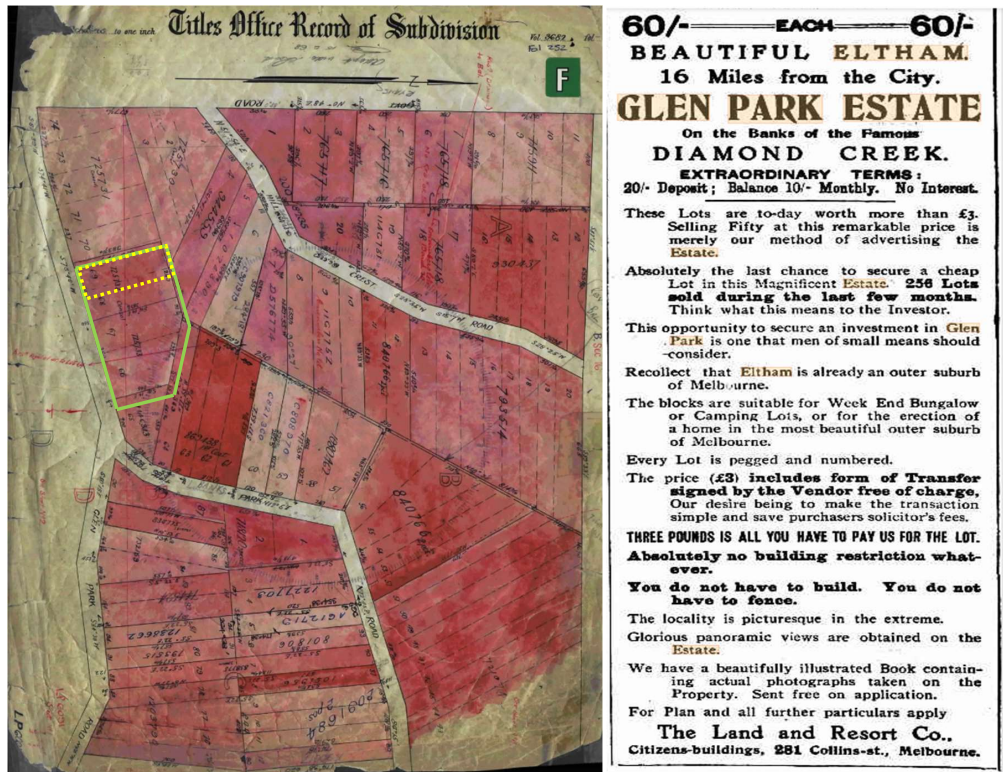


Figure 3. Part of plan of subdivision at Glen Park, 1913, with the lots 66, 67, 68 and 69 outlined in green and the approximate boundaries of 23 Glen Park Road outlined in yellow dotted lines (LHS), and an advertisement for the Glen Park Estate in 1909 (RHS). (Source: CT:V3682 F252; Age 13 November 1909:19)





Figure 4. Extract from a 1945 aerial photograph with the approximate property boundaries of 23 Glen Park Road outlined in yellow. There was more residential development towards the east of Glen Park Road and in Lower Road at this time. (Source: 'Melbourne 1945', University of Melbourne)



Figure 5. Extract from a 1951 aerial photograph with the approximate property boundaries of 23 Glen Park Road outlined in yellow. (Source: CPO, 'MELBOURNE AND METROPOLITAN PROJECT' 1951, via Landata)





Figure 6. Extract from a 1987 aerial photograph with the approximate property boundaries of 23 Glen Park Road outlined in yellow. Note that the rear extension (outlined in green) and a detached shed (outlined in blue) existed by this time. (Source: CPO, 'WESTERN PORT FORESHORES' 1987, via Landata)

## DESCRIPTION

Hillside at 23 Glen Park Road, Eltham North, is a single-storey weatherboard cottage with corrugated iron roof, built c1914 following the first land sales of the Glen Park Estate in 1913. The subject site is located on the northern side of Glen Park Road with a setback from the street. The land slopes down eastwards, with a driveway access near the western property boundary. The block is moderately covered in vegetation.

The cottage has a stripped-back design, reflecting its origin as a small workers' home built in a rural suburb. The weatherboard-clad cottage presents as a series of three rectangular forms, each with a gabled roof portion. The gables run north-south, with the southern gable ends facing the street. The three gables are of different sizes and have different roof pitches (Figure 1), indicating that the earliest sections of the house may have been built in stages. The northern gable form is raised above the ground, which slopes away to the north, the subfloor area is clad in weatherboards. The central gable form is set back between the other two, accommodating an inset verandah with a timber deck and timber-framed and lattice-clad balustrade brick steps lead to the central doorway. Both windows on the either side of doorway appear altered (Figure 7).

There is a large skillion-roofed extension to the rear of the cottage, added between 1951 and 1987. This extension is clad in a wider profile weatherboard than the front sections of the house (Figure 8). The skillion-roofed iron shed was also constructed between 1951 and 1987, with the carport adjoining the shed to the west added in 1996 (Figure 9). These additions are discreet and not readily visible when viewed from the street.





Figure 7. 23 Glen Park Road, with altered windows on the either side of the entrance. The northern portion of the building is raised on above ground that slopes away to the north. The inset verandah has a lattice balustrade. (Source: Context 2020)



Figure 8. 23 Glen Park Road, Eltham North, viewed from the southwest. Note the rear extension clad in wider weatherboards (outlined in green). (Source: Context 2020)





Figure 9. An aerial view of 23 Glen Park Road, Eltham North. Note the existing rear extension (outlined in green) and a detached shed (outlined in blue). (Source: Nearmap 2021)

## INTEGRITY

Hillside at 23 Glen Park Road, Eltham North, is generally intact with some changes visible to the foremost gable forms and associated early fabric when viewed from the street. The vernacular architecture of the single-storey building reflects its origins as a small workers' home. The early built form consisting of three differentiated gable roofed forms with an inset verandah remains intact and legible. The house retains its original construction materials including weatherboard wall cladding and corrugated iron roof cladding. The house also retains intact early elements including the timber deck, timber-framed and lattice-clad balustrade, and brick front steps. The altered windows, later rear extensions, a detached shed and carport does not obstruct overall legibility of the building as an early timber cottage. The deep set back and vegetated site reflects its original rural setting. Overall, the building has medium integrity.

## COMPARATIVE ANALYSIS

From the 1890s, the defined area of Greater Melbourne had been expanded to include Eltham and the surrounding district for the purpose of censuses. Despite being included within these boundaries, the area continued to be predominantly rural. The extension of the railway into Eltham in 1902 did little to impact this, however by 1909 subdivisions on the outskirts of the town began to appear. These subdivisions were often the result of the breakup of larger landholdings that had been purchased in the nineteenth century. These subdivisions did not drastically change the rural nature of the area.



Suburban development had been slowly increasing around the main townships since their early settlement. In the immediate vicinity of these townships, the housing stock became increasingly similar in typology and style to Victorian or Edwardian residences evident in other suburban areas of Melbourne.

Likely due to a combination of continuing agricultural land use and lack of suburban utilities, development in areas outside the main streets of townships in Nillumbik was often slow. Most houses that appeared in these subdivided areas in the early twentieth century were weatherboard-clad, timber-framed structures often small in scale. These houses usually reflected a more vernacular typology that prioritised function over the application of popular stylistic forms and decorative elements. They similarly reflected the relative frugality of their inhabitants.

Hillside is an example of the type of small workers' homes that were built within the Shire of Nillumbik in the early decades of the twentieth century, after the early subdivision of land for residential use.

The following sites are directly comparable to the subject site, being of similar construction date or modest vernacular style.



Pizze house (c1904) house is considered to be one of the earliest in the Diamond Creek township. The house was associated with Alfred Pizze, a locally important industrialist, and his family.

Pizze House, 29 Main Street, Diamond Creek (HO225). (Source: realestate.com.au 2013)



840 Heidelberg-Kinglake Road (c1917) is historically important as a reminder of the changes in the township that occurred after the railway line was opened to Hurstbridge in 1912. The house is of representative significance for its modest scale and simple design and as one of a cluster of similar houses built around the 1910s in Hurstbridge.

840 Heidelberg-Kinglake Road, Hurstbridge (HO73). (Source: VHD)

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'Daraville', 828 Heidelberg-Kinglake Road, Hurstbridge (HO70). (Source: VHD)

Like 840 Heidelberg-Kinglake Road, 'Daraville' at 828 Heidelberg-Kinglake Road (c1910-12) is historically important also as an example of development of the township during and just prior to the construction of the railway line that was extended to Hurstbridge in 1912. The house is of representative significance for its modest scale and simple design and as one of a cluster of similar houses built around the 1910s in Hurstbridge.



Former Milthorpe Store, 42-44 Main-Hurstbridge Road, Diamond Creek (HO259). (Source: Google 2019)

The former Milthorpe Store (c1915) is of historical significance for its associations with the Milthorpe family, who ran a store and carrier business from this location from c1915 until c1960. The site is of historical importance as an early surviving commercial building in Diamond Creek. The timber building with double gables is an evidence that the simple, vernacular construction was still prevalent in this area around the mid-1910s.

## Discussion

Hillside at 23 Glen Park Road, Eltham North, is most comparable to the Pizzey house at 29 Main Street, Diamond Creek, with its simple, unadorned corrugated iron clad gable roof form, weatherboard wall cladding. Like the house at 23 Glen Park Road, this house illustrates a simpler and more vernacular typology with less complex construction and detailing. This simplicity of form and expression was likely driven by economic constraints. Although many houses in the area were built to reflect building typologies and styles that had become popular in the towns and suburbs of Greater Melbourne, the subject site indicates how families often relied on easily constructed, simple building forms to provide affordable accommodation in the semi-rural and slowly developing parts of the municipality.

Although built at a similar time to the subject house, the houses at 828 and 840 Heidelberg-Kinglake Road, Hurstbridge, demonstrate a more suburban attitude towards house design than the subject site. Both of these houses are representative of the Edwardian domestic typology that was popular across Victoria at that time of their construction. They illustrate typical characteristics of Edwardian housing design with their simple symmetrical frontages with weatherboard cladding and decorative timber detailing.

The former Milthorpe Store at 42-44 Main-Hurstbridge Road, Diamond Creek, bears a similar form to the subject site, with its simple grouping of gabled roofs and timber construction. Although



fundamentally of a different use, the store indicates that the simple building style was used in the municipality for various functions for its affordability and ease of construction.

Overall, Hillside represents the basic housing that was being erected in the early decades of the twentieth century in Nillumbik, preceding the majority of the residential development in the locality.



## **STATEMENT OF SIGNIFICANCE**

### **WHAT IS SIGNIFICANT?**

'Hillside' at 23 Glen Park Road, Eltham North, a single-storey weatherboard cottage with corrugated iron roof, built c1914 for Anne and Albert Zillman, is significant.

Elements that contribute to the significance of the place include:

- the building's built form and scale, including the three rectangular gabled forms;
- the building's original/early materiality, including weatherboard wall cladding and corrugated iron roof; and
- the inset verandah with timber deck and timber-framed balustrade.

Later additions the rear of the main roof form and the detached garage and carport are not significant.

### **HOW IS IT SIGNIFICANT?**

Hillside at 23 Glen Park Road, Eltham North, is of local historic significance to the Shire of Nillumbik.

### **WHY IS IT SIGNIFICANT?**

Hillside at 23 Glen Park Road, Eltham North, is historically significant as one of the first residences to have been built on the Glen Park Estate (subdivided in 1909 and first sold in 1913), preceding the majority of the residential development in the locality, which later became Eltham North. The simple vernacular form and materiality of the cottage demonstrates the manner in which low-cost residential development was undertaken in the formerly rural areas of the Shire of Nillumbik in the early twentieth century. Built as a small workers' home, the subject building indicates how families often relied on easily constructed, simple building forms to provide affordable accommodation in often rural, slowly developing parts of the municipality. (Criterion A)





RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Nillumbik Planning Scheme as an Individually Significant place.

**Extent of overlay:** To title boundaries

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Nillumbik Planning Scheme:

Nillumbik Planning Scheme

External paint controls	No
Internal alteration controls	No
Tree controls	No
Outbuildings or fences	No
To be included on the Victorian Heritage Register	No
Prohibited uses may be permitted	No
Aboriginal heritage place	No

Other

N/A



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Community Engagement – Ryans Reserve  
31 July – 20 August 2023

Contribution ID	Would you like to provide any further feedback?
23408	Great idea - but a possible watchout - the new toilet block at the Research Shops - the landscaping etc are great but the amenities themselves have not held up - doors coming off, leaking taps, flush not working - perhaps some learnings could be had so that these proposed toilets hold up in better shape
23407	no seating along housing and parkland area - rubbish will be left and not lit at night.
23406	No seating along [REDACTED] - too much rubbish will be left.
23405	Living at [REDACTED] we are concerned about the two park benches closest to the fence line [REDACTED]. We are concerned about rubbish being left and noise at night. Currently there is always rubbish left at the footpath entrance to the park which we collect every week. Having more stops for foot-traffic and seats [REDACTED] will increase the rubbish and noise. We love more seating, however [REDACTED] Seating on the Broadgully road side would be best.
23404	Exercise equipment is a good idea but I have never seen them being used on my daily walks through DC Reserve Playground & Rotary Park. The basketball court is very popular and often are unable to share. A second court/ring would be great and maybe with a lowered ring like Andrew Park in Eltham.
23403	Is there going to be adequate large shade sails erected at various locations, eg play equipment,, general play area, some of basketball or soccer areas. Large, similar to the sails that is at the DC pool. Is there going to be any security cameras there. I'm thinking for oanypurpose possible damage, reportable events. Of course I hope nothing would occur, but??
23401	Drainage in open field will need to be fixed/managed as it's constantly flooded/bogged. Does it link to the path heading up the hill into the trees? More learning/educational signage would be a great tool. Add a path access point at the corner as well as the 3 points currently shown.
23400	Why put the toilets right in the middle of the open space? Prefer to see much less concrete overall and particularly less concrete paths. Need the drinking taps near the play equipment where people are likely to be needing a drink. The existing path which has been created simply by use shows what the local residents want and use but it appears to have been ignored. Need the rubbish bins near the BBQ and picnic tables where the rubbish is likely to be created.
23399	Off street parking would be ideal for people with little ones as Broadgully is extremely busy. Access already available off Lanvos Dr.
23398	BMX track including jumps would be great, flying fox, accessibility for inviduals with disabilities
23397	Please keep open spaces like Ryan's reserve free from unnecessary infrastructure. There need to some spaces along the DC trail that are uncomplicated and designed for walking only rather than people of various ages hanging out.  I would consider adding some additional dispersed bush planting so the reserve is not just a grass monoculture.



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23395	Maintain the grass and trees, please don't take it away, a fence would be good for young kids and dogs
23393	Under cover area for shelter to watch performances, ie undercover amphitheatre and to cook on bbq's.
23392	Don't understand why the Natural Path, i.e. the one that you can see in the diagram that cuts straight across the reserve, is not considered for the concrete paths. If this is maximise the green space, (the size of the grassed area) then all this would mean is that people will continue to walk on the grass and the natural path will remain.
23390	I think that this is a great idea for diamond creek as there are a lot of families in the area who will use these facilities I really like the idea of new playgrounds and picnic areas.
23386	This sounds like a great idea and will vastly improve the reserve which is currently under utilised (I think). Thank you!
23385	Although I look forward to a new playground, I am wanting to know when a playground will be built and available for the Collard Road estate. There are no playground nearby for the residents there.
23382	You can see from the worn track across the grass that people shortcut across it. The new path takes the scenic route, but people will still take the existing shortcut across the grass.
23381	Very excited to see this happening, and glad the paths will be created. We often walk past the park and would love to walk through it however it's often muddy and has long grass. Proper paths will greatly improve this, not to mention the much needed update to the playground and facilities. Thank you for undertaking this much needed work!
23377	<p>Toilet is in a weird location, would have thought closer to the fence/property boundary and entry would be better. It could also be used by cyclists that ride through the area on their way to Kinglake, as well as much better CPTED from the street.</p> <p>There are too many paths/concrete, you could simplify it and have more paths that could double as a cycle/scooter loop.</p> <p>The seats on the gravel path will need concrete pads to reduce gravel wear in front of the seats. I'd also suggest a more seating around the play equipment, understanding the mudstone boulders are informal seating, some seats with backs would be great for grandparents or people needing back support or armrest.</p> <p>I'd suggest all drinking fountains have dog bowls and taps (increases accessibility for people with guide dogs).</p> <p>I'd suggest moving the seat at the top of the key of the bball court to be at the side of the court - less likely for people to run into it whilst playing.</p> <p>Nature play could be placed in the area between the mudstone boulders and the gravel path to have more of a connection between the park/playground and the nature reserve behind. And the play provision does not have much for children below the age of 4, even the regional playspace behind marngrook doesn't have any decent play provision for children below the age of 4.</p> <p>I'd suggest rubber at the end of every slide.</p> <p>In my mind, I'd try simplify the supporting furniture, paths etc and increase the play experiences as much as possible. I'm going to send a sketch...</p>
23375	How can the Nillumbik council purport to be sustainable, environmentally conscious, and take climate change seriously, when they won't seal Clarke and Park Avenue in Wattle Glen? Instead, the council prefers to use a large, diesel grading machine, twice a year. Seal Park and Clarke Avenue and take the environment seriously.



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23374	Could you please consider incorporating Auslan signs and symbols on any play equipment or make a sign or wall that features examples of how to sign play based signs in Auslan. My wife and I are Deaf and our child's first language will be Auslan. It would be amazing to have a local park [REDACTED] where we can show our child that Auslan is accepted in our community. They would be able to see our Deaf identity on proud display and it would also educate our community. There are examples of this that have been incorporated in other council areas as well. I'd love to support this in any way possible as it would require advice from a Deaf consultant or Deaf organisation.
23371	Plans look great - it will be so good to have more shelter, formal paths, a toilet block and performing stage there, but retain lots of open space. The reserve has a lot of potential so it's good to see these plans.  Secure fencing along Broad Gully is a must - kids darting off quickly alongside a busy road is a worry.
23370	Power boxes next to the stage would increase usability for event organisers.
23369	I reside in Diamond Creek and am within walking distance to Ryans Reserve. I have three children yet rarely use the Ryans Reserve park because there are better play spaces near by, such as Diamond Creek Regional Playspace. It seems somewhat silly to put so much money into Ryans Reserve when we have just put money into the Regional Playspace down the road (which is in walking distance from the Reserve). This is why I have given my support a 5/10 because although it may be nice, it really isn't necessary. Having said this, if changes are to proceed regardless of my position, my biggest concern has to do with the "large playground". It looks like there is a very high netting area which joins a few areas of the structure together. I don't feel that this rope netting would be ideal for small children. My children fall through this sort of netting structure all the time and I am thankful for the fact that when they try it, it is usually low to the ground. In the drawings it looks as though this netting structure is quite high, in which case I would not want my children to attempt this on their own. To ensure safety of all children, as well as make it more accessible for younger kids, I would advise NOT having a large netting structure which children would need to cross in order to reach the rest of the playground. I also feel that "exercise areas and equipment" are very under utilised. Whenever I run past the exercise equipment near the "Diamond Creek Playspace" and "Diamond Creek Reserve Playground" (these are both within meters of each other), I NEVER see anyone using them. Every now and then a child may be trying it out, but it is never for the purpose of exercise. Something I recently witnessed in multiple parks overseas were pingpong ball tables and pickleball courts. We have one pingpong table in Diamond Creek (at the Rotary Centennial Park Playground) which is under utilised because I don't think anyone knows what it is. It's worth considering the addition of something like a pickleball court as it then adds something new that the other parks do not have to offer. Lastly, there is nothing worse than having to wait your turn for a swing; I think the Eltham North Adventure Playground has adequately supplied the children with enough swings. Perhaps it's worth adding in one or two more. Thank you for your time and considering my suggestions.
23368	I'm a grandparent who is very pleased to see such a wonderful upgrade of this park. I would just like to ask that as part of the perimeter fence a safety gate, self closing will be installed. Broadgully Road is horrendously busy with traffic so I'm concerned that the children using the park will be safely enclosed. Many thanks.
23364	I think a water sprinkler for the hot days would be fantastic. There is none in any of the Diamond Creek play areas. I understand there will be some at the outdoor pools (but you need to pay in to use them). That might eliminate a lot of families from accessing it.  I have visited many parks with water sprinklers and they have been such a huge hit with all ages (toddlers all the way up to adults). Please consider it 🙏



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23363	<p>Glad that there are more benches and picnic spaces. Hoping this park becomes a more popular spot for kids birthday parties as the Diamond Creek Regional Playspace is so busy, would love to go here instead but currently there is just the one BBQ area.</p> <p>Also love that this will have enclosed fencing, as currently it is dangerous as toddlers can run onto the busy road.</p>
23362	Toilet block could be moved closer to the playground - where it is currently proposed is a long way for little people to go, especially if they are in a hurry
23361	Get it done sooner rather than later! This is a tired old space and would love to take my daughter to the new park while she's still little
23359	<p>Looks great</p> <p>Like the 3 heights of slides for different age groups</p> <p>Would like to see a see-saw or large round swing included for toddlers</p>
23358	Would prefer it to be fully gated. Kids run up into the bush on the hill behind the park
23357	Pump track
23355	<p>We go to this park a lot and have hosted many parties here (but have had to take guests back home for the toilet!). Love the idea of soccer goals, toilets and water tap.</p> <p>If money is short, the current playground is adequate but filling in the potholes on the grassy area would be great.</p>
23354	The area looks to small for all that is planned having just been passed it the other day. It's to "busy" with stuff.
23353	<p>While the post and rail fence looks lovely. It's not very helpful to an out numbered vigilant parent with children under 5.</p> <p>I am also concerned about parking and traffic. Particularly when it first opens. It's already on a busy road families will flock to a great NEW space.</p> <p>Maybe some of the money could be put aside to add something to the Tram park?</p> <p>To be honest the only reason I don't take my kids to the current step up is the fence and lack of toilets.</p> <p>When I speak to other parents with children under 5. Our favourite park is the one at the netball courts. It's almost fully fenced, there's toilets and it's not too big that you and ever too far away from that second or third child. The visibility is good.</p>
23352	Shade required
23351	A pump track like in Kew would be amazing
23350	I think the redevelopment is a great idea I'm only concerned about the timing of how long it will take as we won't have access to our local park during the redevelopment
23349	Can we have a flying fox playground?



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23347	More sensory play such as sand pit (could include diggers and/or fake fossils) and water play area. Include a parent and baby swing so that parents can swing with their younger children More equipment aimed at young toddlers. An indigenous space. Filled with native flora. Could use plants that are used to make plant based paint with signature to educate community on how to make. Include animal foot prints in paths, etc.
23346	Very excited family to have an upgrade to this park. We would love to see the incorporation of water play, pumps if possible & Monkey bars for climbing.
23345	I am concerned about the safety of the netting seen in some of the pictures. I also would like to suggest some small in ground trampolines like those at the Mill Park All Abilities Play Space. I am very happy that toilets are being included in the design.
23342	Would like to see a traffic school track set up similar to Bayswater park - doesn't require a lot of space and is fantastic for young/school age kids
23341	Would love the idea of some inground trampolines like they have in warrandyte. Want to ensure the playground is accessible for all ages particularly toddlers, there are so many playgrounds around that my 3 year old has only just begun to be able to use, would love things catered at 1-2 years old as well as older children. A great idea could be with the basketball ring to also have a lower to the ground one for young children! Also maybe some extra paths for scooter riding etc.
23340	Performing stage seems unnecessary. Needs monkey bars, water play area and in ground trampoline.
23339	While very supportive overall, i dont understand the purpose of the performing stage.  I question whether the public toilets are required - and have concerns that they will not be maintained adequately. I also assume they make up a large part of the cost.  Very supportive of the new playground, and the focus on sporting equipment for children.
23338	I don't like that the toilets are in the middle of the space and also that the path is around the perimeter. I think people will cut along the grass like they do now. I don't agree with the perimeter fencing on the side street given there are many trees. I'd like some deciduous trees for autumn as well. The plan looks fantastic and I'm very excited to see it completed.
23337	Exercise equipment would barely get used, sensory play equipment May disturb neighbours
23336	I hope the new playground will also include equipment that is suitable for young children and toddlers. Otherwise, it looks great and I'm excited to see the works begin.



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Contribution ID	Would you like to provide any further feedback?
23335	As much shelter, shade sails etc near play equipment and in open area, diamond creek tram playground does not include enough shade Toilets are a must have Can utilise the hill area for nature walk or a bmx pump track ? Bike parking rack Use the open space for a good play area Current diamond creek tram playground has big open area but grass is so uneven and gets water logged that area is pretty much unused Have an area set up for people to catch up for picnics etc
23334	I would also prefer that when a large subdivision like the Collard Estate is developed and subdivided, that planning enforce a parcel of land for an open space for a playground etc. hopefully this has already been allocated at the end of Discovery Drive. Would be good to hear feedback on the councils plan for this, given the amount of young families around this particular area
23333	Appreciate this park being a Council priority. Thank you
23331	Would love to see some In ground trampolines (warrandyte) playground has the most amazing concept would love something similar to that. Also would be great to see a pump track the little ones are always knocked over and yelled at when they are at the skate park would love a space for the little ones to be able to scoot/skate around (Victoria park in kew) would be another great park to look at they have a epic pump track. Would be great to see some afl goals as well.
23329	It all looks great :-)) The only suggestion would be at least one more pedestrian entry point along Broad Gully Road would be fantastic. I understand the need for the fence given the nature of the busy road, however one more entry point nearer the Lanvos Drive intersection would be beneficial for people walking to the park from that direction. Apart from that, it's awesome.
23328	Take into consideration the homes around the perimeter of the park that may not be happy with a performing stage where loud noise may interrupt the peace and tranquility. We often get teenagers causing trouble with fireworks and vandalism at the park. Rubbish overflow needs to be also monitored that it provides enough bins that get emptied.
23327	██████████ we use it almost daily. With ████████ young children we were so excited to hear of this upgrade. We visit the new adventure playground in Warrandyte a lot and the inground trampolines are an absolute favourite. Would love to see these included. Also a possible adjustable basketball hoop to suit all ages. Similar to those recently installed in Eltham.
23326	Be mindful that the grass area that you are leaving gets very very muddy. It would be great if this could be fixed.  Also would be good if some monkey bars could be incorporated into the playground design. It seems to be missing from most new playgrounds these days and is essential for smaller children developing upper body strength.
23325	A nice cafe in this space would be great to see. Some level of buildings that could be rented out.
23323	I think it sounds amazing



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Contribution ID	Would you like to provide any further feedback?
23322	Sounds fabulous! However I do not think this area needs a exercise area/equipment as there are plenty along the Diamond Creek Trail where people walk/run and therefore I think it would not be used here.
23321	It's great to see this park getting some love. It's a space with so much potential but is totally underutilised. Having the toilets is key!
23320	what pedestrian about access from penton court?
23319	I love everything about the design. But, I do think shade sails should be over the playground. I know this adds considerable cost overall but it should be a must as our weather gets harsher.
23312	Please carefully choose play equipment,  - a lot of new playgrounds have heaps of netting which small feet get stuck in, something to avoid in my opinion  Toddler area as well as big kids area. I find a lot of the parks around don't cater for children 2-5 years, everything's too big and difficult for them, they like to climb and play too.  If there's room in terms of paths, a bike "car track" would be so great, we don't really have one around here
23301	planting of native plants in this area would improve it the atmosphere and aesthetically make up for the new developments.
23299	For the size of the park with all the extra things that are wanting to be added is a stage really necessary think it will only contribute to vandalism and unwanted gathering spaces for young adults.
23294	Why only one soccer goal? Would be better to have two on opposite each other on one side of the open area, leaving the rest of the open area for informal footy kick-to-kick or cricket or general running about.
23293	A table tennis table
23292	Being close to a road, can the entrances be gated for child safety? Like pool gate safety gates, thank you
23291	Any chance the toilets could be upgraded to include a changing places facility. We are desperately lacking in these in Nillumbik with the first one being erected at the park in Eltham. The one at Mill Park is amazing at the All Abilities playground.
23290	Toddler section would be good too.
23289	Add more gym stuff plus chess boards



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23288	<p>The toilets dominate the open ball play area. They should be moved to the lower right area on the map. Closer to the road would be more convenient for cyclists (bike racks are nearby) and also more observable from the road offering passive security.</p> <p>Could the stage have a small shelter built over it, similar to the stage at Stiggants Resevre at Warrandyte? Stiggants has a popular Christmas Carol concert and it would be nice to do something similar here if on a smaller scale. I think the shelter also encourages better use of the stage for other events.</p> <p>The stage with a grass top will present upkeep problems and users of the stage will have to coordinate with council if the grass is too high. Why not use an permeable surface like crushed gravel instead?</p> <p>Will the stage have a power box nearby?</p> <p>Some accessible benches/seats or rectangular blocks placed along the western side path to observe the stage and open space ball play, would be nice.</p> <p>The perimeter fence on the western side should be on the road boundary. Where it is disassociate the trees from the play area. The treed area could be places where children run around in or where families picnic away from the sun.</p>
23287	<p>As a parent in the area with a toddler we love the idea of a new playground. We dislike the idea of a performing stage as it will create un needed noise to the area for residents.</p> <p>We would also love to see an in ground trampoline for kids as was suggested in the facebook group.</p> <p>As it gets quite hot in the summer we would love to see some kind of water play area, warrandyte park has a rain corner play that the kids love.</p> <p>We would also see the toilets go in the far corner away from resident houses.</p>
23286	<p>If the toilets could be on the far eastern side under the trees this will lead to them looking better within the park as well as not being an eye sore for residents.</p> <p>I also don't think we need a performing stage, there is already not enough parking on the main road and residents are around the park which will lead to excessive noise.</p> <p>It would be amazing to see an in ground trampoline such as the one at Warrandyte playground.</p>



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23285	<p>██████████ I would like the following to be addressed. ██████████</p> <ol style="list-style-type: none"><li>1. Move toilets to far east side of park next door to playground and under trees. Why put them in the middle of a park? What a dreadful eye sore! Toilets are ugly enough, please move them to far East side of park near "S".</li><li>2. No goal posts please (F), the netball hoop design already doubles up as goal posts, ██████████</li><li>3. No stage please (E). No stage. Major noise issue for residents. Use hard standing of netball court and portable stage if and when required.</li><li>4. The sensory play area is on one document labelled a "quiet area" (N) and onother suggests the use of children drums (also N). Of course this is a contradiction...is it to be a quiet area of have drums!!! Additionally the drawing suggests it is placed "away" from residents, it is not. Residents are 40m away all around. Residents across the road and around park do not want to, and should not be subjected to this kind of noise.Please do not install drums under any circumstances, dreadful idea!!</li><li>5. Move west side fence (B)(which is currently drawn inside the tree line) to outside the tree line where the original fence is. Why stop folk from having picnics under the trees in the heat of the day? A lot of residents use this park in the summer for a picnic on the ground under the trees, and have done for years.</li><li>6. Pathway should be made of softer material, not concrete. Do we need one at all? (A &amp; X)</li></ol>